

HERITAGE DESIGN & ACCESS



Amalgamation of ground floor units:
21 LORD STREET & 10 ST. PETER'S STREET

on behalf of

Trinity Trading & Consulting Ltd.

Job Ref: 750

BRT Services / 52 Ashenhurst Avenue / Huddersfield / West Yorkshire / HD4 6PX
Tel: 07855 945690
info@brtservices.co.uk



Revisions

Rev	Comments	Date
-	-	-

History

10 St. Peters Street was built between somewhere in the mid-19th century according to maps available and is Grade II Listed with a Listing entry Number: 1217725. The building was first listed on 29th September 1978.

The official entry states:

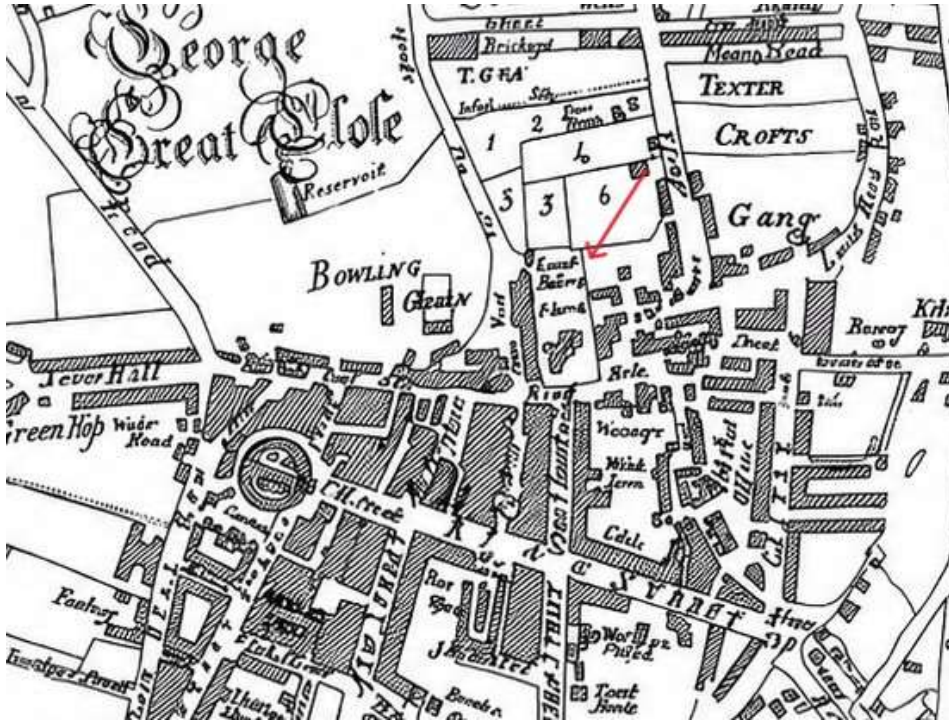
ST PETER'S STREET 1. 5113 (South Side) No 10 SE 1416 NE 2/1173 II GV 2. Early or mid C19. Ashlar. Pitched slate roof. 2 storeys. Moulded eaves cornice and blocking course. 2 ranges of sashes, of which ground floor window has moulded surround. Door with fanlight and glazing bars flanked by Tuscan pilasters and full entablature.

21 Lord Street was built between somewhere in the mid-19th century according to maps available and is Grade II Listed with a Listing entry Number: 1134973. The building was first listed on 29th September 1978.

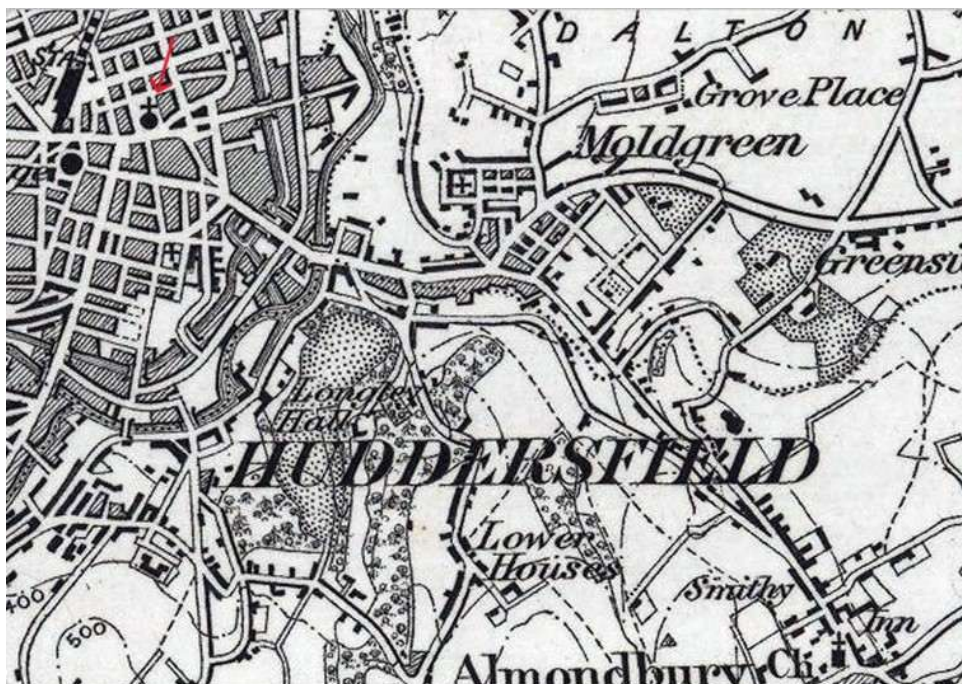
The official entry states:

