

2024.00373.000

# George Hotel Refurbishment (Planning & LBC) LBC – HAKI access stair \_ V3 Block A – Design and Access Statement

(File Ref: 26.05.11 - HAKI Stair\_Design and Access Statement – LBC\_v3)

Shaping places that have  
a positive impact



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Revision	Date	By
01	26.03.26 (Site Notes)	AHR Architects
02	28.04.26	Tim Ordway AHR Building Consultancy
03	11.05.26	Tim Ordway AHR Building Consultancy

# Summary

## REQUEST FOR LBC APPROVAL RELATING TO ACCESS WORKS (HAKI STAIR)

The contractor has explored the sequencing of works for the building generally along with the works which need to be performed in Block A. As discussed with the CO Sheena Campbell on site meeting 25.03.26, the Principal Contractor has reasonably demonstrated through the documentation in Appendix A that once demolition of Blocks B&C has commenced (which sequentially must occur to stabilise the back stair wall Block A) that there will be no safe access to Block A to perform any works.

In summary, the central stair in Block A is in unsafe condition, Block B demolition will remove the 1970s escape staircase (for which there is no design loading upon which to base a safe usage case) and any external break in stair options would incur unjustified material harm to the Block A Façade particularly at levels 3 & 4 due to smaller window openings.

The HSE requires contractors where reasonably practicable to provide 2 means of escape during works – this can be reduced to singular stair by careful management on site but this would require the installation of a HAKI stair triggering total loss of the floors in the areas denoted within this report.

We therefore request formal approval to perform the HAKI stair works and later floor reinstatements on the basis of works access and safety need & that this location has been carefully chosen to represent the lowest level of material harm.

### Notes:

As part of this report we confirm:

1. Significant number of the existing joists to level 3 & 4 are already deemed material total loss/ compromised.
2. The vaulted hearths on levels 2, 3 & 4 have already been defined as poorly supported/ identified for potential removal.
3. All other options for access and sequencing adjustment have been explored and would represent either intolerable/ unjustifiable material harm or unsafe sequencing of works/ access.
4. Recording has been performed (Level 3) with GF ceiling now exposed and inspected (see images for reference in this report).
5. Other items such as the GF fireplace remain protected/ unaffected.
6. Demolition would relate SOLELY to the floorboards and joist in the denoted locations in this report – for clarity, all other matters are/ have been addressed within the current LBC approval ref 2025/91148.
7. Reinstatement of the floors is proposed to be new joists on wall bearers/ plate with SW T&G floorboards over to matching span method/ board pattern.
8. Protection boarding would be applied to the GF area for protection of the floor tiling in that area.

# Considerations

## **REQUEST FOR LBC APPROVAL RELATING TO ACCESS WORKS (HAKI STAIR)**

As part of the dialogue during preparation for this application, the need to justify other options considered has been raised.

Other options considered were briefly as follows (details available upon request):

### **a) Resequencing works to Blocks B&C to retain the existing escape stairs.**

This has been ruled out as unviable as one of the key Block A structural protection activities is to stabilise the back stair wall underneath the stairs at Basement level due to historic poor condition span beams under duress. This requires the demolition of parts of Block B to allow for a sequence of temporary propping & rectification works which would remove the existing escape stair which is partly in Block A (levels 3 & 4) and partly in Block B (levels Mezz-3). It is also noted that no design data for this stair exists of its 1970s construction and therefore reliance as a sole escape stair under the HSE requirements precludes this option.

### **b) External break in stair**

This has been explored and ruled out principally on the basis of introducing avoidable harm to the more significant elements of the building (façade).

Whilst a GF and 1<sup>st</sup> floor break in could be accommodated – at levels 2, 3 & 4 this would require the removal of a significant amount of material thereby representing avoidable harm to the façade at either the east or west elevations where a good 1m of stone cill breakout to ornate stonework would have to occur. It is also noted that this would exceed the travel distances guidelines under the HSE single stair evacuation principles rendering the option both unadvised from a material harm perspective and unviable from a safety perspective.

### **c) New Internal staircase**

Initially consideration as to keeping the upper section of existing fire escape stair was considered but all options for levels Mezz-3 would have introduced a temporary stair in areas deemed of increased significance (former 1st floor dining rm & former GF Billiard rm).

Consideration was given as to the existing central stair but due to this being one of the areas of the building requiring of the most extensive restoration both structurally and general materially this was deemed unviable as an unworkable sequencing (for access).

The team then sought to identify the best vertical travel location that would represent the least impact from a material harm perspective upon which this application has rested as this proposal is both in a good escape location travel distance wise, impacts 2nr floors where significant timber material loss has occurred & low levels of historic ceiling plasterwork remains. Following the completion of Level 3 recording on this proposed location, it is felt the proposal as per this application represents the lowest form of harm & most reasonable justification for said works.

# Impact Assessment

## BACKGROUND:

GMI have supplied initial proposals and works justification for Conservation Architect review/ assessment and advice in appendix 1 & 2.

Via these documents, the appointed Principal Contractor has demonstrated to the Conservation design team that there is a demonstrable safety need to introduce a safe working staircase to facilitate the performing of the stabilisation & restorative works as per the approved Planning & LBC submission and that the least impactful materially option would be the introduction of an access stair adjacent to the existing main stair.

In site meeting 25.03.26 the Conservation Officer Requested the design team demonstrate need/ justification through the following:

*Further justification required for KC Conservation to support proposal:*

- 1. Provide report addressing sequence, legal duty reasoning and other options considered/ discounted.*
- 2. Statement from RS (impact assessment)*
- 3. Specification from RS for reinstatement.*
- 4. Ground floor where haki stair is proposed to be sited – Lower 1970s ceiling to be removed to expose 1930s ceiling above. 1930s ceiling to be assessed by RS and recorded prior to further works.*
- 5. All soft strip works agreed predicated on demonstrating Level 2 recording has matured sufficiently prior to soft strip works commencing.*

In response we confirm the following:

1. This DAS covers these considerations.
2. See HIA Ref: HIA - Haki\_480\_ras\_260508
3. See HIA Ref: HIA - Haki\_480\_ras\_260508 and this report Page 2 item 7
4. Exposure performed and inspected by Richard Storah (see HIA Report).
5. Recording has been performed (Level 3) with GF ceiling now exposed and inspected (see images for reference in this report).

