

March 2026

Heritage Statement

No8 Barnside, Hepworth. HD1 1TN





Aerial View

1.1. The Site & Surroundings

Barnside is a hamlet on Barnside Lane approximately 3/4 mile to the southeast of Hepworth in West Yorkshire, England. It is in the civic parish of Holme Valley and the metropolitan borough of Kirklees.

The tiny hamlet of Barnside is a group of stone buildings which dates to the 17th century. until the A616 was built Barnside was on an ancient highway. This is mentioned as early as 1435 as leading south to Carlecotes.

1.2.The Exterior



6,7, 8,9 Barnside - front elevations



8 Barnside - rear elevation



9 Barnside - Rear Elevation



6,7 Barnside - Rear Elevation

1.3.The Interior



The living room



The living room, it is believed the dividing wall and door are later additions



Original beams



Chimney breast



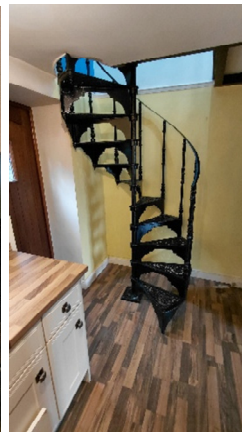
Alcove



Window cill



Modern kitchen & laminate flooring



Spiral stair has replaced an original stair



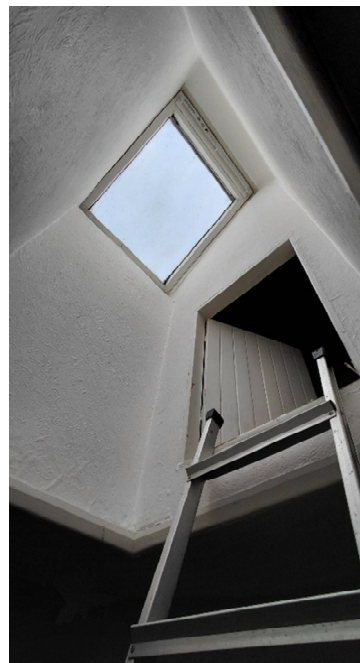
Front bedroom, sings of old beams built into the wall



Window cill detail



Central bedroom



Lightwell to central bedroom



Modern bathroom



Landing with trap door

1.4. Planning Policy & The Listing

The property is currently a single dwelling house.

The property is within the metropolitan borough of Kirklees

The property is within the green belt and is a grade 11 listed property, along with the adjoining terraced properties

Extract from the Historic England Listed building website:

SE 10 NE BARNSIDE LANE 5/6 (Hepworth); Nos 7 and 8 (Barnside) GV II

Two houses in row. Late C18 with altered ground floor. Hammer dressed stone. Some quoins. Stone slate roof with moulded stone brackets to gutter. Two storeys. House to left has near central door with alterations to left and right. First floor has one 12-light continuous stone mullioned window. House to right has one 2-light window to both floors, and ground floor entrance.

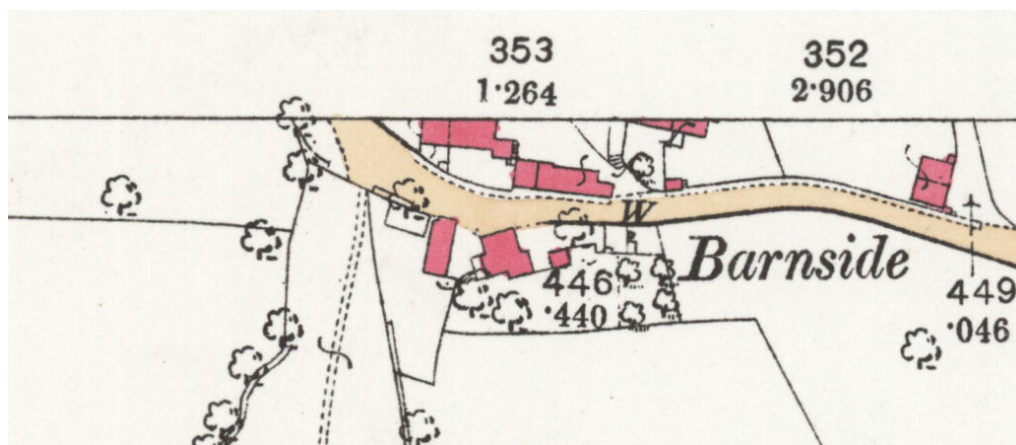
Previous planning applications:

99/90325 – Planning consent for formation of parking space - Approved

99/90326 – Listed building consent for formation of parking space - Approved

2011/90134 – Listed building consent for Velux rooflight to rear (retrospective) - Approved

National and local planning policies apply.