LORD STREET (East Side) No 21 SE 1416 NE 2/847 GV II. Early or mid C19. Ashlar. Hipped slate roof. Two storeys. Moulded eaves cornice and blocking course. Two ranges of sashes to Lord Street, and one to St Peter's Street (of which ground floor window has moulded surround). Curved corner. Door flanked by Tuscan pilasters and full entablature.

Both properties are within the Huddersfield Town Centre Conservation Area close to the Huddersfield Parish Church gardens.



Excerpt from map dated 1807 – No clear indication of existence of buildings.



Excerpt from map dated 1870 – Buildings shown

The properties have had a few uses over time. The properties have been used for various retail purposes in relatively recent history with their original use likely as housing. It is unclear when the upper floors of 10 & 12 St. Peters Street and 19 & 21 Lord Street were made into one unit with the ground floor of 12 St. Peters Street being the entrance.

10 St. Peters Street has had one previous planning application – 2006/90202 for change of use of take-away to internet café for a listed building within a conservation area.

21 Lord Street has had several previous planning applications (2000/93401, 2000/93405, 2001/90253 & 2001/90254) for illuminated signage but none for building works or change of use.

Current Condition

The two ground floor units have been vacant for a while, very run down and in a dilapidated state.

The buildings are suffering from some issues with the roof and structural stability to the upper floor at eaves level between 19 and 21 Lord Street. The eaves of 21 Lord Street have moved outwards by approximately 60mm and the upper section needs tying back. This movement may have been caused by the roof spreading at first floor ceiling level as there is indication that the ridge may have also dropped slightly.

The existing windows are old sash style single glazed wooden units to the first floor. The listings state that both properties have sash style windows to the ground and first floor but it appears the ground floor windows have been replaced with wooden windows not in a sash style at some point without permission. Neither of the doors appear to be of an original style for the property and have been replaced at some point without permission.

The interior of the units were in a very poor state with no original features remaining. Plaster was cracked and falling off.

The wall separating the two units was one layer of bricks with crumbling plaster especially to the side of 10 St. Peters Street.

Proposed

It is proposed that the restaurant unit which occupies the ground and first floor of 12 St. Peters Street and the first floor of 10 St. Peters Street and 19 & 21 Lord Street remains untouched apart from repair works to the building including its overall structural stability. Structural repairs are to be carried out to stabilise the eaves level of 21 Lord Street.

It is proposed that the two small unusable/unlettable ground floor units to 21 Lord Street and 10 St. Peters Street be combined to form one larger retail unit being a convenience store.

The works to amalgamate the two units include removal of one internal wall with a steel beam and column supporting the floor over. The party wall above within the restaurant unit was removed thirty-five plus years ago (possibly much longer) leaving only a central chimney breast supporting the external stack over.

The retail unit is to have no windows and as such the existing windows are to be over boarded on the inside leaving the external windows untouched. All internal wall linings can be removed in future to allow the windows to be used again.

The original ceiling to the existing units was in a poor state and offered no fire protection between the two floors and so a suitable fire ceiling is to be installed with a suspended decorative ceiling below.

The external envelope is to remain unchanged other than preserving and painting the existing windows and installing signage which will be subject to a separate signage application.

The proposed works will ensure the future of the buildings by giving them a new purpose ensuring they are kept well maintained and preserve these historical assets

Access

10 St. Peters Street has an entrance off St. Peters Street with two steps and this entrance is to no longer be used and closed off inside. 21 Lord Street has a small step to the front from the corner of Lord Street and St. Peters Street and this is to be the primary entrance to the retail unit. It is proposed that due to its listed status that this entrance remains unaltered.

The retail area is all on one level with a single step up to the serving counter on the staff side.

There is no public WC within the property at ground floor. There is a staff WC accessed through the store area.