

Key position. The submitted plan set contains multiple contradictions between different drawings. Those contradictions cannot all be true at the same time. If one drawing is correct, other drawings must be wrong. The plan set therefore presents a physically impossible and internally inconsistent version of Plot 23. The difficulty is made worse because the relevant drawings do not appear to match the built form on site.

Objection to reliance on the submitted drawing package

I object to the Council relying on the submitted drawing titled 2026-91657_+Grouped+Plans+and+Elevations_1144974.PDF as a reliable basis for assessing Plot 23.

The problem is not simply that one dimension appears incorrect. The issue is that the submitted plan set contains multiple contradictions between different drawings, and those contradictions cannot all be true at the same time. In practical terms, if one drawing is correct, other drawings must be wrong. The submitted drawings therefore create a physically impossible and internally inconsistent version of Plot 23.

This is material because the Council is being asked to assess the effect of Plot 23 on neighbouring residential amenity, including its position, width, massing, steps, raised patio, relationship with Plot 34, and relationship with No.92 Lingards Road. If the plans do not consistently show the same building, the Council cannot safely understand what is actually being applied for.

The physically impossible position created by contradictory plans

Contradictory plans create a practical and legal problem. A development cannot be accurately assessed by reference to mutually inconsistent drawings. Where different plans show different widths, alignments, stair positions, patio arrangements, ridgelines, wall thicknesses or relationships between plots, the Council must first resolve what the proposal actually is before it can assess its planning impact.

The practical effect is that the plans distort the true spatial relationship between Plot 23 and No.92. They risk understating the building's apparent closeness, width, massing, height and dominance when viewed

The present position appears to be that the submitted drawings contradict each other; it is unclear which drawing the Council is expected to rely upon; the contradictions concern material matters rather than purely cosmetic drafting details; the relevant drawings do not appear to match the built form on site; and the public cannot fairly understand or comment on the true proposal while those contradictions remain unresolved.

This is not a case where one drawing contains a minor labelling error. The contradictions concern the physical geometry of the development itself.

Continued omission of the lawful side extension at No.92

There is a further and separate problem with the submitted drawings. Since August 2025, plans relating to Plot 23 have continued to fail to depict the lawful side extension at No.92 Lingards Road.

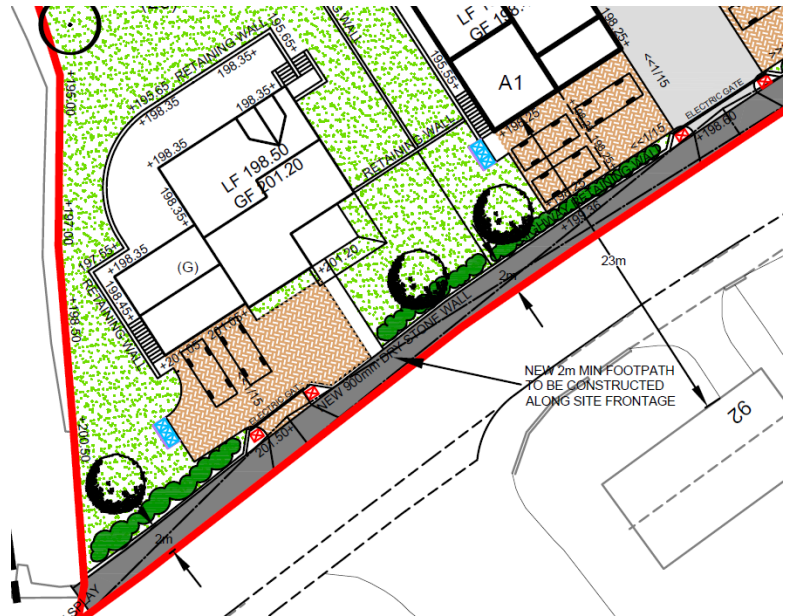
That omission is material. No.92 is not simply the bungalow as originally built. It includes a lawful side extension, approved under planning permission **2018/92537**, and that extension forms part of the actual dwelling now affected by Plot 23. Any plan or assessment that omits the side extension presents an incomplete and inaccurate picture of the relationship between Plot 23 and No.92.

This is not a cosmetic omission. It affects the spatial relationship between the two properties, including the apparent angle, separation, outlook, dominance and relationship with habitable-room windows. If the lawful side extension is not shown, the Council cannot safely assess how Plot 23 relates to the dwelling that actually exists on site.

The omission is particularly concerning because it has continued despite the issue of Plot 23's relationship with No.92 having been raised since August 2025. The Council is therefore not dealing with a single accidental drafting error. It is being asked to assess a proposal where the submitted drawings contain internal contradictions and also fail to accurately depict the neighbouring dwelling most directly affected.

The effect is the same as with the other plan contradictions: the drawings distort the true spatial relationship between Plot 23 and No.92. They risk understating the impact of Plot 23 by assessing it against an incomplete version of No.92 rather than the lawful built form that exists on site.

