

# Land to the East of Dunford Road

**Proposed Residential, Hade Edge**

## **Design & Access Statement**

On behalf of Jones Homes to provide a full planning application submission for 22no. residential dwellings.

|                 |          |
|-----------------|----------|
| Client Number:  | 0005     |
| Project Number: | 015      |
| Author:         | BLW      |
| Date:           | 07.05.26 |

**NIEMEN BLUME**



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# 1.0 Introduction



## Introduction

This statement has been prepared on behalf of Jones Homes to support the submission of a full planning application for a residential development scheme.

This document provides background information on the matters taken into account in formulating the scheme design.

### 1.1 Proposed Development

The application proposes 22no. new build residential dwellings, located at the site to the east of Dunford Road, and to the south of Boshaw View.

The scheme includes proposed access via the existing development to the north, open space, private amenity and parking allocation proposals alongside the proposed dwellings.

The proposed scheme has considered the characteristics of a well-designed place, as set out in the National Design Guide.



Hade Edge Google Maps View

## 2.0 The Site



### 2.1 Site Location

The site is located to the east of Dunford Road, on land to the south of Boshaw View, within the village of Hade Edge. Hade Edge sits within the wider Huddersfield area, at the eastern edge of the Pennines, to the south of Holmfirth.

The site sits to the immediate south of an existing residential scheme previously developed by Jones Homes circa 2019, which is situated around the main route of Boshaw View, through which access is proposed from running from Dunford Road.



Site Location Illustration



### 2.2 Site Characteristics

The site is roughly rectangular in shape, positioned to the rear (east) of existing residential dwellings along Dunford Road. The site is directly to the south of the existing residential estate situated around Boshaw View, previously developed by Jones Homes.

The site itself has previously been in use as agricultural fields framed by Dunford Road and Snittle Road.

The site is comprised of two fields, with a boundary running north to south roughly centrally to the site. There are a small number of existing agricultural outbuildings to the south-western corner of the site which will require removal.

The site is positioned to directly connect to the existing residential to the north through a potential continuation of Boshaw View which was constructed with the potential for future development in mind.

### 2.3 Existing Routes & Access

The site has an existing vehicular access through to the south-west corner of the site at the area of existing outbuildings. The access is via an existing dwelling off Dunford Road outside of the site area and permission for any use would have to be sought potentially.

An access connection via Bowshaw Lane is also located to the north of site, but is currently fenced off. Access could be gained at this location if the fencing at the end of the existing highway was to be removed.



Site Access Locations off Dunford Road/Boshaw View

The existing topography of the site has a rise of between 5 and 7 metres across the site from the north-east to the south-west.

The site is primarily grassland with a hard surface located to the south-western corner in amongst the ancillary outbuildings located within the site boundaries.

The site is bound on all sides by an existing low dry stone wall which has a number of gated access locations between fields.