## HERITAGE IMPACT ASSESSMENT

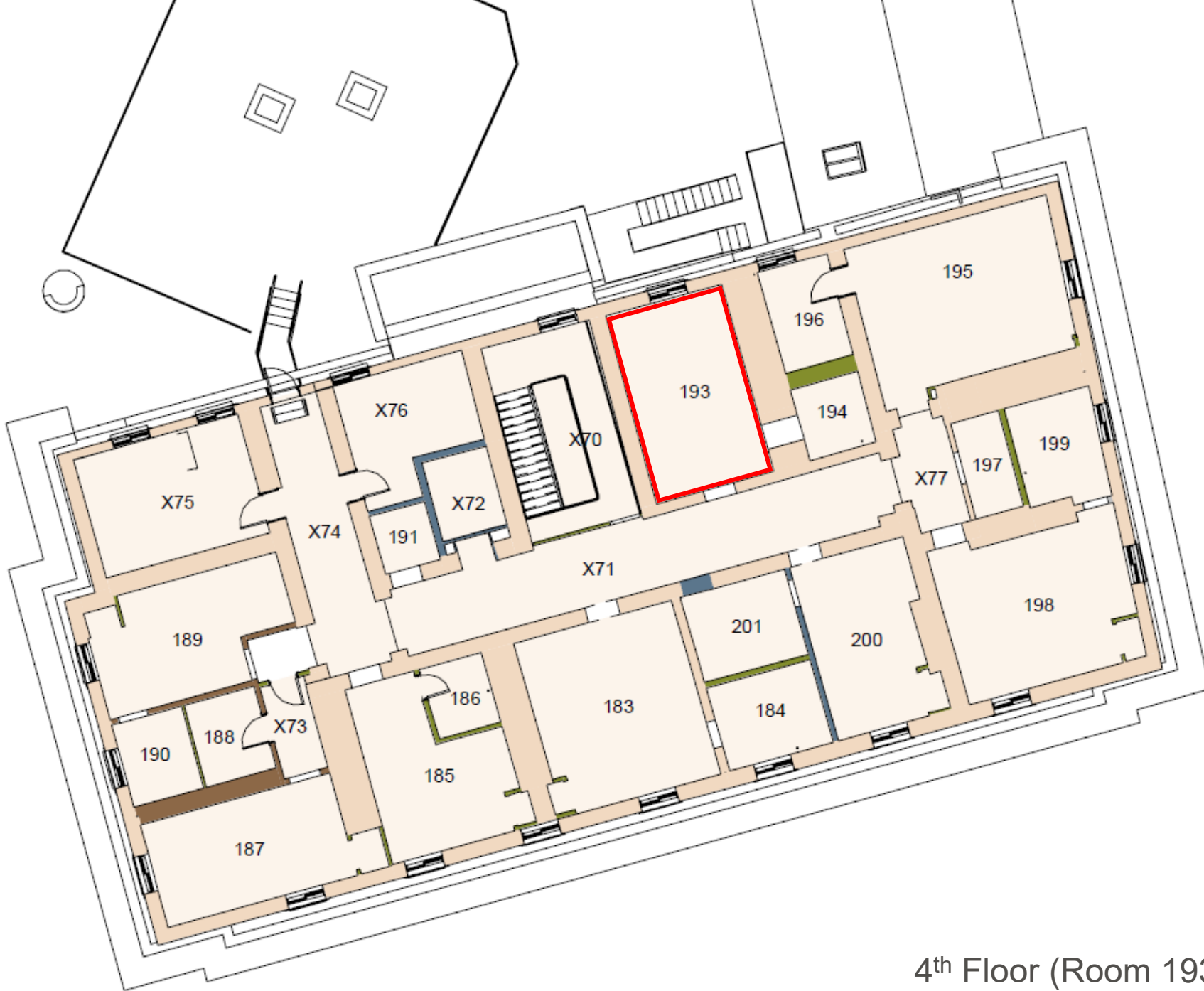
A dedicated heritage impact assessment has been supplied document ref: HIA - Haki\_480\_ras\_260508.pdf

## REFERENCE MATERIAL:

- *HIA - Haki\_480\_ras\_260508.pdf* – Heritage Impact Assessment
- *2024.00373.003-Site meeting with KC Conservation - Minutes.pdf* – Meeting on site minutes with reference to the discussions held with the KC Conservation Officer.
- *L054-GMI-ZZ-ZZ-T-J-251219\_P01 - Access Stair.pdf* – Principal Contractor justification statement

# 4<sup>th</sup> Floor- Record

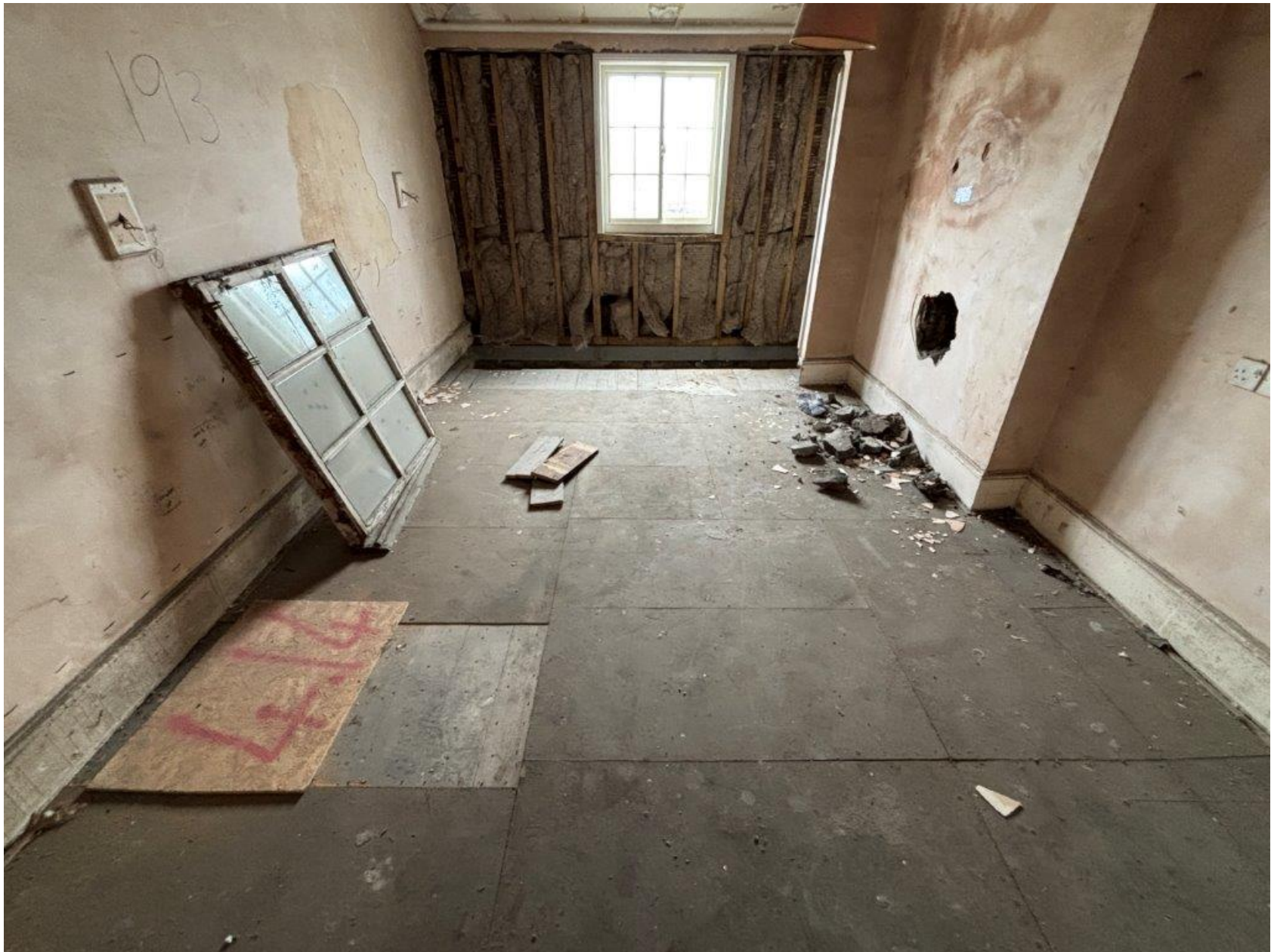
Shaping places that have  
a positive impact



