



Proposed Residential Development

Meltham Road, Marsden

2402 - Design & Access Statement – v3

Introduction

This design statement is submitted as part of a hybrid planning application, made on behalf of the applicant, KCS Development Ltd.

The application site is vacant greenfield land (1.61 acres) located off Meltham Road in Marsden, West Yorkshire.

Pre-application advice was received from the Local Planning Authority at an early stage, helping to inform the proposal's design in response to planning policy.

The designs have been informed by knowledge of the locality, a character study of adjacent properties and with reference to the specific planning policies to ensure the overall development is of high quality and contributes significantly to improving the local area.



Aerial view of site

A detailed map of Marsden, showing the River Colne flowing through the area. The A62 is highlighted in orange, and the B6107 is shown in grey. The Marsden Village Centre is marked with a yellow circle. A red diamond labeled 'SITE' is located on Meltham Road. Other roads include Spring Head Lane, Grange Avenue, Warehouse Hill Road, Brougham Road, Peel Street, Carrs Road, Carrs Street, Lane Ings, Stubbin Road, Gate Head, Gatehead Bank, Woods Avenue, High Lea, The Green, Cough Lea, Old Mount Road, Fall Lane, and Rock View. A railway station is indicated by a blue circle with a white 'N' and the text 'RAILWAY STATION'.

Site Context

The application site is located adjacent Meltham Road on a 1.61-acre greenfield site on the outskirts of Marsden village in West Yorkshire. It is on the edge of an existing residential area with views into the valley and hills beyond.

The site is 0.8 mile (18-minute walk) from the village centre which provides a range of local amenities including various independent shops, bars/restaurants, a supermarket (Co-Op), nursery and primary school, churches, health centre and recreation space.

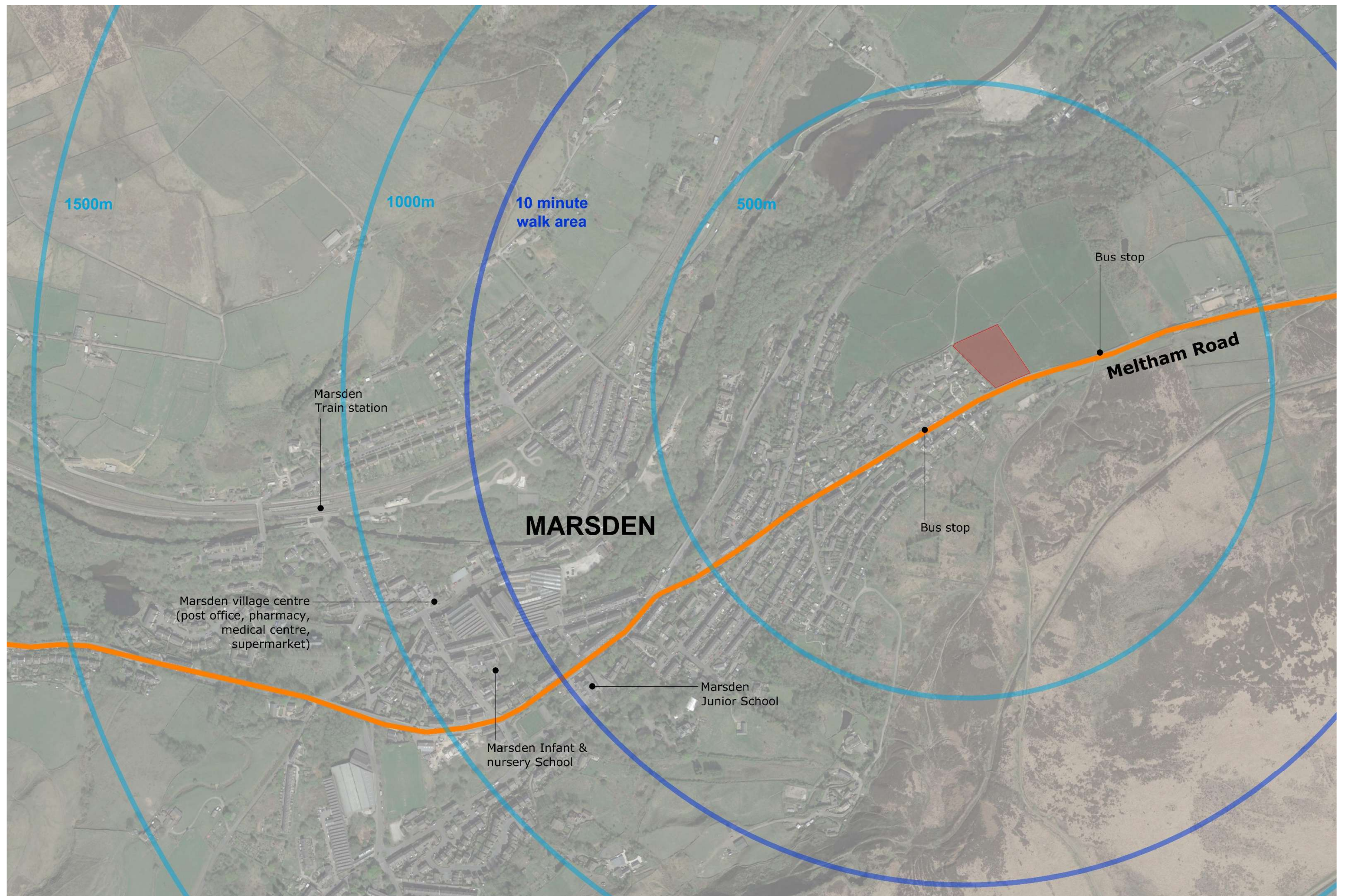
It is a 21-minute walk (1 mile) to Marsden railway station and there are numerous bus stops along Meltham Road providing services both into Marsden and further afield to Huddersfield.