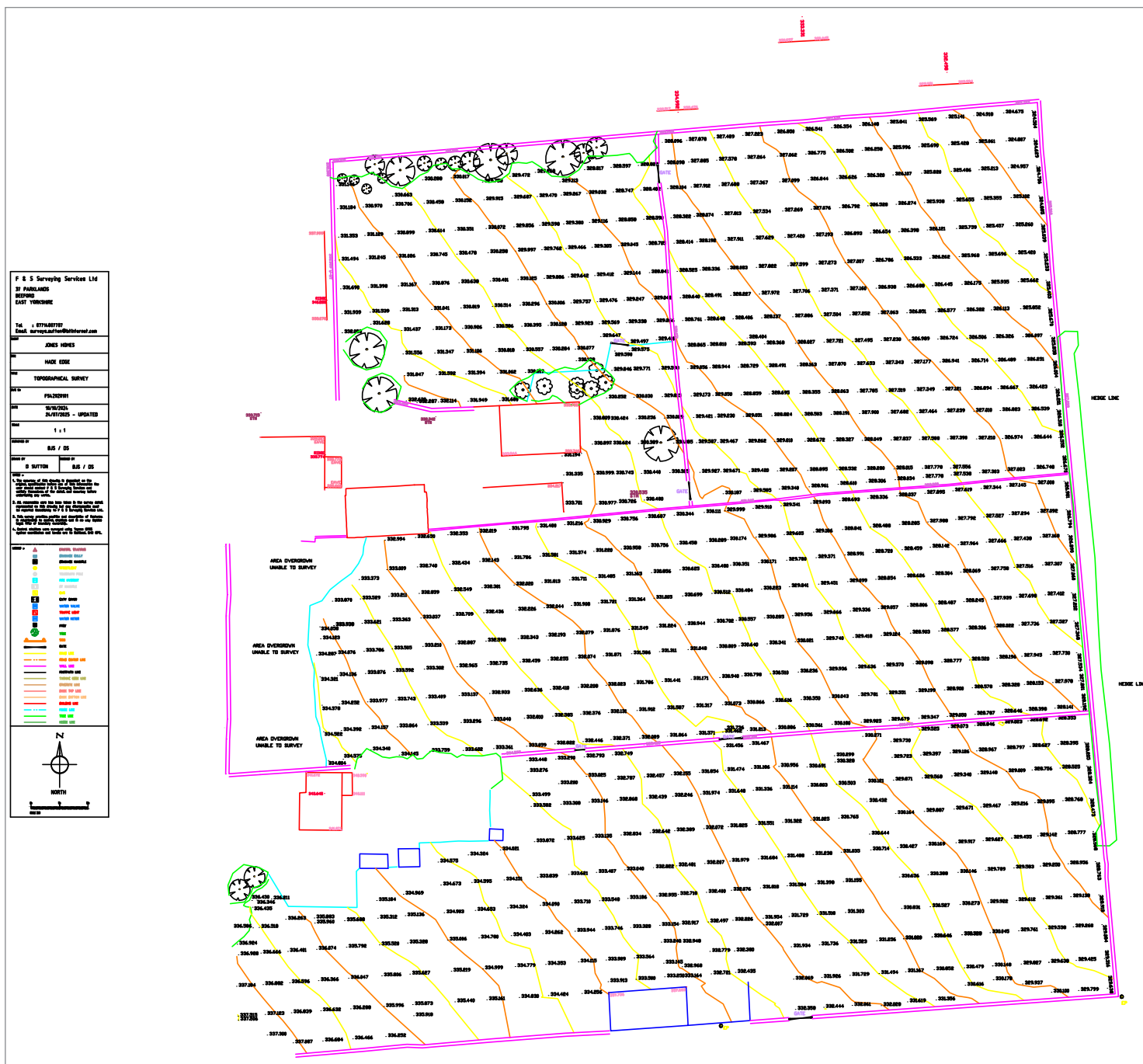
## 2.6 Constraints & Opportunities

The site is well positioned for further development within Hade Edge, with the site ideally located to connect to the existing development to the north.

The site is smaller in size, and offers the opportunity to increase the housing stock within the village by a proportional scale.

The site is constrained by some existing natural vegetation, this however does sit to the outer extents of the scheme, which in turn provides a small amount of landscape buffering and softening of any proposed built form if retained.

There are a small number of existing agricultural outbuilding structures to the south-west of the site which will require removal, as well as a central existing boundary which divides the site in its current form.





### 2.8 Immediate Surroundings

The site is bound by existing fields to the east and south. Beyond the fields to the east of the site is Snittle Road.

Existing residential development is located to the west of the site beyond which is Dunford Road. Dunford Road provides the main route to the centre of the village of Hade Edge which is located to the north of the proposed site.

To the north of the site is the residential development of Heather View previously developed by Jones Homes, which is situated around the main now adopted route of Boshaw View, which runs up to the northern boundary of the proposed site.

The existing residential properties to the West of the site, facing Dunford Road, are a mix of traditional terraced cottages and more modern detached and townhouse dwellings, built in a style which compliments the more historic properties. To the West along Dunford Road there is also a Methodist Church and grounds, of a similar materiality to the residential dwellings.

Stone/reconstituted stone is the predominant building material used in the existing properties facing Dunford Road to the West of the proposed site.

The existing dwellings off Dunford Road to the west of the site boundary are farmhouse style detached dwellings.



Images of Immediate Surroundings



### 2.9 Local Area

Hade Edge is a village located at the eastern side of the Pennines within the wider Huddersfield area. It is located to the south of Huddersfield itself beyond Holmfirth. Holmfirth is located directly to the north of Hade Edge, and the village of Hepworth is located to the north-east.

The village is located near to a number of reservoir locations in the surrounds, some of which offer outdoor activities.

Hade Edge village is part of the Holme Valley parish, and part of the wider metropolitan borough of Kirklees.



Images of the Local Area



### 2.10 Precedents

The existing residential properties to the West of the site, facing Dunford Road, are a mix of traditional terraced cottages and more modern detached and townhouse dwellings, built in a style which compliments the more historic properties. To the West along Dunford Road there is also a Methodist Church and grounds, of a similar materiality to the residential dwellings.

Stone/reconstituted stone is the predominant building material used in the existing properties facing Dunford Road to the West of the proposed site.

Existing dwellings within the area are traditional in architectural style, reflective of the vernacular of the area and the materials used prominently within Kirklees. A large amount of the existing development within Hade Edge however has been constructed post 1990.

The existing development situated around Boshaw View provides the ideal precedent for the scheme, and was developed previously by Jones Homes. The proposed scheme has been designed to follow the visual vernacular established by this earlier development.







### 2.11.1 Access by Road

The site is situated to the east of Dunford Road which provides a direct route north from the site access to Holmfirth, from which routes through to Huddersfield and other connections are located.

### 2.11.2 Access to Public Transport

Local bus services can be accessed from stops to the west situated along Dunford Road, providing services which connect the village to Holmfirth and Huddersfield. Holmfirth has a bus and coach station providing transport options nearby. The nearest train station to the site can be found in Brockholes, with a wider range of connections and routes found from Huddersfield Station.

### 2.11.3 Access by Air

Manchester Airport is approximately 32 miles from the site travelling by road, with a travel time of approximately an hour, whilst Leeds Bradford Airport is approximately 42 miles from the site by road, with a travel time of roughly 1 hour 10 minutes.