4<sup>th</sup> Floor (Room 193)



IMG\_4390 – 4<sup>th</sup> Floor (Room 193)  
Note: loss of 2nr joists and end floor timber floorboards (Historic)



IMG\_4391 – 4<sup>th</sup> floor (Room 193)  
context



IMG\_4392 – 4<sup>th</sup> floor (U/S) as viewed from 3<sup>rd</sup> floor (Room 181)  
Note: Unsupported hearth vault



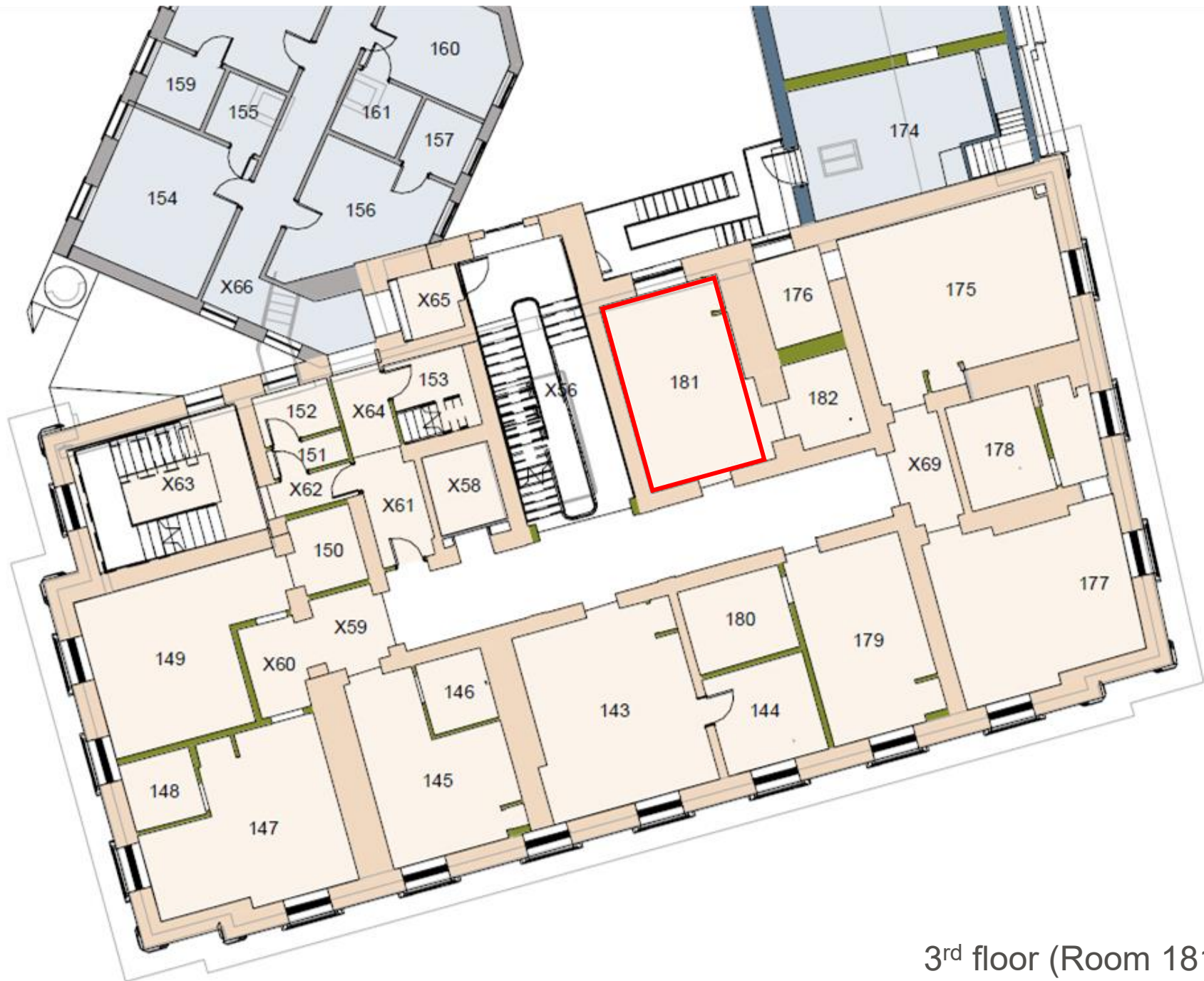
IMG\_4393 - 4<sup>th</sup> floor (U/S) as viewed from 3<sup>rd</sup> floor (Room 181)



IMG\_4394 - 4<sup>th</sup> floor (U/S) as viewed from 3<sup>rd</sup> floor (Room 181)  
Note: 5nr slim joists (from right of image) ends rotten – limited repair option due to joist slenderness.