View of site from Meltham Road looking towards Marsden village centre



View up Peel Street in Marsden village centre



Site Analysis



Site Photos



View across site looking north



View across site looking west

Building Character Appraisal

Site Context and Surroundings

The site lies on the edge of an established residential area comprising mainly detached and semi-detached dwellings. Development is predominantly from the 1980s, with later extensions and infill dwellings from the 2000s onwards, alongside occasional historic buildings. Properties are set back from the road with front gardens and driveways, creating a consistent building line. The area has a low-density, semi-rural suburban character.

Character and Appearance

The area is characterised by two-storey detached and semi-detached houses. Buildings are generally simple in form, with rectangular footprints and balanced front elevations. Roof forms are predominantly gable or hipped, contributing to a consistent and cohesive streetscape.

Buildings are uniformly two storeys in height, with moderate massing and generous plot sizes. Detached dwellings occupy wider plots, while semi-detached properties create a regular rhythm along the street. Extensions are present but are typically subordinate and respect the scale of the original buildings.

A consistent palette of materials defines the area. External walls are mainly natural stone or red facing brick, with some rendered finishes. Roofs are finished with concrete tiles. Windows are typically modern casement styles, often incorporating stone heads and sills. Some properties feature traditional details such as stone mullions.

Stone boundary walls are a key feature throughout the area. These are usually low in height and define the edge of front gardens. Front gardens are generally soft landscaped, and driveways provide off-street parking. This creates a clear transition between public and private space.

Historic Context

A small number of historic buildings, including a traditional farmhouse, are located nearby. These are constructed from stone and reflect the area’s rural origins. Their presence reinforces the use of traditional materials within more recent development.

Key Characteristics

The area is defined by two-storey detached and semi-detached dwellings, simple roof forms, and a consistent use of stone and brick. Buildings are set back from the road with front gardens and driveways, and stone boundary walls are a prominent feature. The overall character is low-density and suburban with semi-rural influences.

Design Response

New development should reflect the prevailing scale, form, and materials of the area. Proposals should maintain building setbacks and respect the established streetscape. Materials should complement the existing palette, and boundary treatments should retain the use of stone walls where possible.