Before this application is determined, the applicant should be required to provide corrected plans which accurately show the lawful side extension at No.92 and its relationship with Plot 23. The Council should then reassess the impact of Plot 23 by reference to the actual existing dwelling at No.92, not an outdated or incomplete plan representation.



Examples of contradictions identified

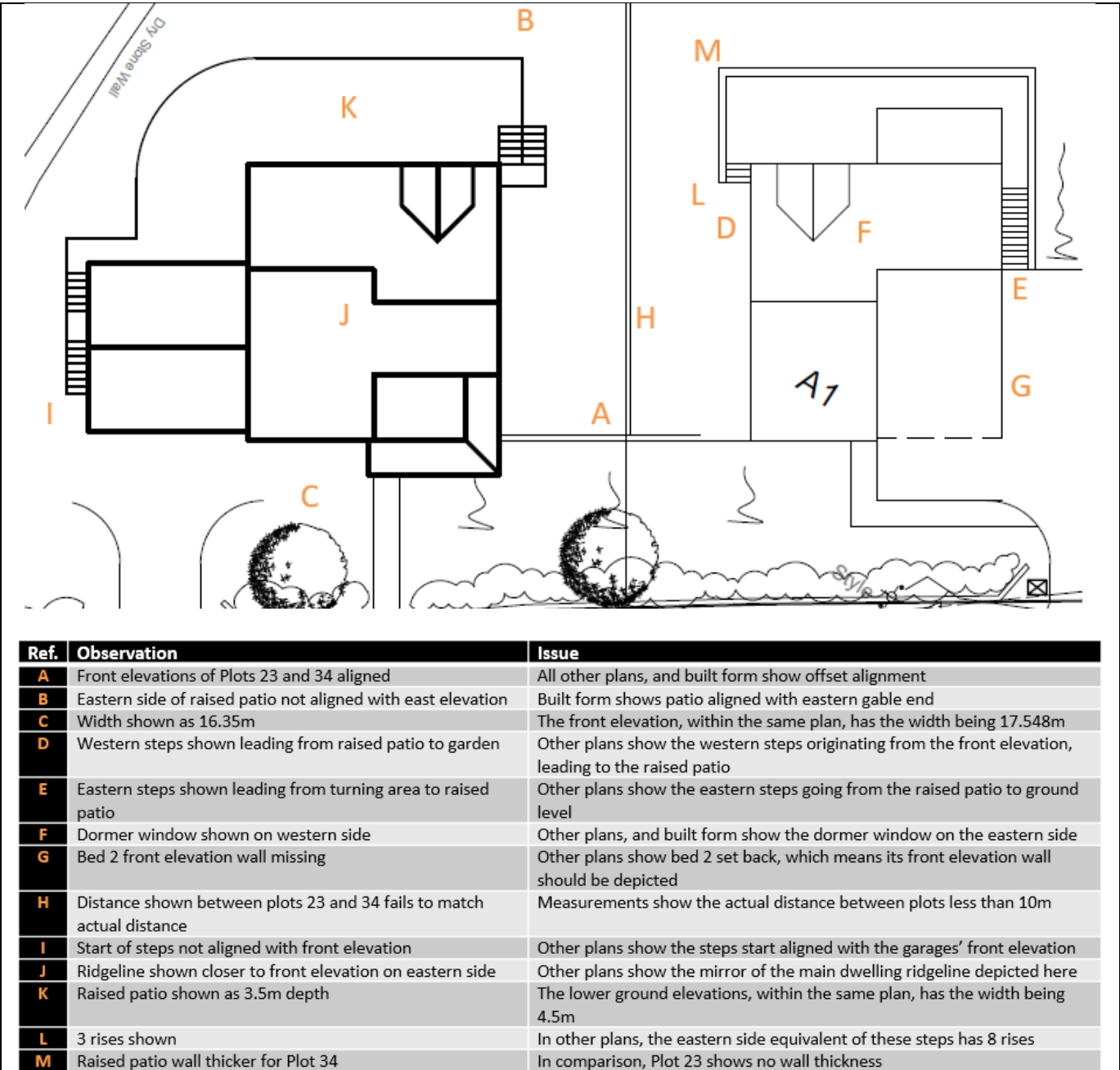


Figure 1 - Annotated extract identifying plan contradictions

Extract based on 2026-91657_+Grouped+Plans+and+Elevations_1144974.PDF. The annotations identify examples only and are not exhaustive.

The marked extract from 2026-91657_+Grouped+Plans+and+Elevations_1144974.PDF identifies the following concerns. The contradictions identified below are not intended to be exhaustive. They are examples of the inconsistencies that are apparent from reviewing the submitted drawings and comparing them with the built form on site. Their purpose is to demonstrate that the plan set is not internally coherent and that the Council cannot safely rely upon it without requiring a corrected, consistent set of drawings.