### 2.11.4 Access to Education

Hade Edge School, providing primary level education, is located to the north-western edge of the village. Further primary level education can be found within nearby Scholes, Holmbridge, and Holmfirth. Holmfirth High School, located to the north-east of the town, provides secondary education to the surrounding area.

### 2.11.5 Defined Retail Centres

The nearest defined retail centre can be found to the north of the site in nearby Holmfirth which has a small centre that includes a number of retail outlets, notably local small supermarket provision, amongst other retail outlets, food retail, and restaurants and services.

Additionally there are a few local farm stores and food retail outlets within Hade Edge itself serving the locality.

Larger retail parks and supermarket locations can be found further afield within Stocksbridge to the south-east and Huddersfield to the north.

### 2.11.6 Access to Other Facilities

There is a public house located at the northern boundary of the settlement area off Dunford Road which serves the village, along with a butchers and food hall located on Penistone Road.

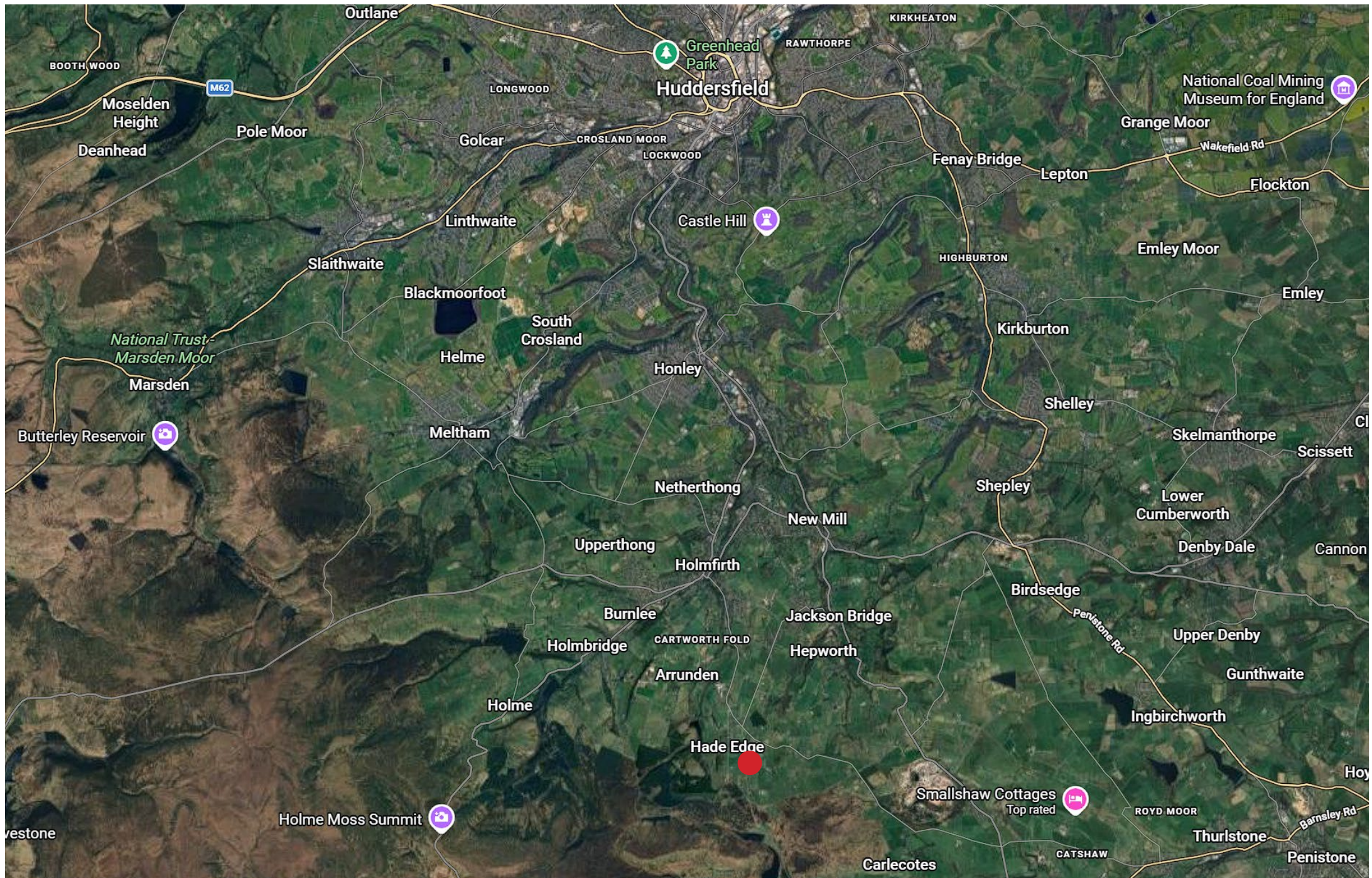
The nearest healthcare facilities can be found to the north in Holmfirth, with a local hospital, a number of GP practices, and a pharmacy all available. Further hospital services can be found in Huddersfield. There are also a number of health services and clinics located within Holmfirth.