Gable roof with concrete tile finish

Historic two storey detached dwelling with coursed stone and rendered facade

Stone surround to windows

STEEP FARM DWELLING - 1776
(Further down Meltham Road)



- Casement windows with stone heads and sills
- Gable roofs with concrete tile finish
- Mix of single and double storey dwellings along Meltham Road with stone facades
- Dwellings set back from road side with grassed front gardens, driveway and stone boundary walls

**DETACHED DWELLINGS
CIRCA. 1980's**



- Symmetrical gable design
- Windows with traditional stone mullions
- Gable roof with concrete tile finish
- Two storey detached dwelling with coursed sandstone facade
- Dwellings set back from road side with stone boundary walls

**TWO STOREY DETACHED
DWELLINGS - CIRCA. 2000's**



- Hipped roof with concrete tile finish
- Modern casement windows with concrete heads and sills
- Two storey semi detached dwelling with red facing brick
- Dwellings set back from road side with grassed front gardens, driveway and stone boundary walls

**TWO STOREY SEMI-DETACHED
DWELLINGS - CIRCA. 1980's**



- Gable roof with concrete tile finish
- Modern casement windows with stone heads and sills
- Two storey detached dwelling with stone facade

**TWO STOREY DETACHED DWELLING
EXTENSION - CIRCA. 2010's**

Site Evaluation & Constraints



Design Proposals

Site Layout

The proposed development comprises a small-scale residential scheme on the outskirts of Marsden village, delivering nine two-storey dwellings in a mix of semi-detached and detached house types. The layout has been carefully considered to respond to the semi-rural edge-of-settlement context, with each dwelling benefitting from clearly defined front and rear private gardens and off-street parking via individual driveways. The arrangement of built form seeks to create a cohesive yet varied streetscape, while maintaining an appropriate density that reflects the character of surrounding development. Landscaped buffer zones are incorporated to the front, rear, and side boundaries of the site, providing a soft transition between the new housing and the surrounding landscape, enhancing visual amenity and supporting biodiversity.

Access to the development is taken from a new entrance point leading to an internal access road, with a footpath connection ensuring safe and convenient pedestrian movement throughout the site. To the rear of the site, shared surface areas finished in block paving are proposed to promote low vehicle speeds and a pedestrian-friendly environment. The site's natural topography, which slopes away from the entrance, has informed the design approach, with cut-and-fill operations proposed to create suitable development platforms while minimising visual impact and ensuring efficient drainage. Surface water will be managed through a sustainable drainage strategy, including the provision of an attenuation basin located to the rear of the site, integrated within the landscape design. Overall, the proposal delivers a well-considered and accessible residential environment that responds sensitively to its context.

The layout has been informed by an assessment of the local context, including the pattern, form, and character of nearby housing. The design responds to the site's specific shape and boundaries, creating a layout that feels well integrated with its surroundings. This approach helps the development connect with neighbouring residential areas while establishing a clear sense of place.

The arrangement of the development balances both function and character. It allows for efficient vehicle movement and access, including parking and servicing, while placing a strong emphasis on pedestrian priority. The layout is designed to be easy to navigate, with clear routes and well-defined spaces.

Community safety has also been a key consideration. The dwellings are positioned to provide natural surveillance over streets and access points, helping to reduce opportunities for anti-social behaviour. Rear gardens are generally arranged back-to-back where possible, creating secure and private outdoor spaces.



Layout showing proposed development



Design Development

The design of the scheme has developed over time through discussions within the design team and feedback received during the pre-application stage. A detailed review of the site has been carried out, and the layout has been planned to take account of key features and constraints. These include existing trees, the sloping ground levels, site access and overhead services. This has helped shape a layout that fits well with the site and its surroundings.

Feedback from the Local Authority during pre-application discussions focused on:

- Development within the green belt/grey belt land for housing.
- Housing density, type and mix.
- Impact on visual amenity.
- Separation distance and potential overlooking issues in relation to the existing residential development to the western boundary.
- Access into and within the site.
- Existing overhead services running through the site.
- Ecology and BNG requirements.

All the points above have been addressed during the design development process to ensure the submitted proposals provide a well-balanced and viable scheme in keeping with the characteristics of the edge of village development and semi-rural setting.



