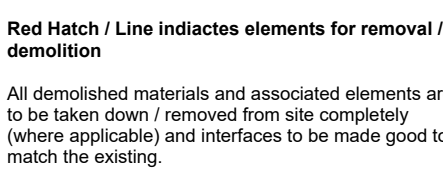


Demolition Key



Refer to Site Waste Management plan for details of removal and recycling of all materials on site. It is requested that the contractor allow for recycling of all material removed from site where possible.

Provide all necessary temporary structures and sheeting to prevent the ingress of water to the retained structure at all times.

Deal with all relevant statutory authorities and utility providers in respect of all work effecting these services.

Adapt all existing wiring and service feeds to supply new appliances and fittings.

Maintain a safe, secure working environment for all site operatives and visitors in accordance with all relevant and current health and safety, codes of practice and CDM regulations and legislation.

Include for all necessary excavation works for new foundations, drainage and changes in existing ground levels where appropriate. Allow for carefully exposing all existing below ground services and undertake redirecting or protection works as described on the contract drawings as required.

Provide all relevant health & safety, security and considerate constructors signage as may be required.

- Existing Plans
- Proposed Plans
- Heritage Scooping Plans
- Refurbishment Strategy Drawing
- JRC Details

All elements of existing Block B & C to be demolished and removed from site, unless noted otherwise. Demolition works to elements in block A to be carried out with care due to the Grade 2* listing status.

Existing John William Street facade to be recorded, documented, carefully deconstructed and reconstructed. Deconstruction proposals to be submitted by specialist sub-contractor.

Existing floor finishes to be removed from all areas of the building.

Asbestos
All asbestos containing materials have been identified via survey, the contractor must detail how work with asbestos will be managed in accordance with the Control of Asbestos Regulations and the Hazardous Waste Regulations. In all cases, operatives will be asbestos awareness trained. Clean air certificates to be issued.

Allow for the careful removal of existing beading to perimeter of glazing and dispose off site. Carefully remove glazed panel and remove from site, ensuring no glazing is broken up. Following removal of glass, allow for the removal of all existing frames or architraves etc and dispose all off site. Remove all associated fixings, packers etc and remove all complete from site. Make good surrounding surfaces as detailed below.

Prior to all strip out works, refer to M+E consultants drawings and specifications with regards to the draining of both foul water discharge and hot and cold water supplies.

In all locations shown, the contractor shall allow for the careful removal and dispose off site of all existing sanitaryware including but not limited to all existing WC pans and cisterns, Urinals and cisterns, handwash and cleaners sinks etc. Allow for the removal of all associated fixtures and fittings including but not limited to all existing brassware, wallfixing brackets, toilet seats and alike/allow for making good any damage to surrounding surfaces as detailed below.

In addition, the contractor shall include for the removal and disposal off site of all associated pipework back to source. Allow for the removal of all associated equipment including connectors, clips, brackets etc and remove all from site. Allow for the removal and disposal of all joinery and boxing in order to access existing pipework. Allow for making good any damage to surrounding surfaces as detailed below.

Within toilet areas, allow for the break out and removal of all existing cubicle panels, IPS units and doors etc and remove all system elements from site. The contractor shall allow for the removal of all associated accessories including wall brackets and fixings and sundry items and remove all from site.

Allow for breaking out and removal from site of all existing wall tiling within toilet area.
Allow for making good any damage to surrounding surfaces as detailed below.

Allow for careful removal of any remaining existing doors. Where decorative frames are to be retained & installed with a new door, frame to be made good following removal of existing door & repaired / refurbished prior to the installation of new door. Include for removal of all associated ironmongery, including but not limited to all existing hinges, closers etc. This excludes lock cylinders, which should be in bagged/lagged set types. These should be handed over to the Landlord

Allow for careful removal of existing beading to perimeter of glazing and dispose off site. Carefully remove glazed panel and remove from site, ensuring no glazing is broken up. Following removal of glass, allow for the removal of all existing frames, architraves (Unless noted otherwise) and dispose all off site. Remove all associated fixings, packers etc and remove all complete from site. Make good surrounding surfaces as detailed below.

Existing lightweight movable partitions shall be carefully taken down and removed from site. The contractor shall allow for the removal of all associated accessories and fixings and removed from site. Glazed panels and doors should be removed prior to removal of partition and removed from site, ensuring no glazing is broken up on site.

In all locations shown, allow for the removal of all existing fixed kitchenette equipment and dispose of all debris arising off site. The contractor shall allow for the removal of all existing stainless steel sink units & taps, kitchen base units, doors & worktops, wall mounted kitchen units, doors & pelmets etc, all redundant framework and associated fixings. Allow for breaking out and removal from site of all existing splash back tiling within kitchen areas. Allow for making good any damage to surrounding surfaces as detailed below.

repaired. Where not possible, due to the proposed layouts, these are to be removed and replaced with new to match existing.

In all locations shown the contractor should allow for the careful removal and disposal off site of all existing handrails/balustrade systems. Allow for making good any damage to surrounding surfaces.

Allow for temporary jacking & air casting through both halves of existing masonry to form widened door/window opening. Allow for removal / disposal of existing lintel cavity closers and masonry off site.

made good to relieve new plaster. Refer to scope of works drawings for proposed plaster strategy

The plaster/plasterboard shall be cut back and lined through neatly with the adjacent surfaces. New plaster to be applied to the retained surfaces shall be lined flush with the existing surface finishes, and neatly feathered in.

P6	Issued for Planning	15/05/2026	DR	MS
P5	Drawing revised to incorporate callout reference requested by GMI	08/09/2025	IN	MCS
P4	Issued for Stage 4	01/09/2025	DR	MCS
P3	Issued for Stage 3	16/05/2025	DR	MCS
P2	Issued for Planning	22/04/2025	DR	MCS
P1	Issued for Client Approval	16/04/2025	DR	MCS
Rev	Description	Date	Dr by	App by
original by		date created		Approved by
DR		02/01/2025		MS



chart name

GMI Construction Group

project

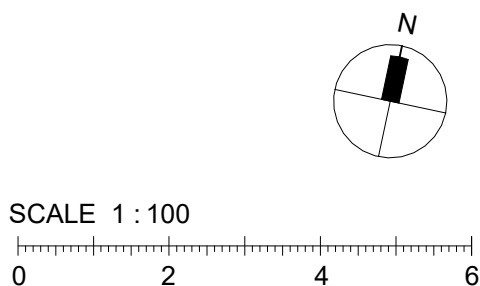
George Hotel Refurbishment

drawing

Second Floor Demolition Plan

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project number 2024.00373.000		scale 1 : 100 @A0	
drawing number L054-AHR-20-ZZ-02-D-A-20013		rev P6	issue status S2

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SCALE 1 : 100