The site is ideally located for access to the countryside within the surrounding area. The Huddersfield Angling Association and Huddersfield Sailing Club are located just to the north-east of the village at Boshaw Whams Reservoir. Hade Edge AFC is located to the east of the village off Snittle Road, and provides a local club and sports pitch to the village area. Hiking trails are located to the south of Hade Edge located art Winscar Reservoir.

Holmfirth also provides further leisure provision for the area, with a live music venue, library, and various restaurants and cafés located within the town centre.



## The Site: Accessibility



## **3.0 Scheme Design**



### 3.1 Project Brief

The project brief by our client Jones Homes was to provide a scheme which utilises the available space and provides an appropriate level of accommodation.

The proposed scheme was to consider the opportunities and constraints of the site, and ensure that any scheme was designed cohesively to sit alongside the existing Jones Homes development immediately north of the proposed site.

The proposed scheme has developed from a number of concept sketch layouts which have led to the scheme as proposed.

### 3.2 Design Development

The scheme has been taken from the initial concept design stage through to the proposal that is the subject of this application. The scheme was presented for public consultation during its development, and has taken the comments received into consideration when formulating the final proposal.



Extract of Initial Concept Sketch



## 3.3 Proposed Site Layout

The proposed scheme is comprised of 22no. residential dwellings in a varied range of house types. The mix of homes has been carefully considered, with a range of detached and semi-detached dwellings. The overall scheme has been designed to sit comfortably alongside the adjacent Heather View development, and follows a similar format to both its proposed layout and character, ensuring that the proposed and existing sit together cohesively.

The scheme is proposed to be accessed via the existing development to the north. The scheme proposes the extension of Boshaw View into the scheme, which will then devolve into a branched network of roads and shared access surfaces.

Dwellings within the proposal are oriented towards highways, creating a number of micro-neighbourhoods situated around the devolving road hierarchy. The careful positioning of properties within the scheme acts to create natural surveillance across the scheme.

Houses are generally positioned with an open frontage of defensible space, with primarily front loaded parking allocations. This increases the offset of the property line from the highway. Each dwelling is proposed with a secure rear garden amenity. Larger detached house types are proposed to include either a detached or integral garage.

Particular care has been taken with the positioning of homes adjacent to the northern and eastern boundaries, so as to ensure the privacy of neighbouring existing dwellings is maintained.



Illustrative Proposed Site Layout N.T.S.



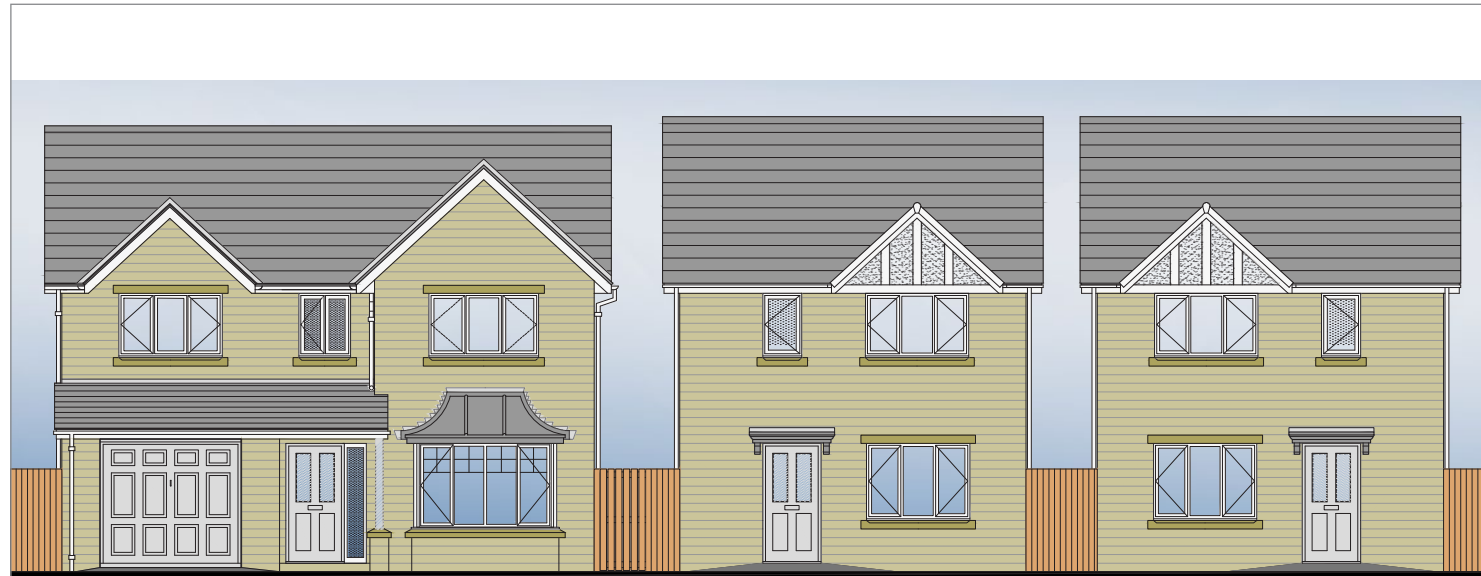
### 3.4 Built Form

The proposed layout makes effective use of the site and responds appropriately to its surroundings.