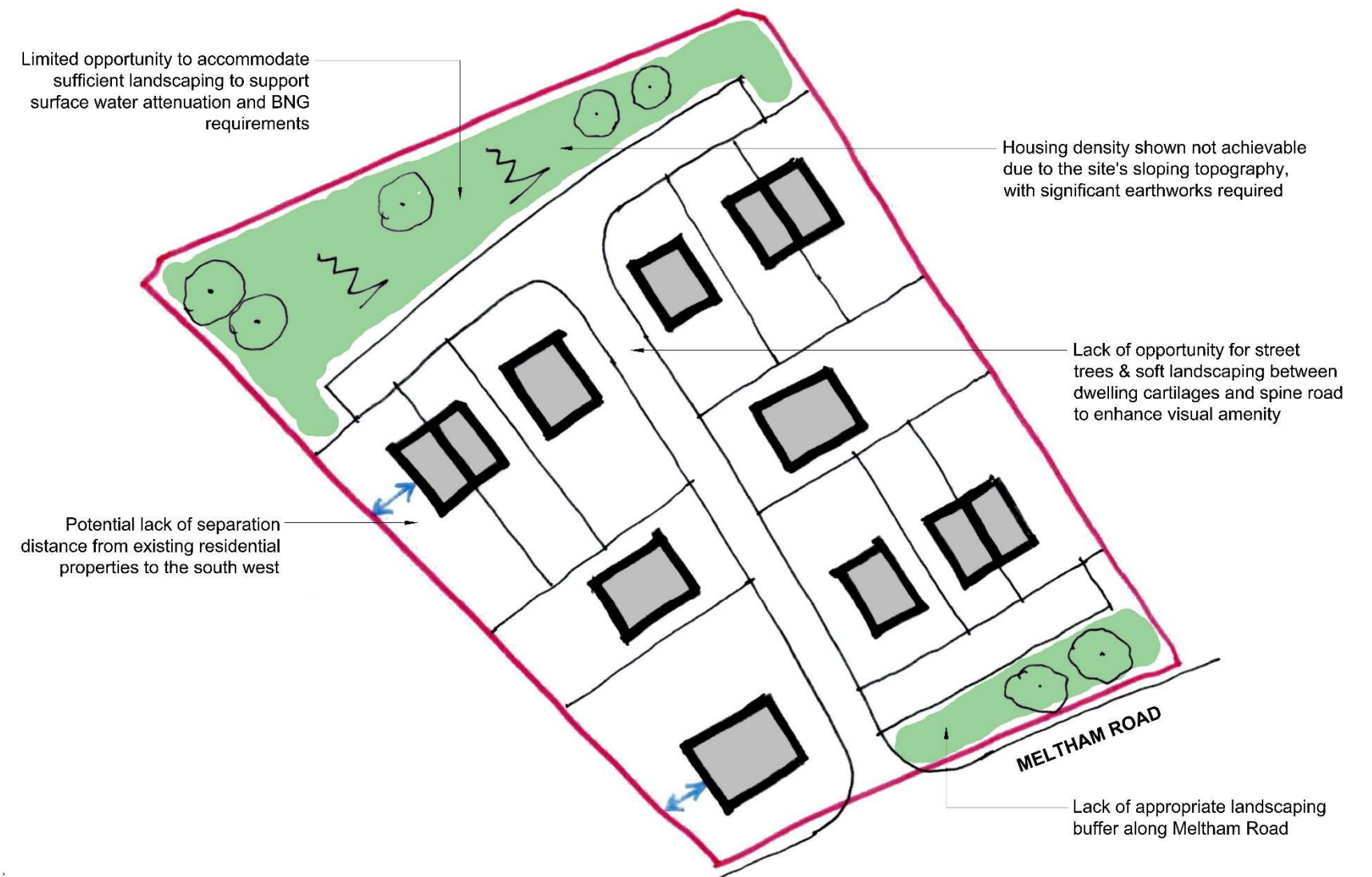
Early scheme proposal

Pre-application Advice - Housing Density

The Kirklees Local Plan seeks a minimum net density of 35 dwellings per hectare; however, the proposed development on a site of approximately 0.65 hectares would result in a lower density. This reduced density is considered appropriate in response to several site-specific constraints, including:

- Sloping topography requiring significant earthworks.
- Requirement for a landscaped buffer along Meltham Road to mitigate visual impact.
- Limited capacity for rear landscaping to accommodate surface water attenuation (1 in 100-year storm event plus 45% climate change allowance).
- Need to deliver on-site Biodiversity Net Gain (BNG).
- Requirement to maintain appropriate separation distances from existing dwellings to the south-west.
- Need to achieve acceptable internal aspect distances.
- Limited opportunity to incorporate street trees and soft landscaping between the spine road and dwellings.