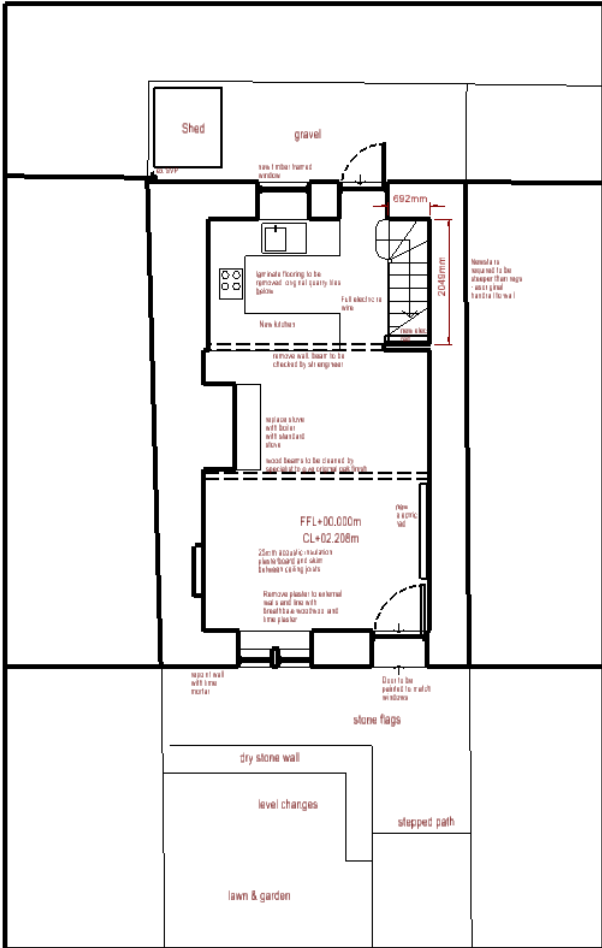


Historical map of Barnside 1878

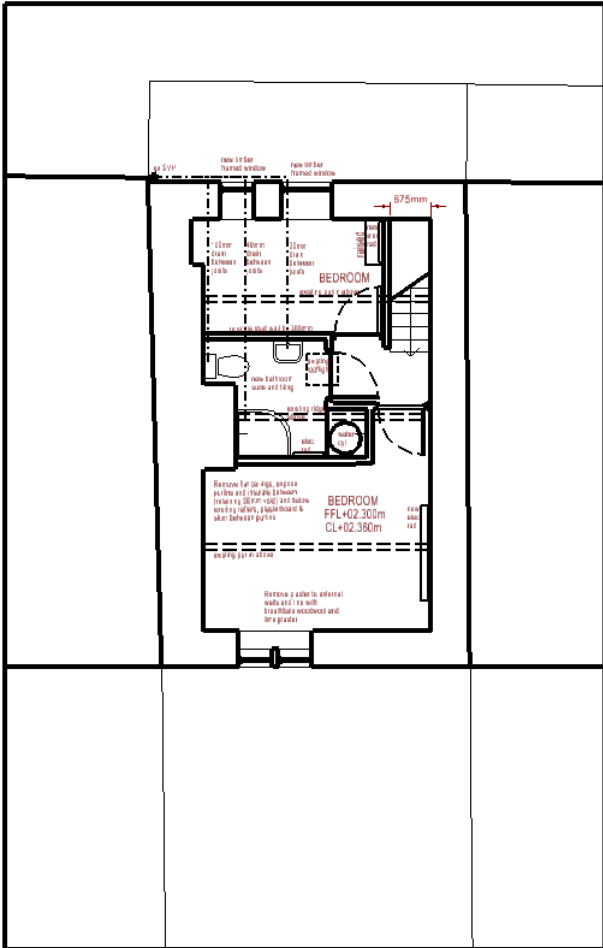
2.1. The Proposed

It is proposed to update the existing dated interior of the property, this includes:

