

DESIGN, ACCESS & HERITAGE STATEMENT

25-27 FOUNDRY STREET, DEWSBURY, WF13 1QW

Alterations to create a single shop, shopfront alterations & proposed flats

June 2026

Introduction & Proposal

This statement supports a planning application which seeks a change of use and alterations at 25-27 Foundry Street, Dewsbury.

The application site currently comprises of 2 existing retail units with ancillary storage areas above at first floor level. The proposal consists of the following:

- Combining the two units into one – creating a single enlarged jewellery shop at ground floor level,
- Alterations to ground floor frontage to Foundry Street – retention of the existing travel agent shopfront in its entirety (with only the door colour altered), and replacement of the jewellers shopfront with a central doorway, black-painted aluminium fascia on a timber frame with white lettering, and a dressed stone riser,
- Side elevations – replacement of existing ground floor door, 9 replacement first floor windows in conservation style,
- Creation of two first floor flats.

A previous planning application for this site (ref: 2025/62/93069/E) was submitted in November 2025 and refused by Kirklees Council on 1 April 2026. The sole reason for refusal related to the design and materials of the shopfront, which the Council considered failed to respect the special appearance and character of the host building and the Dewsbury Town Centre Conservation Area. During the determination of that application, the Council's conservation officer made specific recommendations, noting that the existing travel agent shopfront – which retains higher quality original features including timber frames and a proportionate fascia – should be used as the design reference point. This revised submission responds directly to those concerns.

The principal change from the previous scheme is the full retention of the existing travel agent shopfront, with only a minor alteration to the door colour. The jewellers shopfront is revised with a black-painted aluminium fascia on a timber frame with white lettering, and a dressed stone riser at ground level. The proposed internal safe deposit subdivision has also been removed, creating a single unified retail space at ground floor. The Council raised no other concerns on the proposal – the conversion of the first floor to two residential flats and the alterations to the side elevations were not disputed, and these elements remain unchanged in this revised submission.



Figure 1: Application Site Currently (Source Google Maps)

Assessment

The proposed development seeks to make improvements to the property and enable its effective use – by bringing the upper floor into effective use and enabling the ground floor jewellers to expand its business. Given its town centre location, the proposal is considered to be acceptable in principle.

The design of the proposal has also been carefully considered, given its location in the Dewsbury Conservation Area. The Conservation Area Appraisal identifies the

unity and integrity of the Conservation Area which covers the town centre as positive characteristics. There is a general consistency in use of stone as a facing material, and with buildings being sites to the edge of the footway. There is however much consistency in the scale and fenestration arrangements of properties.

With regards to the application property, the most significant part of the building is its front elevation. No changes are proposed to the front at first floor level, which consists of three well-proportioned windows. At ground floor level, there is a mismatch in the design of the two current shopfronts in terms of their style and material use. The revised proposal retains the existing travel agent shopfront in its entirety, recognising that it retains higher quality original features including timber window frames and a proportionate fascia that respects the character of the building. Alterations are limited to the jewellers shopfront, which is to be replaced with a central doorway and a new shopfront comprising a black-painted aluminium fascia on a timber frame with white lettering, and a dressed stone riser at ground level.

The retention of the travel agent shopfront directly responds to the conservation officer's advice and preserves the most significant original features of the ground floor elevation. The alterations to the jewellers shopfront, with a timber-framed fascia finished in black painted aluminium with white lettering and a dressed stone riser, are designed to complement the retained shopfront and respect the character of the building and the wider Conservation Area. The use of a timber-backed fascia echoes the quality of the retained shopfront and represents a clear improvement on the plastic-looking fascia currently in place on the jewellers. When considered alongside the full retention of the travel agent frontage, the overall proposal represents a material improvement on the previous scheme and would preserve and enhance the character of this designated heritage asset.