# 3rd Floor- Record

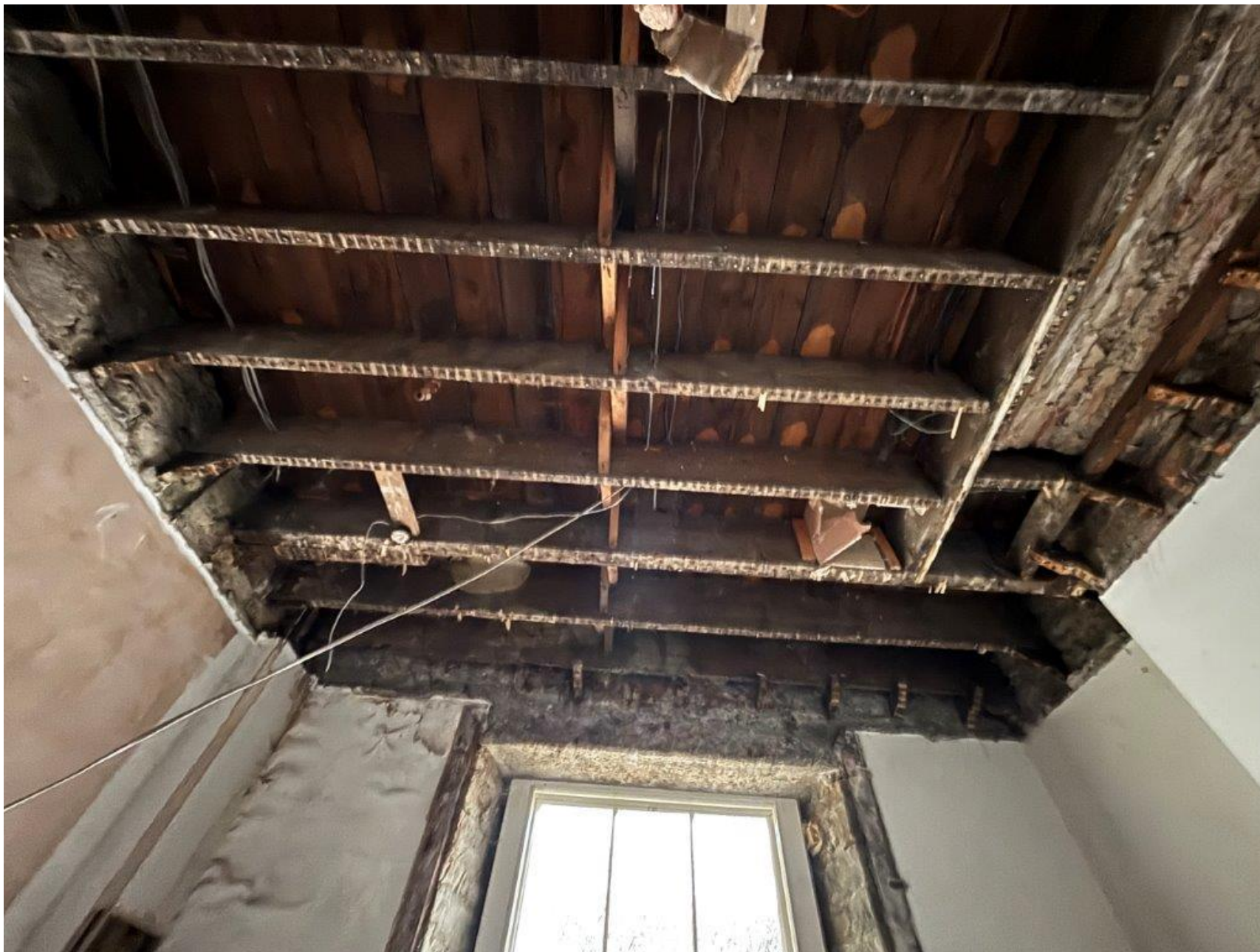
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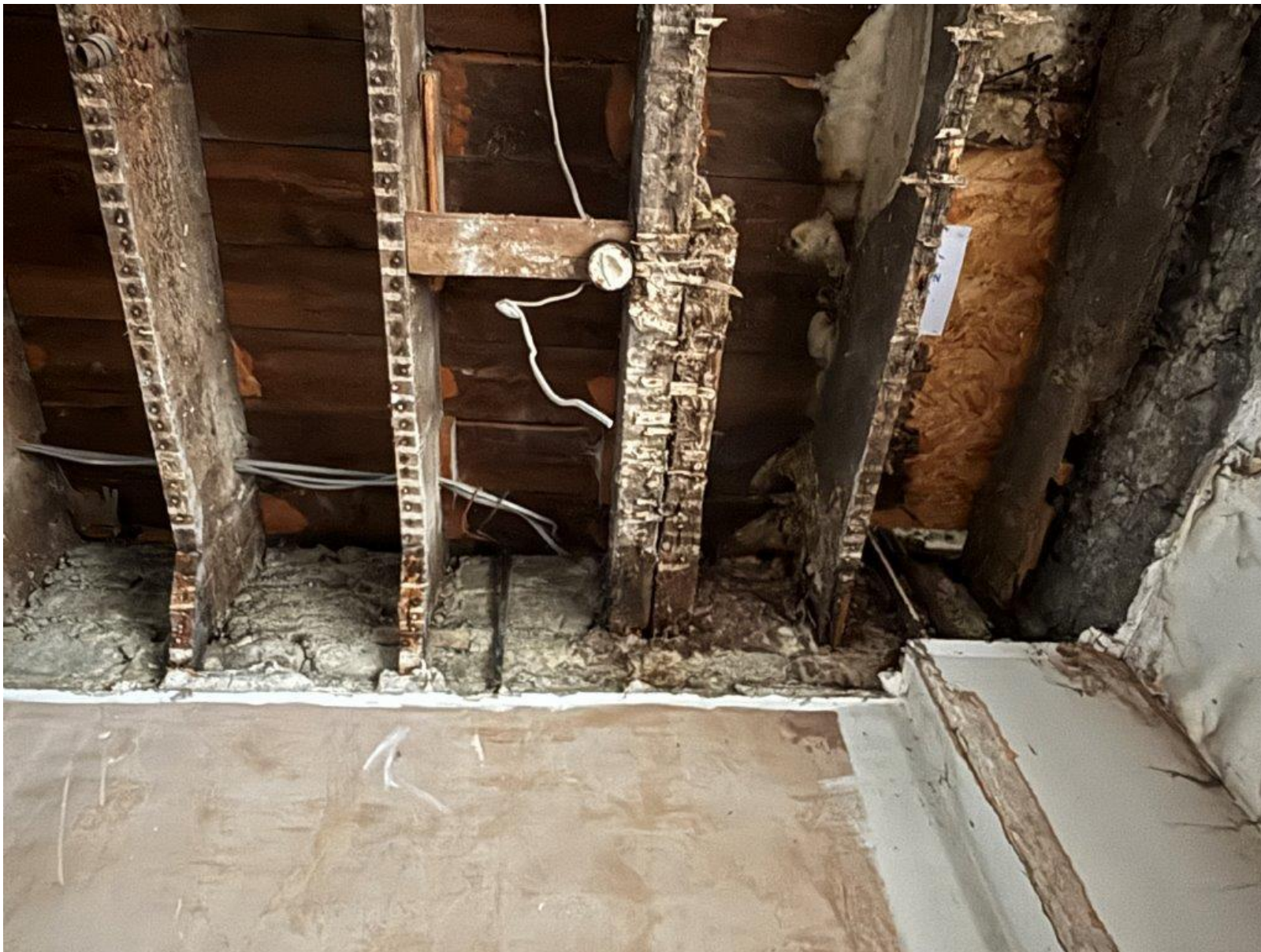
3<sup>rd</sup> floor (Room 181)