The development will continue the existing street scene of the existing Heather View development to the north, and will not impact the existing street scene of Dunford Road. The impact of the proposed built form on the existing development to the north is lessened by the offset distances provided between the new and the existing built forms. The scheme itself has carefully considered the existing development and has been designed to sit cohesively alongside it, with a similar materials palette and aesthetic of house type chosen in line with both the existing scheme and the wider area as a whole.

This layout and urban grain aligns with the character of the area, and in particular the adjacent development, whilst meeting the necessary standards on residential amenity, road widths, vehicle turning, parking, private garden space and landscaping.

Buildings in Hade Edge are typically low rise, consisting generally of 2 storeys with pitched roofing. The scheme proposes a maximum height of 2 storeys throughout, with a similar scale and volume of house type proposed in line with the existing development to the north.



B-B @ 1:100



Street-scene Extract N.T.S.



### 3.5 Proposed Access

Vehicular and pedestrian access are proposed from Dunford Road, utilising the existing route of Boshaw View through the existing development to the north. The scheme proposes the continuation of Boshaw View into the scheme, as an expansion of the existing development.

### 3.6 Movement

The vehicle and pedestrian access point is located to the centre of the northern boundary, with the application area including the existing highway of Boshaw View which is part of the development to the north of the site. Upon entry into the site proper 'Boshaw View' will continue south before devolving into a 'H' shape, which includes a number of minor curves to the highway, and then devolve further into a number of cul-de-sac style micro-neighbourhoods. The layout will encourage low vehicle speeds and improve the road safety within the development through the use of junctions strategically placed within the branched route proposed.



Proposed Site Layout Access Detail N.T.S.



### 3.7 Access Into Dwellings

Gradients leading to dwellings will be designed in accordance with Part M of the Building Regulations and all plots include an allowance for a minimum 900 x 1200mm level access to the main entrance.

### 3.8 Design & Visibility Splays

The proposed scheme seeks to create vehicular access into the site which ensures required visibility between the existing development and the proposed scheme are achieved through the extension of the existing highway of Boshaw View. The proposed scheme utilises the existing site access to the development to the north off Dunford Road, which meets the visibility requirements for both vehicles and pedestrians.

Vehicular turning facilities have been afforded where necessary using private access roads and driveways/parking allocations within individual plot curtilages.

### 3.9 Parking Provision

Parking provision has been allocated at predominantly 2 spaces per dwelling or where feasible, for the larger dwellings 2 spaces plus integral/detached garage space have been provided. A visitor parking allocation has also been afforded within the scheme, with 5no. parking spaces proposed alongside the main vehicular routes within the site.

Parking spaces will be generally located to the property frontage in an accessible naturally surveilled location, emulating the layout of the existing development to the north. An EV charging plan is provided as part of the application drawings pack outlining the proposals for EV charging location details.

### 3.10 Amenity

The proposed layout seeks to maintain the private amenity of neighbouring properties with particular care given to the existing development located to the immediate north of the site, and to the existing homes located along Dunford Road to the west. House types have been positioned so that existing and proposed rear gardens abut one another so as to increase the offset distances between dwellings.

Plots and proposed dwellings throughout been carefully positioned to maintain the private amenity of proposed homes with the offset between dwellings considered within the scheme design. A range of garden sizes which meet requirements are included per

dwelling.

View lines and window positioning have been considered within each house type. This ensures that overlooking is avoided within the scheme between neighbouring homes. Offset distances at key locations have been proposed to ensure the private amenity of dwellings is achieved both internally and with existing properties within the adjacent development and along Dunford Road.

Private amenity within the site is provided through secure rear gardens bound by proposed 1.8m timber fencing.

### 3.11 Private & Public Spaces

Solid design methodologies have been adopted concerning the design of public and private space. The proposed scheme is positioned around a road network which is designed to adoptable highways standards. The proposed estate road of Boshaw View devolves into shared access routes and finally private parking allocations and driveways within plot curtilages. Houses are proposed with open frontage of defensible space throughout the scheme. The private garden amenity to the rear of properties is clearly defined by timber fenced proposed boundary treatments. The boundary treatment plan provides details of this, and is included both within the application, and on the following page of this document. Due to the small size of the site and the ease of access to the surrounding countryside public open spaces have not been proposed as part of the scheme.