The early scheme proposal adjacent highlights the issues of a higher density scheme.



Early scheme density proposal

Proposed Density

The proposed development comprises nine dwellings within a net developable area of approximately 0.41 hectares, providing a density of around 22 dwellings per hectare.

This relatively modest density, when considered against the Local Planning Authority's recommendations, is justified by a number of site-specific design considerations. These include the provision of a landscaped buffer along Meltham Road, intended to mitigate the visual impact of the development on the street scene, as well as a landscaped area to the rear of the site which responds to the existing change in levels across the site while also accommodating requirements for surface water attenuation and Biodiversity Net Gain (BNG).

In addition, areas of soft landscaping have been incorporated between the residential curtilages and the internal spine road. These features serve to soften the overall appearance of the development and enhance visual amenity. These areas of landscaping are included within the net developable area calculation.

Dwelling Types

The proposed development comprises a mix of semi-detached and detached dwellings, including 2, 3 and 4-bedroom units, designed to meet the needs of the local community and fully comply with the Nationally Described Space Standards and Local Authority requirements. The layout has been informed by accessibility principles, with provision made where feasible to accommodate M4(2) 'accessible and adaptable dwellings' and M4(3) 'wheelchair user dwellings', with detailed compliance to be confirmed at the detailed design stage.

Each dwelling is provided with policy-compliant parking within its curtilage, either via driveways or detached garages, alongside secure cycle storage in the form of rear garden sheds. Waste and recycling arrangements have been carefully considered, with dedicated bin storage within private amenity spaces and appropriate collection points, including shared collection areas for dwellings served by private drives, ensuring the scheme integrates effectively with local waste management services.



Proposed density analysis

Massing & Scale

The proposed development has been designed with careful consideration of its context along Meltham Road, Gate Head and Gatehead Bank. The overall massing reflects that of neighbouring properties, ensuring the scheme integrates appropriately with the surrounding built environment. By responding to the established character and grain of the area, the development is intended to sit comfortably within its local setting.

The scale of the proposed dwellings has been informed by both the Nationally Described Space Standards and the requirements of the Local Planning Authority.

All dwellings within the scheme are proposed as two-storey family homes, comprising a mix of detached and semi-detached properties of varying sizes. This mix has been carefully selected to respond to the scale and form of adjacent housing, contributing to a balanced and contextually appropriate development.

The elevations presented at this stage are indicative only. The detailed design of the individual house types will be developed further and submitted as part of a future Reserved Matters application.



Proposed Site Section AA



Proposed Site Section BB

Design Approach & Materiality

The design adopts a contemporary interpretation of traditional vernacular housing. The use of simple gable forms and consistent gable rooflines establishes a cohesive rhythm across the development, while the repetition of proportions creates visual unity. Subtle variation in elements such as window groupings and entrance treatments will add interest and individuality to each dwelling.