IMG\_4395 – 3<sup>rd</sup> floor context (Room 181)



IMG\_4396 – 3<sup>rd</sup> floor (U/S) as viewed from 2nd floor (Room 140)  
Note: extensive timber staining (historic water ingress) & Unsupported hearth Vault



IMG\_4397 - 3<sup>rd</sup> floor (U/S) as viewed from 2<sup>nd</sup> floor (Room 140)  
Note: 4nr joists from external wall end failure – limited repair option due to joist slenderness and historic water damage.  
Note: fruiting bodies in timber.



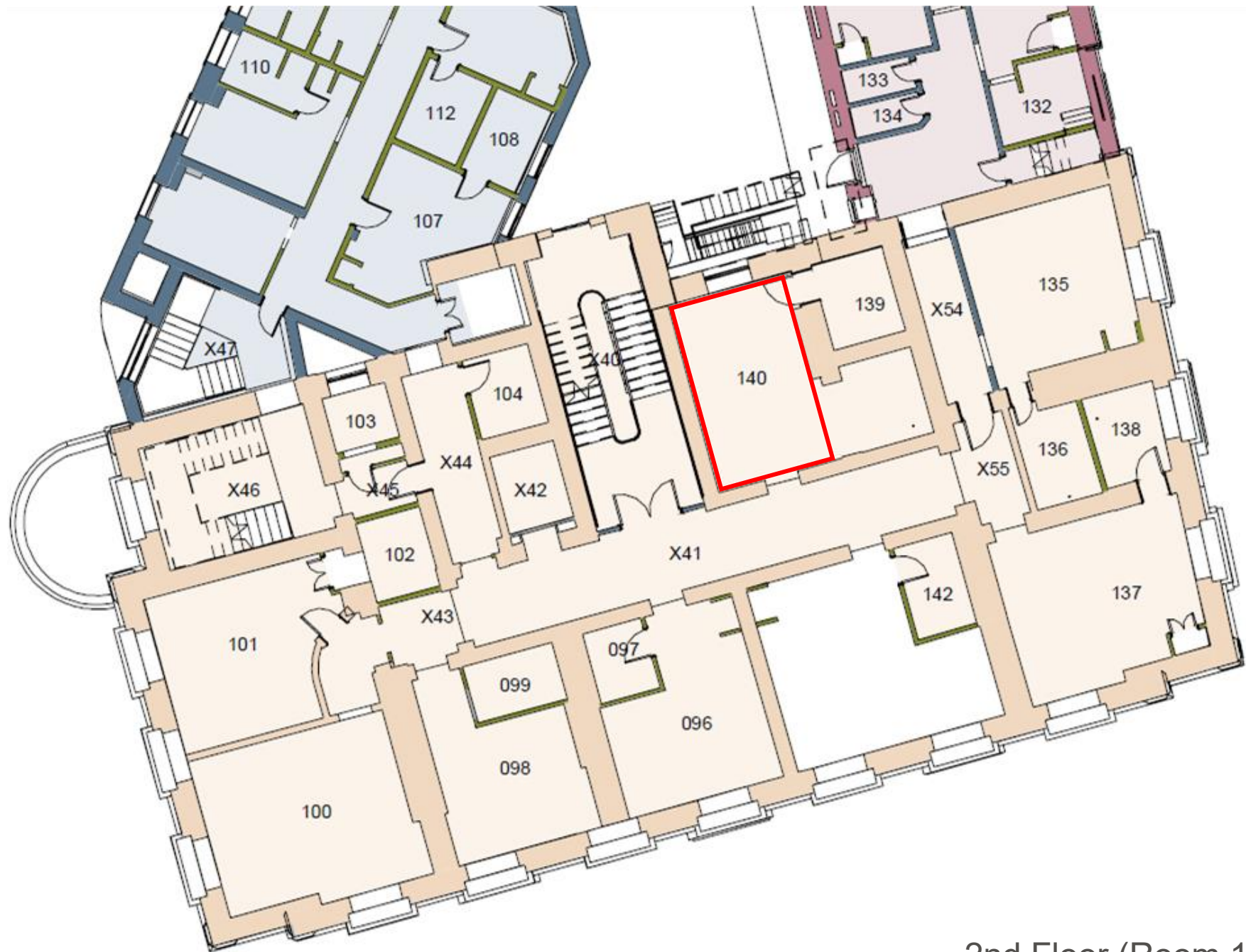
IMG\_4398 - 3<sup>rd</sup> floor (U/S) as viewed from 2nd floor (Room 140)  
Note: other end of timber joist with unsupported hearth vault support (lack).



IMG\_4399 - 3<sup>rd</sup> floor (U/S) as viewed from 2nd floor (Room 140).  
Closeup – extremely slender pockets limiting replacement/ end repair approaches.

# 2nd Floor- Record

Shaping places that have  
a positive impact



2nd Floor (Room 140)



IMG\_4400 - 2nd floor Context (Room 140).



IMG\_4401 – 2<sup>nd</sup> floor (U/S) as viewed from 1<sup>st</sup> floor (Room 095).