### 3.12 Crime & Prevention

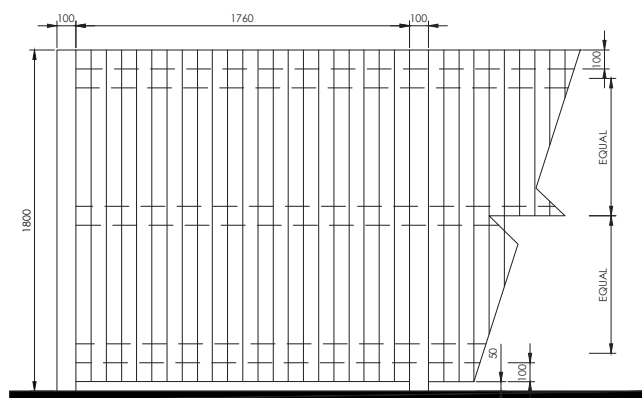
Prevention of crime has been taken into consideration in the design of the layout of the proposed site. The open plot frontages and sight lines to the adjacent highway or shared access work in conjunction to provide clear and defensible spaces alongside natural surveillance from proposed dwellings. The security of the rear gardens is provided using fencing to create a barrier between properties and the site boundary where applicable. Integral garages within a number of house types provide further secure storage for plots within the scheme.



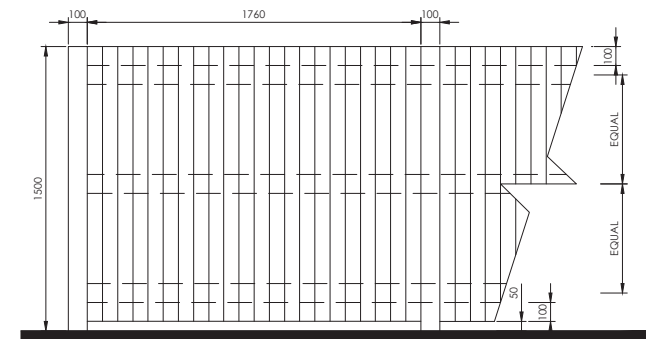
## 3.13 Proposed Boundary Treatments

A range of boundary treatments are proposed within the scheme. The boundary treatments proposed are two types of timber fencing, with the details shown to within the boundary treatment plan and boundary treatment details drawings.

Rear garden amenity is secured by a combination of 1.8 metre and 850mm timber fencing.



**SF10 FEATHER EDGE BOARDED TIMBER SCREEN @ 1:20**  
100x100mm TIMBER POSTS WITH 100x37mm SW RUNNERS (2NO.) AND 100x25mm THICK FEATHER EDGE SAWN BOARDS WITH 20mm LAP TO BOARDS (TIMBER TREATMENT-ALL TIMBERS TO RECEIVE PRESERVATIVE STAIN FINISH AS NOTE). BOTTOM EDGE OF BOARDS TO BE SET 50mm CLEAR OF FINISHED GROUND LEVEL. ALL FIXINGS TO BE GALVANISED MILD TIMBER POSTS TO BE TAKEN DOWN 600mm MINIMUM AND ENCASED CENTRALLY IN 450x450x600mm DEEP CONCRETE LAID 100mm BELOW GROUND LEVEL. ALL FENCING TO BE SITE ASSEMBLED.



**SF7 FEATHER EDGE BOARDED TIMBER SCREEN @ 1:20**  
100x100mm TIMBER POSTS WITH 100x37mm SW RUNNERS (2NO.) AND 100x25mm THICK FEATHER EDGE SAWN BOARDS WITH 20mm LAP TO BOARDS (TIMBER TREATMENT-ALL TIMBERS TO RECEIVE PRESERVATIVE STAIN FINISH AS NOTE). BOTTOM EDGE OF BOARDS TO BE SET 50mm CLEAR OF FINISHED GROUND LEVEL. ALL FIXINGS TO BE GALVANISED MILD TIMBER POSTS TO BE TAKEN DOWN 600mm MINIMUM AND ENCASED CENTRALLY IN 450x450x600mm DEEP CONCRETE LAID 100mm BELOW GROUND LEVEL. ALL FENCING TO BE SITE ASSEMBLED.



## 3.14 Proposed Materiality

The predominant surface finish of the surrounding area is one of stone, and artificial stone, with a small amount of traditional brickwork. Hade Edge presents a consistent mix of roof finishes, the majority of which are grey slate.

Materials have been proposed to compliment and reflect the existing vernacular within the surrounding area, and in particular the existing residential area to the north, situated around Boshaw View, which was previously developed by Jones Homes.

The materials palette chosen is proposed to sit alongside and complement this existing development.

The quality of the development will be enhanced by the choice of stone, which will sit comfortably within the existing surroundings, reflecting the architectural vernacular of the surrounding area.

The plan to the right details the materials placement within the proposed scheme. There is a single materials palette proposed for the site, a weathered stone to the elevations, and a grey slate roof tile, both in keeping with the surrounding area. Elevational variety will be provided through differing front and garage door colour choices. Full detailing can be seen within the materials plan to the right, which is included within the planning application.



Proposed Materials Plan N.T.S.