1. Removal of the existing spiral stair - is believed this has been added at some point in the last 20 years, there are signs to the same area that an original timber staircase was removed, the spiral stair has poor headroom and is very difficult to navigate, an access hatch has been created in the floor to allow movement of furniture, the spiral stair does not comply with regulations; is a health and safety and fire escape hazard, it is not an original feature of the house or something that would have been in this type of property. It is proposed to create a traditional timber stair with timber balustrade, to avoid a floor beam the stair would need to be steeper than current regulations (approx. 45') as the original stair would have been, this will require discretion from building control, a condition on any approval that the stair must match the original steepness would be welcomed. The new stair will be formed from timber with stained timber steps, stringers and balustrade.
2. Partial removal of kitchen/ lounge wall including door – Not original to the building, the stone wall has been built at some point in the last 3 years, the step and coursing is of poor quality – it is proposed to leave two nibs of the wall to create an open plan space, removal of the wall will reveal more of the original floor beam above
3. New kitchen units – The kitchen units are in the region of 20 years old and in a poor condition and have no value to the listing, a new fitted kitchen will be installed with shaker style doors and oak style worktop.
4. The stone walls internally have poor quality sand cement pointing, it is proposed to repoint with a traditional lime mortar, flush finish.
5. Removal of the kitchen floor laminate and make good the quarry tiles below.
6. It is proposed to remove the modern plaster from the external walls and install a breathable wood wool board with a lime plaster over, this will benefit the building fabric by improving the breathability while improving insulation and reducing energy demand
7. Removal of the large wood stove with back boiler to be replaced with a smaller wood stove
8. Replacement electric radiators and hot water cylinder, as mains gas is not available and there is no storage space for an oil tank and an air source heat pump would have an impact on the appearance of the listed building, electric heating is the only viable option.
9. Layout alterations to the first floor – The replacement stair will access the first floor at the mid-point of the property, this gives opportunity to maximise floor space in this small dwelling and resolve some issues such as the central bedroom with no window. Stud walls will be removed and new formed to give the plan shown with a central bathroom and the second bedroom moved to the rear of the property where it will benefit from windows. A new extract will be formed from the bathroom by a tile vent to the rear roof. New doors will be shaker style white painted.
10. Vaulted ceiling to first floor – It is proposed to remove the existing ceilings to create a vaulted ceiling to the bedrooms and bathroom, the ceilings are currently plasterboard and along with the ceiling joists not thought to be original, vaulting will reveal two original purlins, insulation will be installed between and below the rafters and plasterboard with the purlins remaining visible there will be a level section of ceiling at high level.
11. Replacement windows - the rear windows to kitchen and bathroom have rotten frames and require replacement, timber framed windows matching the style and colour to the front of the property will be sourced.
12. Painting the front door – currently Teal, not an original colour the front door will be painted to match the windows.
13. The external stone walls have poor quality sand cement pointing, it is proposed to repoint with a traditional lime mortar, flush finish.
14. A full electrical rewire is required – this is required to meet regulations for a holiday let/ rental property



Ground Floor Plan Proposed



First Floor Plan Proposed

3.0. Justification

The proposed layout alterations are the minimum required to make the building safe and useable as a modern home, improvements such as the wood wool insulation, lime plaster and lime pointing will ensure the longevity of the building.

4.1. Contact

Architect:

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*All illustrations in this document are indicative only and should not be used for detailed consideration of massing or heights in relation to other buildings, please consult the technical drawings in this regard.

5.1. Design Space Architects - Projects

DSA are award winning architects who specialise in one off, sustainable, contemporary & traditional homes.



New Dwelling, Thurlstone

The first sedum roof and environmentally aware building in the area, with a striking form on a hilltop location overlooking the market town and conservation area.



New Dwelling, Penistone

A ground-breaking building of local stone and cedar, totally unique while blending into its landscape



New Dwelling, South Ferriby

A contemporary house overlooking the Humber in South Ferriby which is inspired by the nearby brick and corrugated metal farm buildings. It addresses the client's current and anticipated restricted mobility. Winner of the LABC best new dwelling award (S Yorkshire & Humber)



New Earth Sheltered Dwellings in the Green Belt, Penistone

Two contemporary new homes now constructed in South Yorkshire, gained planning permission under PPS7 green belt policy for their exceptional design.