Note – Unsupported hearth vault



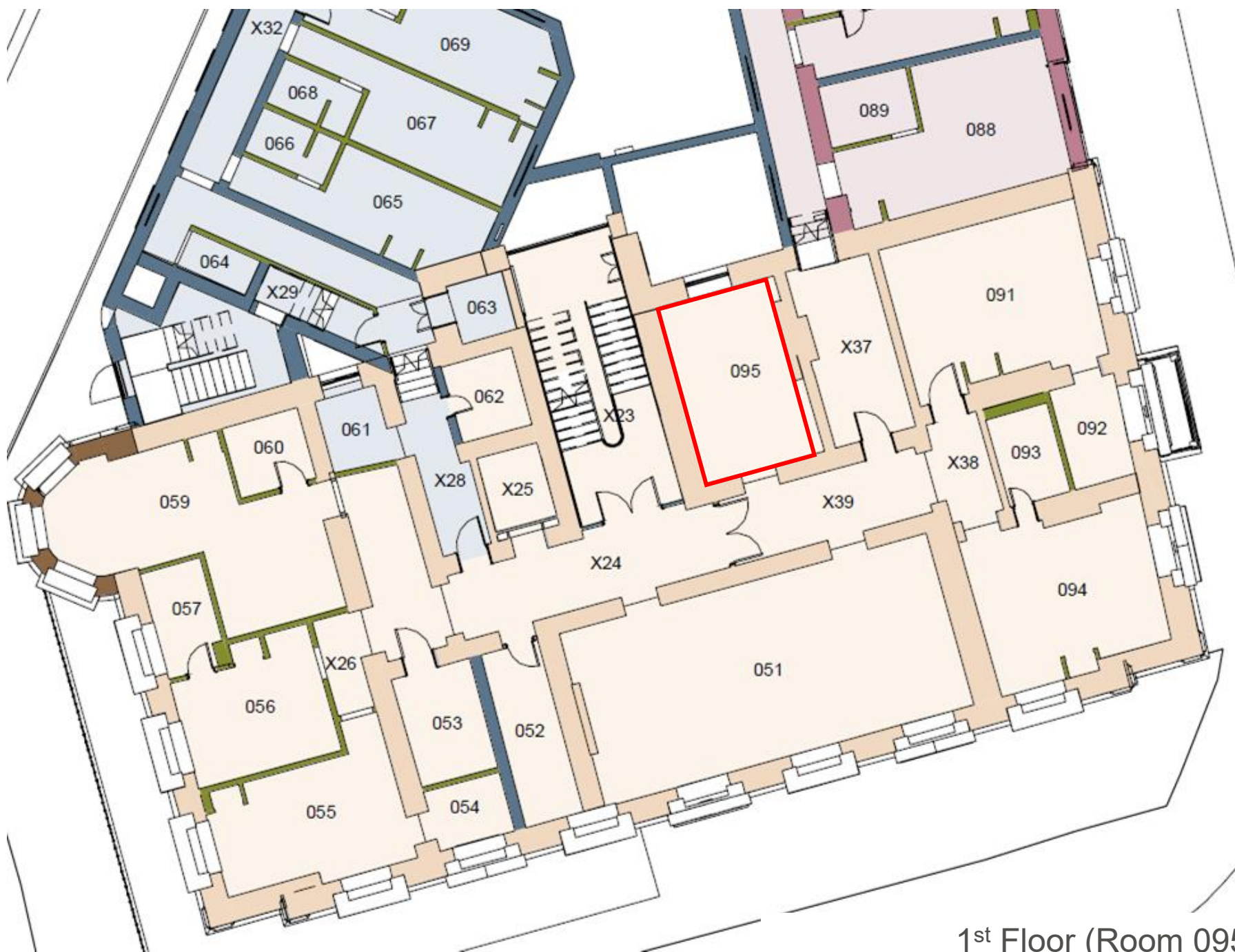
IMG\_4402 – 2<sup>nd</sup> floor (U/S) as viewed from 1<sup>st</sup> floor (Room 095).  
Note: slender joists with some evidence of historic water impact



IMG\_4403 - 2<sup>nd</sup> floor (U/S) as viewed from 1<sup>st</sup> floor (Room 095).  
Note: unsupported hearth vault & joists to hearth bearer not notched (gaff nailed only)

# 1st Floor- Record

Shaping places that have  
a positive impact



1<sup>st</sup> Floor (Room 095)



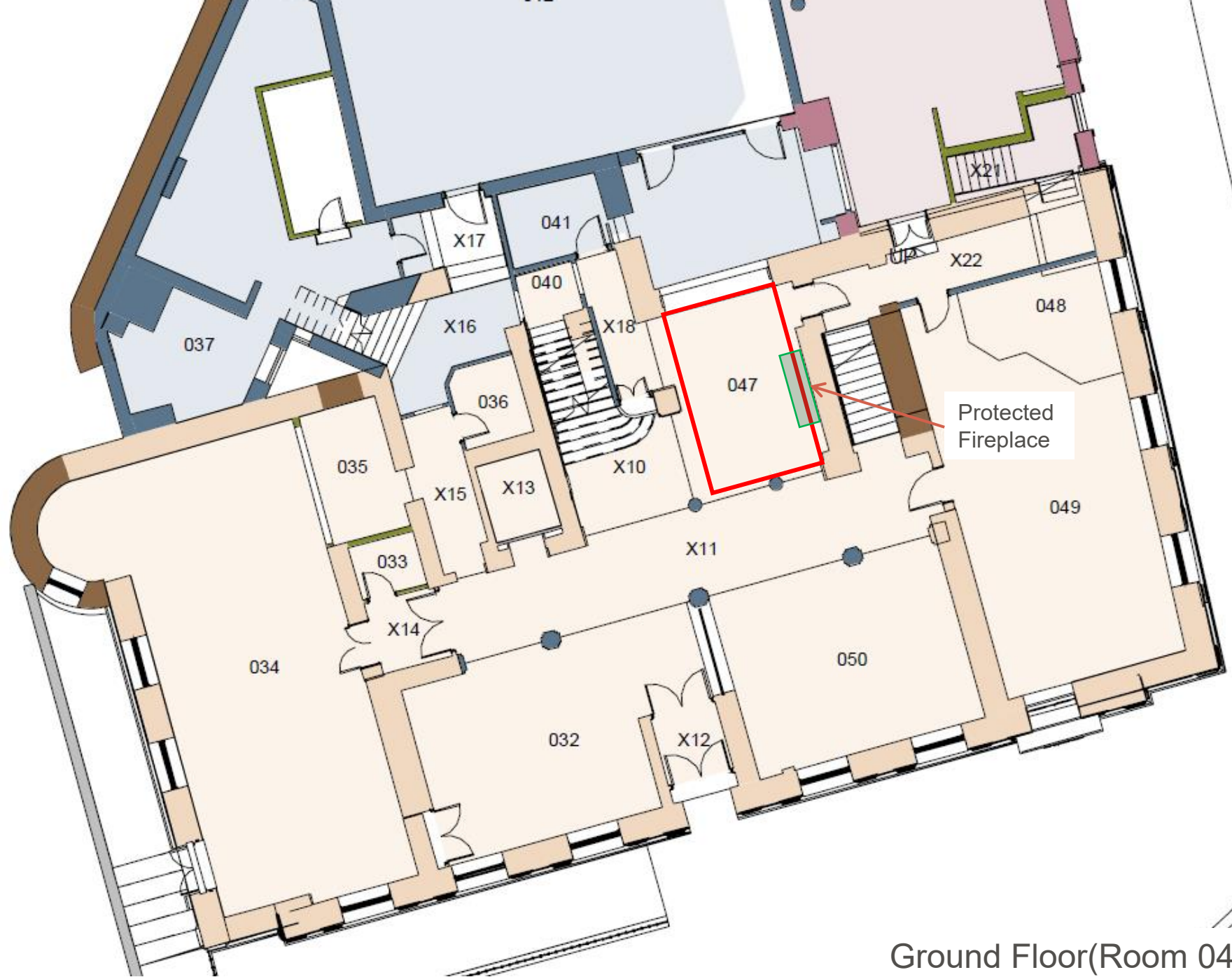
IMG\_4405 -1<sup>st</sup> floor Context (Room 095).