### 3.15 Housing Mix

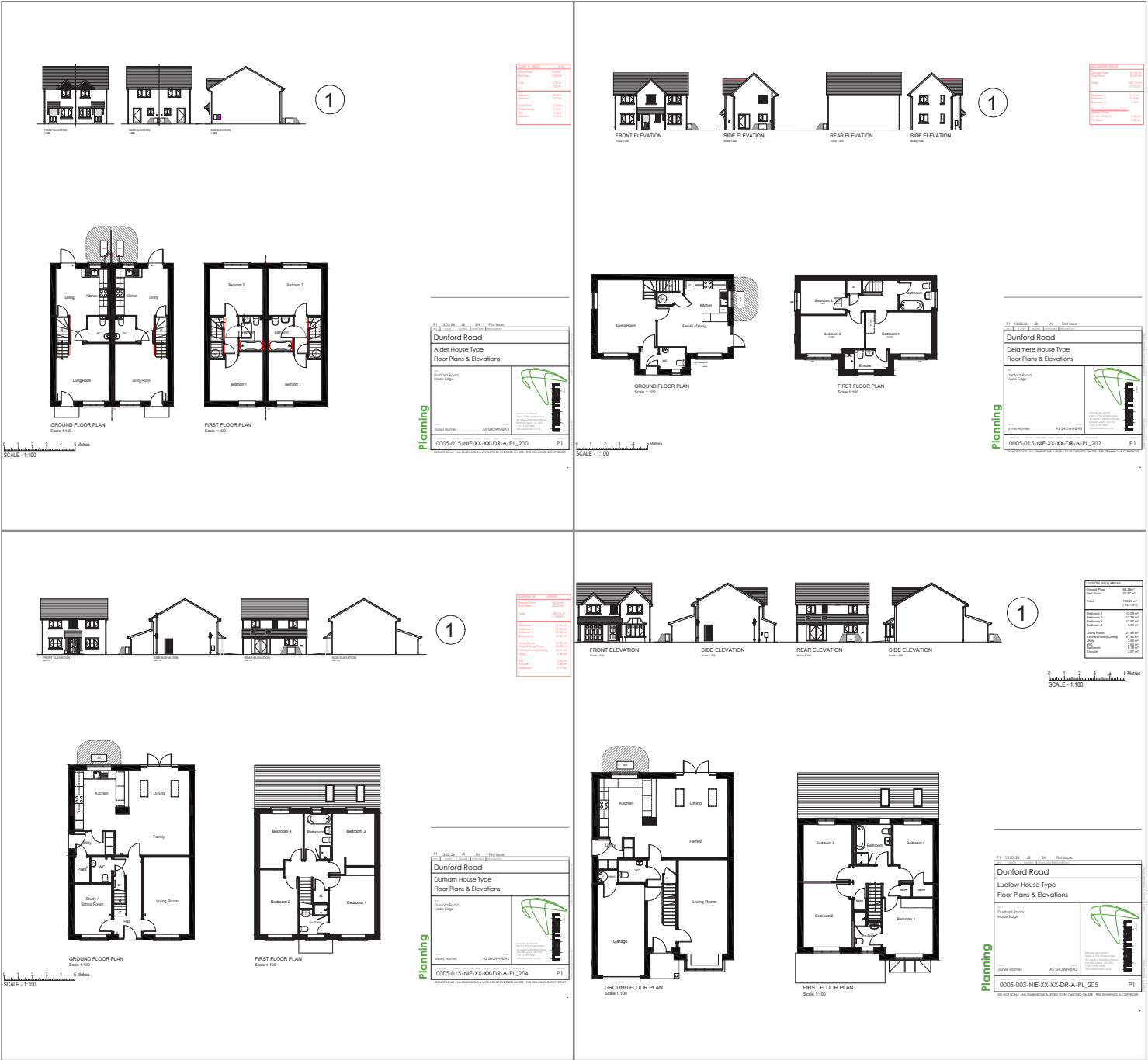
The housing mix provides a range of semi-detached and detached homes. The mix has been carefully chosen to reflect and complement the existing development to the north of the proposed site.

### 3.16 Proposed House Types

An example of the proposed house types can be seen to the right, with the full pack of proposed elevations and floor plans provided within the application. The house types proposed provide varied levels of accommodation with houses proposed containing between 2 and 5 bedrooms, providing a range of homes for the potential end user.

House types have been carefully chosen in line with the existing types used within the adjacent development.

A number of house types proposed appear within the existing scheme to the north, with further types proposed so as to expand the scope of the available homes, and to complement the existing development and its character, and to reflect local market conditions.



Example of Proposed House Types



## 3.17 Proposed Elevations

Careful consideration has been given to the arrangement of the various house types within the scheme to ensure visual diversity and interest is achieved within the proposed street scape. The variation created within the roof scape is key to producing visually varied distances between the different houses, creating the impression of added spacing within the development.

All proposed elevations consist of two storey detached homes with pitched roof lines in keeping with the existing theme within the immediate locality, and emulating the existing aesthetic of the development to the south of the site. The stone walling to the elevations reflects the existing visual language seen within Hade Edge and the surrounding area, ensuring the development sits comfortably within the surrounding landscape.

The proposed elevations therefore complement and enhance much of the surrounding area in terms of form, scale and materiality, with proposed additional detailing to further enhance the proposed street-scape



## 4.0 Conclusions



### 4.1 Summary

The proposed development consists of 22 dwellings on former agricultural land to the east of Dunford Road and south of Boshaw View within the village of Hade Edge. The site lies to the south of the existing settlement area, extending the existing residential development located around Boshaw View. The land has been safeguarded for residential development. As such, the proposals are an appropriate use.