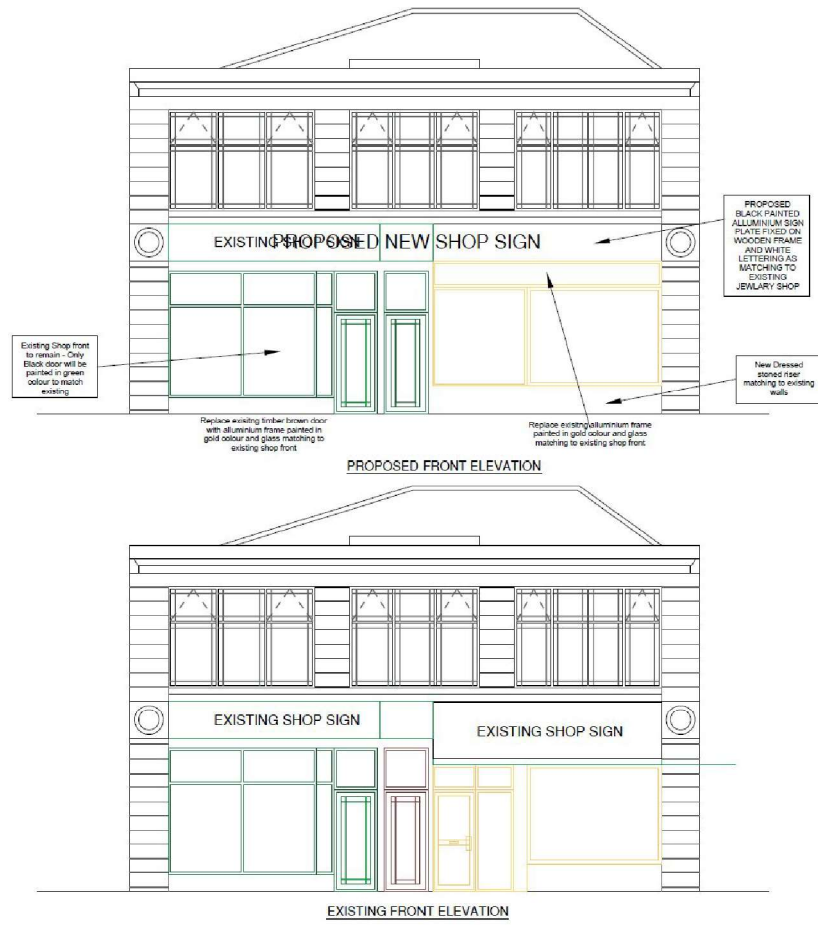


Figure 2: Existing & Proposed Front Elevation (not to scale)

The other parts of the proposal are on the less prominent side elevations and consist of replacing an existing windows/door. The windows would be formed of UPVC but would be in a conservation style and given their location on the side elevation which has a much reduced degree of prominence due to being seen in narrow vantage points, as well as the presence of a range of window designs and styles to the rear/side elevations of other properties, this element of the proposal is considered to be acceptable.

On design and heritage matters, to summarise, the proposal would comply with the relevant policies which include Policy LP24 and Policy LP35 of the Kirklees Local Plan – Strategy & Policies (Local Plan) that require development to respect and enhance the character of the townscape and heritage assets. It would also meet the

requirements of national policy in the National Planning Policy Framework at Chapter 16 relating to the historic environment.

On amenity, the first floor flats would benefit from good levels of natural light, and with each unit benefitting from being dual aspect. It would provide two units – each providing a generous amount of internal space and complying with the technical space standards. This would be compliant with Policy LP24 of the Local Plan and has been found to be acceptable by the Council on the previous submission.

As the site is in a town centre location where users typically rely on on-street car parking or car parks, and is accessible by a range of transport means, the development is considered to be acceptable from a transport and highways perspective and in line with Policy LP21 and LP22 of the Local Plan.

Conclusion

To summarise therefore, the proposal will support an existing business to diversify and expand, and also enable the upper floor to be brought into effective use. The principle of this form of development, as well as the provision of a residential accommodation in a sustainable location receives support from the development plan and national policy.

This Statement has provided an analysis of the detailed aspects of the proposal – including design and heritage considerations and how this scheme responds to the Council's previous concerns.

If there are any queries, please get in touch with the agent.