IMG\_4406 - 1<sup>st</sup> floor Context (Room 095).

# Ground Floor- Record (Ceiling to U/S First floor)

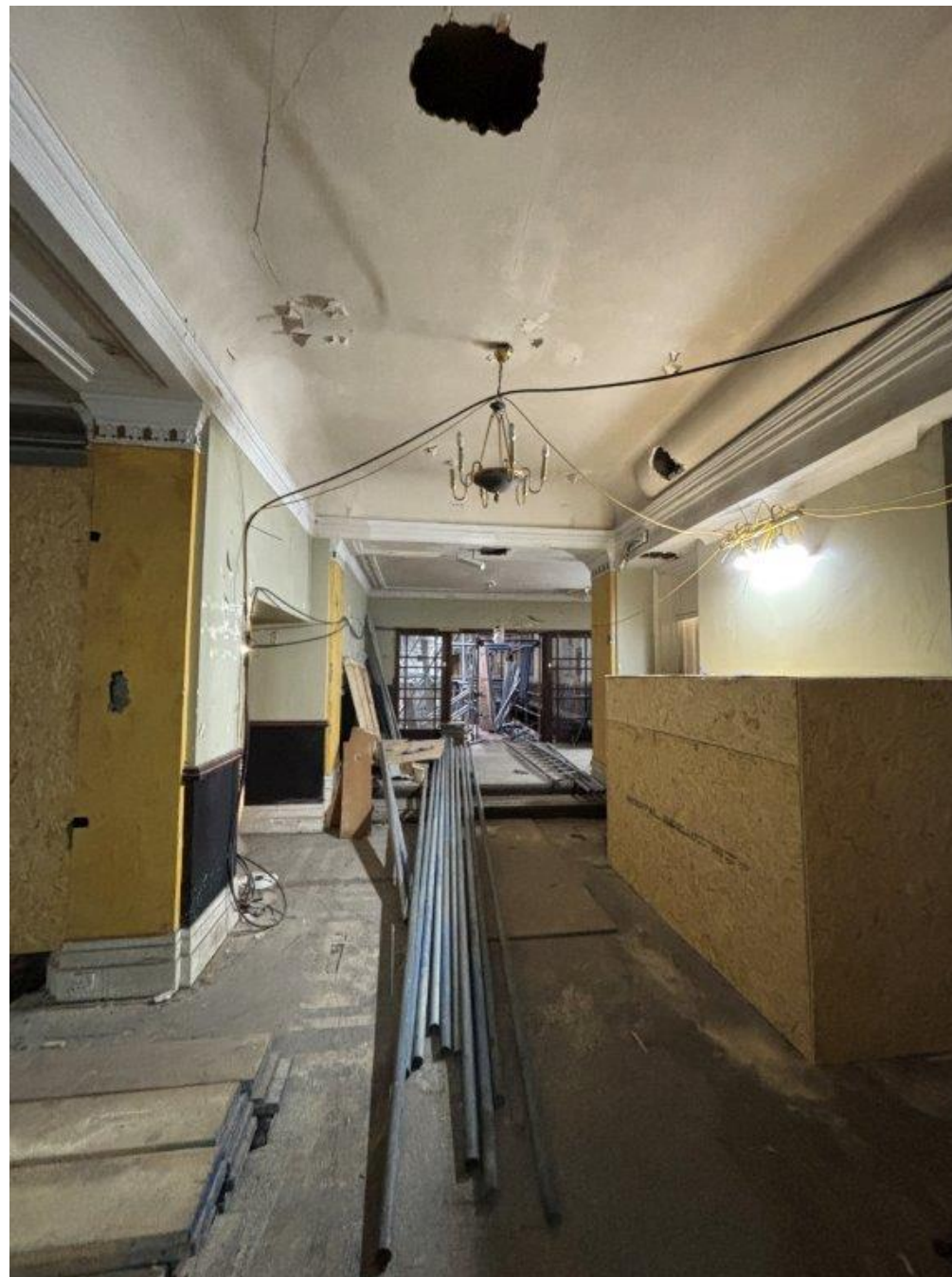
Shaping places that have  
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Ground Floor(Room 047).



IMG\_4416 – 1<sup>st</sup> floor (U/S) as viewed from Ground floor (Room 047).



IMG\_4417 – Ground Floor Context (Room 047).



26.04.16 - 20260416\_100920 – Ground Floor Context (Room 047) – Concealed ceiling exposed



26.04.16 - 20260416\_100857- Ground Floor Chimney Corbel (Room 047) – Concealed ceiling exposed.

Appendix 1:

L054-GMI-ZZ-ZZ-ZZ-T-J-251219\_P01 –  
Contractors Initial Commentary.

Shaping places that have  
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GEORGE HOTEL HUDDERSFIELD

Listed Building Temporary Works

## ACCESS STAIR

Block A

L054-GMI-ZZ-ZZ-ZZ-T-J - 251219

Revision P02  
(28-04-2026)

Report and Site Observations  
By Charlie Bagnall  
SENIOR PROJECT MANAGER  
GMI Construction

19<sup>th</sup> December 2025

### A. Purpose of this Document

This report has been written to make an application for the removal of floor joists to the following rooms within the listed Block A to allow a temporary access stair ( Haki Stair ) to be constructed and utilised throughout the first phases of the redevelopment project.

The rooms affected are;

Ground	047	Moderate heritage value
First	045	Low heritage value
Second	140	Detrimental heritage volume
Third	181	Low heritage value
Fourth	193	Low heritage value

### B. Explanation of the Requirement

- The access to upper levels of Block A is via the existing steel staircase located in block B.
- Upon demolition of Block B the staircase will be removed.
- The central staircase is unsafe and therefore inaccessible for works access.
- External access to block A has been considered but is deemed unsuitable due to the restrictive window sizes of the upper storey windows.
- External disruption to the façade of the retained Block A building has been discounted as this could result in damage.
- The façade has been deemed the most significant in terms of the buildings listing and the conservation area.
- Retention of the main spaces and structural layout of existing walls being secondary.
- Whilst the internal finishes and fabric being seen as tertiary or of lesser importance.