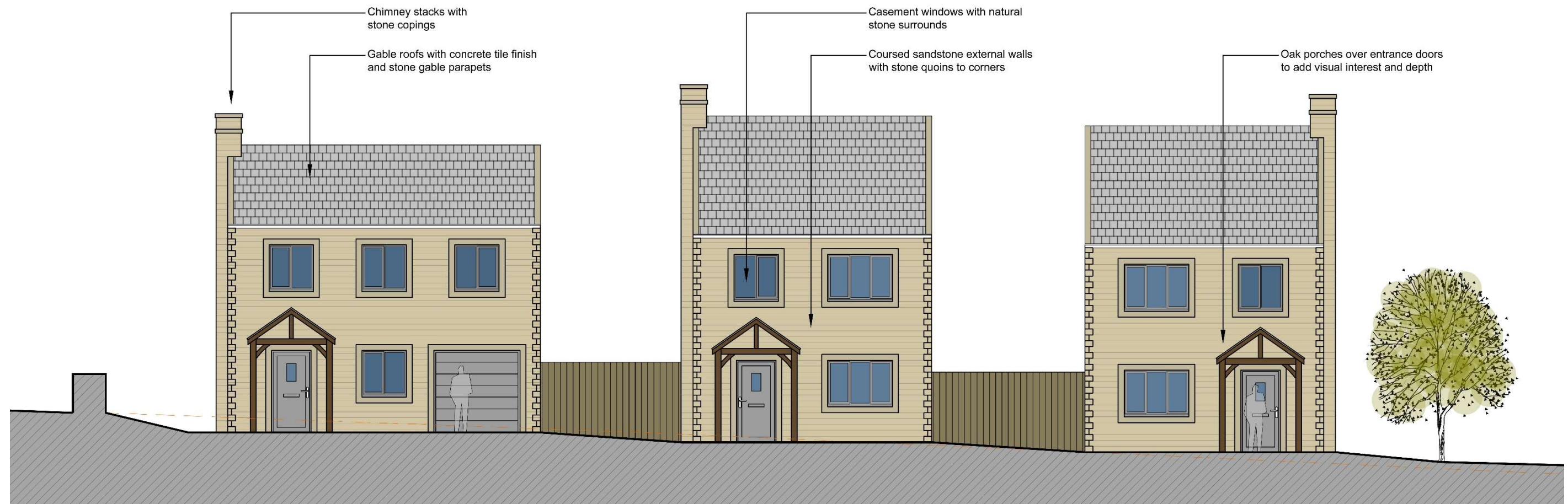
Materiality plays a central role in grounding the scheme within its context. The combination of coursed sandstone walls, stone quoins, and natural stone window surrounds gives the buildings a sense of permanence and craftsmanship. The concrete roof tiles and stone-capped chimneys reinforce the traditional character while remaining practical and durable.

Oak porch structures introduce visual interest and depth. The consistent placement of doors and windows ensures legibility and order, while the use of casement windows maintains a classic residential language with good daylight penetration.

Overall, the design aims to balance traditional character with modern simplicity, creating cohesive and attractive dwellings that reflect the local vernacular and responds to the rural 'edge of development' location.



Indicative sketch of semi-detached house type



Secured by Design

The principles of Secured by Design have been incorporated into the scheme's design from the outset to reduce the risk of crime.

The scheme is designed to incorporate high quality materials with a cohesive design with no isolated areas and integration to create a sense of place. The strength of the scheme is within the layout in creating community living and ensures a friendly neighbourhood with people looking out for one another.

Public footpaths feature throughout the scheme including within the public open space. The dwellings are orientated so that any public footpath within the scheme benefit from natural surveillance from the properties. Paths are not located where access can be gained to rear gardens with a back to back garden approach to the layout to maximise security.

Boundary treatments to the dwellings include a minimum of 1800mm high close boarded fence or similar durable material to provide secure fencing. The fencing should be created with internal cross members and an external smooth finish to prevent climbing access. Where appropriate a trellis topping should be used to further enhance the boundary security measure by preventing climbing access.

Sheds and garages are located within the rear gardens of the dwelling plots and so in all cases benefit from not being highly visible. They will feature locked access to secure the contents.

Security and a safer neighbourhood are achieved by combining the minimum standards of physical security and well-tested principles of natural surveillance and defensible space to include:

- Reduce opportunities for crime through direct pedestrian access which is overlooked offering natural surveillance.
- Street lighting to the access roads including non-adopted accesses to meet BS5489 including illumination to Public spaces within the scheme.
- Well-lit parking areas and entrances to properties, reducing the fear of crime.
- Private paths with lockable gates for the use of residents, which increases security to the rear.
- Front garden boundaries that are clearly defined, giving residents ownership of the frontages and provide defensible space.
- Communally visible parking areas – these will be provided adjacent to the users' properties.
- Gated driveways to control access – these are generously landscaped to define dwelling boundaries.