Ref.	Observation	Issue
A	The front elevations of Plots 23 and 34 are shown aligned.	Other plans, and the built form, show offset alignment.
B	The eastern side of the raised patio is not aligned with the east elevation.	The built form appears to show the patio aligned with the eastern gable end.
C	The width is shown as 16.35m.	The front elevation within the same plan has the width as 17.548m.
D	The western steps are shown leading from the raised patio to the garden.	Other plans show the western steps originating from the front elevation and leading to the raised patio.
E	The eastern steps are shown leading from the turning area to the raised patio.	Other plans show the eastern steps going from the raised patio down to ground level.
F	The dormer window is shown on the western side.	Other plans and the built form show the dormer window on the eastern side.
G	The Bed 2 front elevation wall appears to be missing.	Other plans show Bed 2 set back, meaning its front elevation wall should be depicted.
H	The distance between Plots 23 and 34 does not appear to match the actual distance.	Site measurements indicate the actual gap is less than 10m, approximately 9.592m.
I	The start of the steps is not aligned with the front elevation.	Other plans show the steps starting aligned with the garage front elevation.
J	The ridgeline is shown closer to the front elevation on the eastern side.	Other plans show the mirror of the main dwelling ridgeline being depicted here.
K	The raised patio is shown as 3.5m deep.	The lower-ground elevations within the same plan show the comparable width as 4.5m.
L	Three rises are shown.	Other plans show the eastern equivalent of these steps with eight rises.
M	The raised patio wall is shown thicker for Plot 34.	By comparison, Plot 23 shows no equivalent wall thickness.

Why these inconsistencies are material

These are not isolated drafting issues. Together, they mean the Council is not being presented with one clear, coherent proposal. The drawings give conflicting information about the same elements of the development: the width, alignment, patio depth, stair positions, dormer position, wall thickness, separation distance and lower-ground arrangement.

The inconsistency is especially important because Plot 23 is already being built. The Council therefore needs to assess not only the drawings, but also whether the drawings correspond with the actual construction on site. If the submitted plans do not match each other and do not match the built form, the Council cannot safely conclude that the proposal has been properly assessed.

The concern is not merely technical. Different parts of the same submission appear capable of producing materially different impressions of Plot 23. A narrower or simplified plan view may understate the building's apparent width and relationship to Plot 34, while the elevation drawings and built form appear to show a different and more complex structure. That creates a real risk that the impact on No.92 will be assessed on an inaccurate or incomplete factual basis.

Legal and procedural context

The Council should not approve a drawing package that contains unresolved contradictions about the very matters it is required to assess. This concern is consistent with the principle illustrated by *Choiceplace Properties Ltd v Secretary of State* [2021] EWHC 1070 (Admin), where inconsistent approved drawings created an implementation problem because the development could not be carried out in accordance with all approved plans. Although this application has not yet been determined, the same underlying problem arises at the decision-making stage: the Council must know what it is being asked to approve.

Kirklees Council's own validation requirements also emphasise the need for plans to be clear, legible, drawn to an identified metric scale, supported by a linear scale bar, uploaded at the indicated scale, and logically named, titled and numbered. A plan set that contains unresolved contradictions about the same building does not provide a safe basis for assessing neighbouring amenity.

Corrected plans and public consultation

If the applicant is required to submit corrected or replacement plans, those plans should be subject to proper public consultation before the application is determined. The public, neighbouring residents and consultees should be given a fair opportunity to assess the revised drawings, compare them with the previous contradictory plans and comment on their effect.

This is particularly important where the corrected plans may alter, explain or replace information about the apparent width, siting, levels, separation distances, raised patio arrangement, steps, lower-ground layout or relationship with neighbouring dwellings. The Council should not treat corrected plans as a purely administrative clarification if they materially change the public's understanding of what is proposed or what has already been built.

I also ask that any corrected plans are made available for public comment before any officer report is finalised or any decision is made.

Requested action

I therefore ask the Council to require the applicant to submit a corrected, internally consistent set of plans before this application is determined. Those corrected plans should clearly show:

- the true width of Plot 23;
- the true position of Plot 23 relative to Plot 34;
- the actual measured gap between Plot 23 and Plot 34;
- the correct raised patio depth and alignment;
- the correct location, direction and number of steps;
- the correct dormer position;
- the correct Bed 2 wall arrangement;
- the correct lower-ground / under-garage layout;
- the correct retaining wall and wall-thickness details;
- the lawful side extension at No.92 Lingards Road;
- the relationship between Plot 23 and the actual existing dwelling at No.92, including the side extension and affected habitable-room windows;
- which drawings supersede earlier or contradictory drawings.

Until those contradictions are resolved, the application remains unclear. The Council cannot safely assess the real-world impact of Plot 23 on No.92 because the submitted drawings do not provide a reliable or physically coherent description of what is proposed or what is being built.