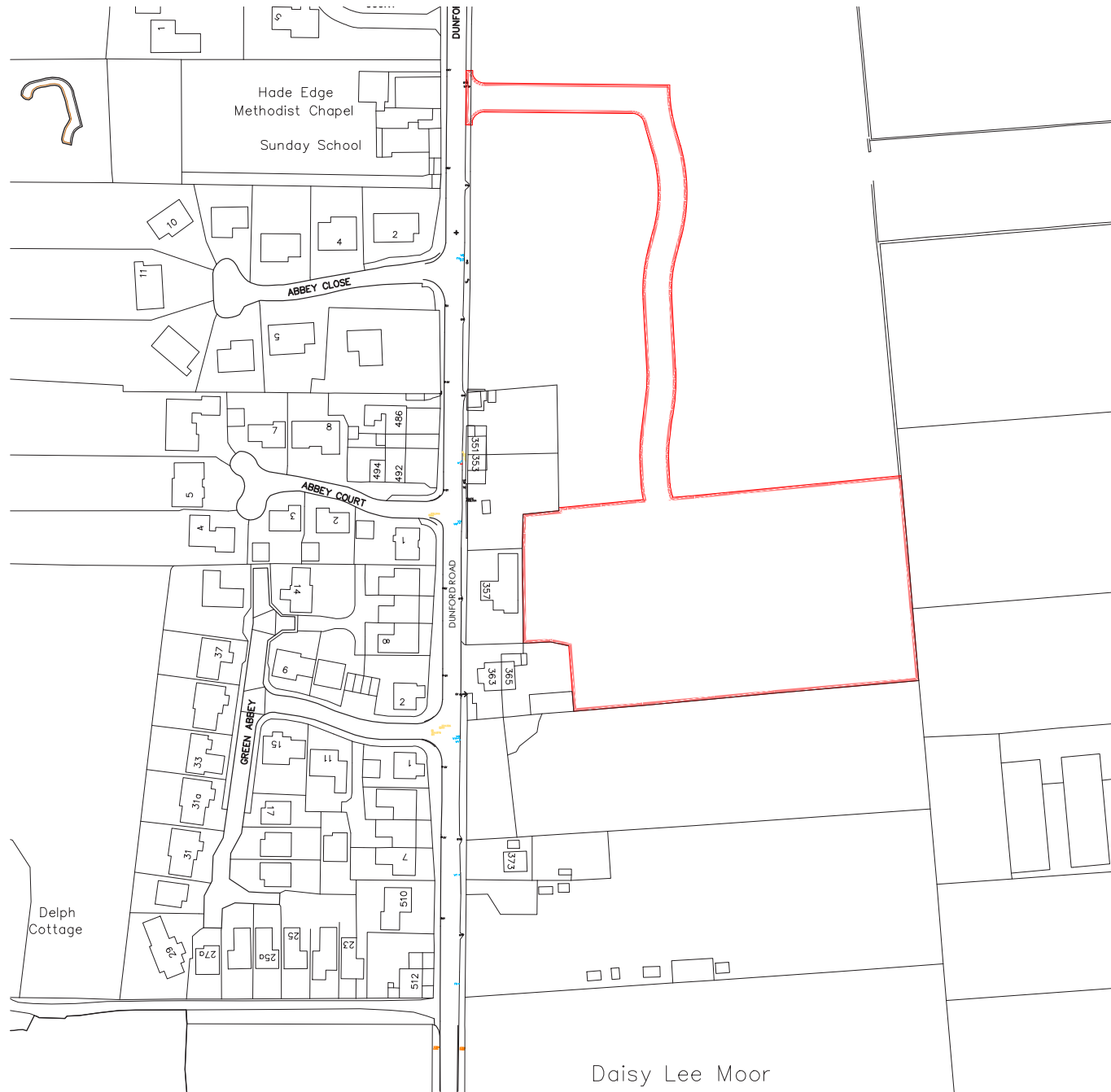
This development will provide a positive addition to the street-scene, extending the existing Boshaw View into the site, and have a low visual impact upon the existing street scene of Dunford Road and the existing dwellings to the western boundary. The proposed density reflects the rural village location, expanding the housing provision within the area, and sitting comfortably alongside existing development to the north.

The homes will positively contribute towards the character of the area. They will be constructed in a traditional style, with high-quality building materials which reflect the local vernacular, providing variety and visual interest.

The form of development reflects its surroundings, with scale extending no more than 2 stories in height. Rear gardens will be provided throughout, with front gardens of open defensible frontage.

In summary, the proposals perform well against the 10 characteristics of a well-designed place, as described in the National Design Guide.

## 5.0 Appendices



1m 10m 20m 30m 40m 50m



Planning

P2 28.04.26 JB SN Red edge adjusted.  
P1 31.03.26 JB SN First issue.

| rev | date | issued | checked | description |
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Dunford Road

Site Location Plan

Site:  
Dunford Road,  
Hade Edge



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revision:  
P2

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subject to accurate measured survey