Landscaping

The landscape strategy has been developed to create a high-quality residential environment that responds positively to both the site's edge conditions and its wider setting along Meltham Road. A strong green framework is proposed around the perimeter of the site, including landscaped buffer zones that provide a sensitive transition between the new development, the surrounding countryside and neighbouring properties. These planted edges will incorporate a mix of native trees, hedgerows, and grassed areas, contributing to visual amenity while also supporting biodiversity net gain.

A key feature of the scheme is the provision of an attenuation basin within a generous area of open space to the northern part of the site. This feature will be designed not only to manage surface water effectively in accordance with sustainable drainage principles, but also to function as an attractive ecological asset. The basin will be integrated into a wider green space with informal planting and tree groups, creating opportunities for habitat creation and enhancing the overall landscape character.

Within the development, soft landscaping will play an important role in defining streets and spaces. Tree planting and small pockets of green space are proposed throughout, helping to soften the built form and create a pleasant residential setting. Private gardens are complemented by street trees and verge planting, reinforcing a sense of enclosure while maintaining an open and welcoming character.

The site entrance from Meltham Road will be enhanced with additional planting to create a strong sense of arrival, while also contributing to biodiversity objectives.

Overall, the landscape proposals aim to balance functional requirements with ecological and visual enhancements, ensuring the development is both sustainable and well-integrated into its surroundings.



Landscaping proposals

Access

The proposed development will be served by a new access from Meltham Road, designed to accommodate both vehicular and pedestrian movements in accordance with adoptable standards. This access leads into an internal shared surface street, which has been carefully designed to prioritise pedestrian movement and encourage low vehicle speeds. The use of concrete block paving for the shared surface introduces a more informal and visually softer approach to hard landscaping, reinforcing the residential character of the scheme.

Given the site's sloping topography, a cut-and-fill exercise will be required to create suitable development platforms. The proposed levels strategy will ensure compliance with all relevant statutory requirements, including those set by the Local Planning Authority and Building Regulations, while also enabling appropriate relationships between dwellings, streets, and external spaces.

Each dwelling is provided with a minimum of two off-street parking spaces, with some properties also benefiting from integrated or detached garages. In addition, a number of visitor parking spaces are distributed along the main spine road to accommodate guest parking and reduce on-street pressure. All dwellings are designed to provide level access at their entrances, ensuring inclusive access for all users. Oak-framed porches are incorporated to offer practical shelter while contributing positively to the architectural character of the development.

Summary

The proposed development at Meltham Road presents a carefully considered and high-quality residential scheme that responds sensitively to its semi-rural edge-of-settlement location. Informed by a thorough understanding of the site and its surroundings, the design reflects the established character of Marsden, drawing on local building forms, materials, and layout patterns. The scheme successfully integrates with the existing residential context while creating a distinct and cohesive sense of place, delivering nine well-proportioned family homes.

A strong emphasis has been placed on creating an attractive, functional, and accessible environment. The layout balances efficient vehicular access with pedestrian priority, incorporating clear routes, natural surveillance, and well-defined private and public spaces. The development promotes a safe and welcoming neighbourhood through the application of Secured by Design principles, ensuring both physical security and a strong sense of community. Each dwelling benefits from private gardens, off-street parking, and thoughtful positioning to maximise amenity while respecting neighbouring properties.

The architectural approach combines a contemporary interpretation of traditional vernacular, using high-quality materials such as natural stone and complementary detailing to reinforce local identity. The scale, massing, and form of the buildings are carefully calibrated to reflect surrounding development, ensuring the scheme sits comfortably within its context. Subtle variation in design elements adds visual interest while maintaining an overall cohesive appearance.

Landscape design is a key strength of the proposal, delivering a robust green framework that enhances biodiversity, visual amenity, and the transition between built form and countryside. The inclusion of landscaped buffer zones, native planting, and an integrated sustainable drainage solution demonstrates a commitment to environmental responsibility and long-term sustainability. Overall, the development represents a well-balanced and thoughtful response to the site, offering a high-quality addition to the local area that supports both community and environmental objectives.