Therefore in order to provide safe access to Block A to enable works to ensure the viability of the listed building the installation of a temporary access stair through rooms of low heritage significance is considered to be the most effective solution.

### C. List of Drawings – Illustrations

Ground Floor  
First & Second Floor  
Third & Fourth Floor

## D. Summary of Works to allow Temporary Stair. Block A

### 1. Removal of Hardboard and Floor Boarding

All hardboard coverings will be removed

### 2. Removal of pugging

Any pugging left insitu following ceiling removals will be removed.

### 3. Floor

All existing floorboards will be removed. Due to the amount of disturbance, water damage and general poor condition the floorboards will not be suitable for re-use.

### 4. Removal of Joists

As the existing timber floor joists are built into the masonry walls then removal for re-use is unfortunately not available. The existing joists will be utilised for any noggins within the reinstated floor if they are found to be damp / defect free upon removal.

## E. Summary of Reinstatement Proposals. Block A

### 1. Making good to Walls

The existing joists will have left holes which will be required to be filled with additional masonry. Small sections of stone or brickwork taken from the demolition works will be utilised.

### 2. Installation of wall bearers

New treated timber wall bearers will be installed to the perimeter walls of the room with a damp proof membrane. Fixings will be as per structural engineers' recommendations via mechanical / resin anchors.

### 3. Installation of new Floor Joists

Between the wall bearers new treated floor joists will be installed following the structural engineers' recommendations.

### 4. Installation of floor covering

Timber floorboards will be utilised over the new joist to the existing levels and representation of the existing joist thickness with acoustic and floor finishes as per the heritage flooring approvals as before.

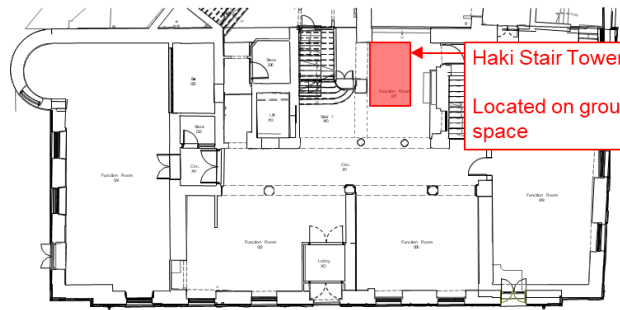
### 5. Other Works

Installation of the further layers of plasterboard and hush floor system will be laid upon the reinstated floor.

Appendix 2:

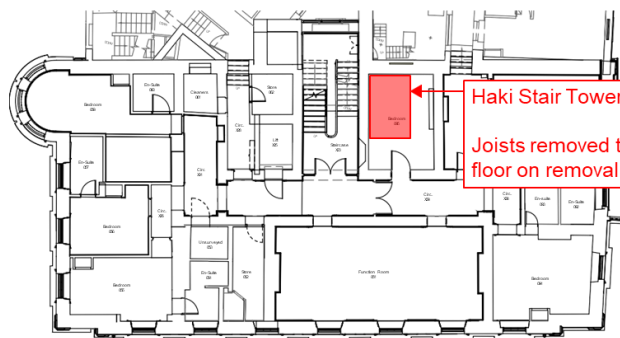
Temp Internal Stair Proposal – Contractors markups for their commentary.

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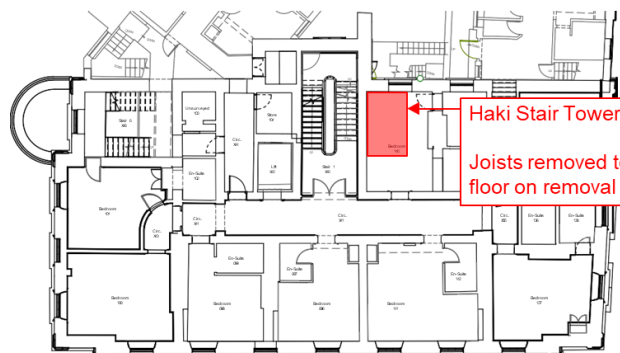
Haki Stair Tower - Approx 2m x 3.5m  
Located on ground floor circulation space

00 - Level 00 - Existing Ground Floor Plan  
1:100



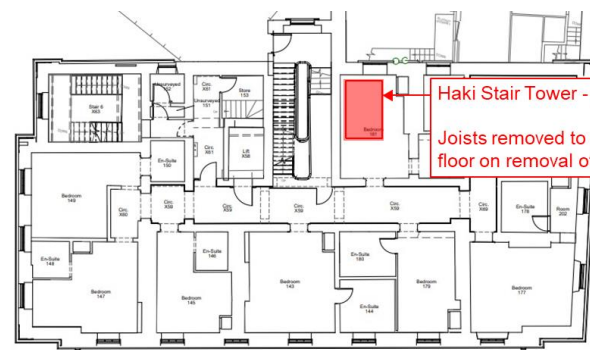
Haki Stair Tower - Approx 2m x 3.5m  
Joists removed to suit. Reinstall floor on removal of Haki Stair

01 - Level 01 - Existing First Floor Plan  
1:100



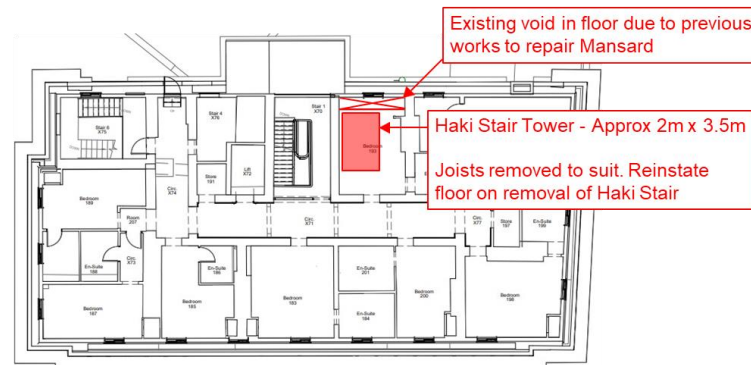
Haki Stair Tower - Approx 2m x 3.5m  
Joists removed to suit. Reinstall floor on removal of Haki Stair

02 - Level 02 - Existing Second Floor Plan  
1:100



Haki Stair Tower - Approx 2m x 3.5m  
Joists removed to suit. Reinstall floor on removal of Haki Stair

03 - Level 03 - Existing Third Floor Plan  
1:100



Existing void in floor due to previous works to repair Mansard

Haki Stair Tower - Approx 2m x 3.5m  
Joists removed to suit. Reinstall floor on removal of Haki Stair

04 - Existing Fourth Floor Plan

Shaping places that have  
a positive impact