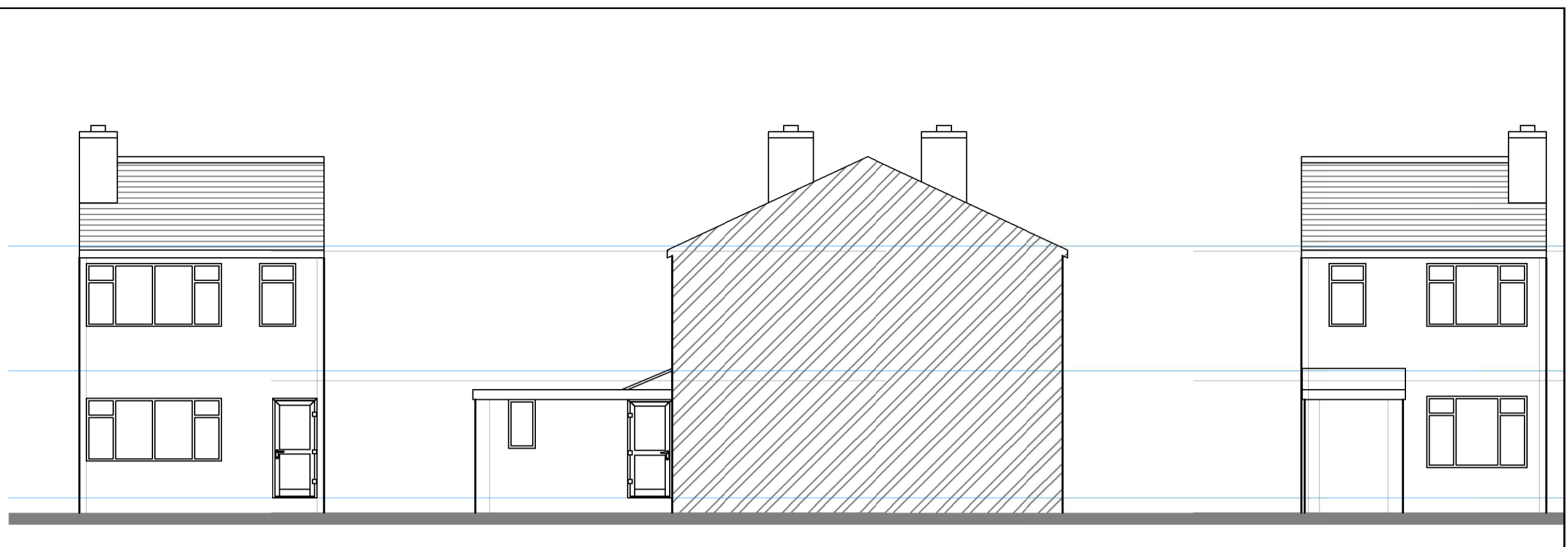
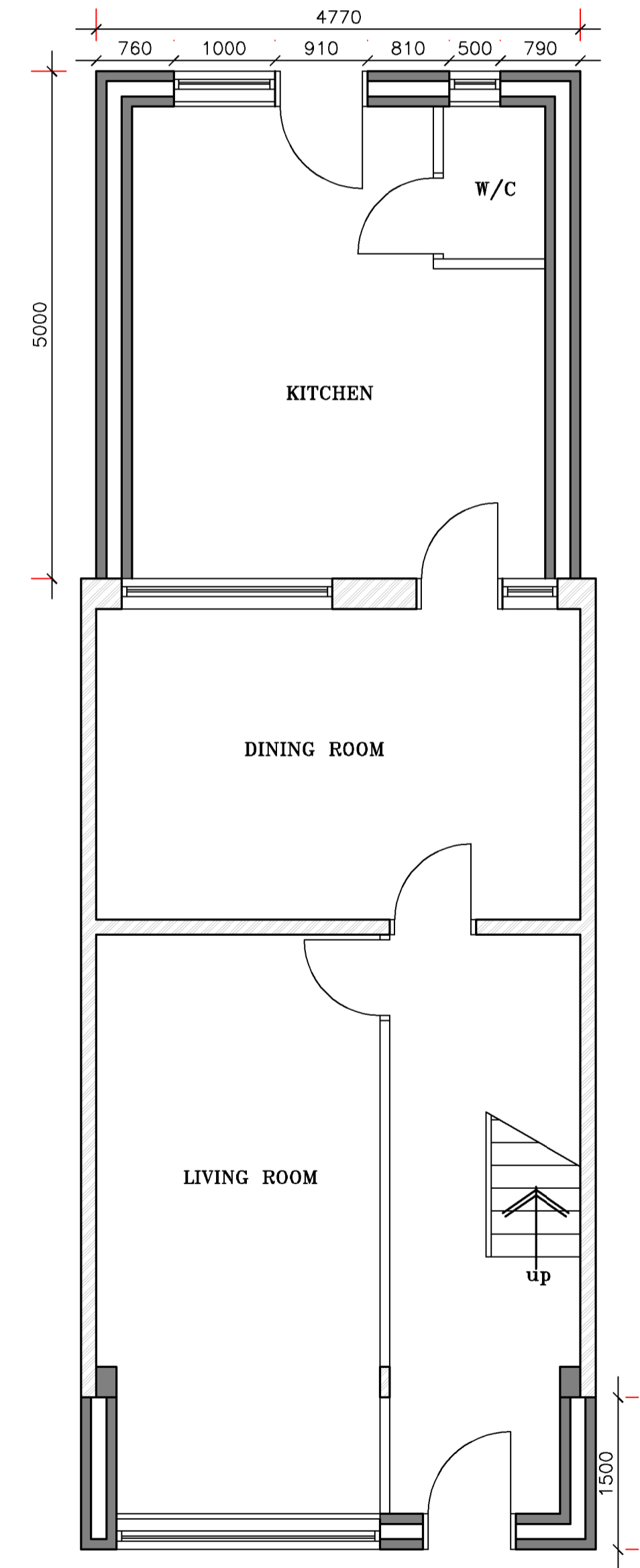


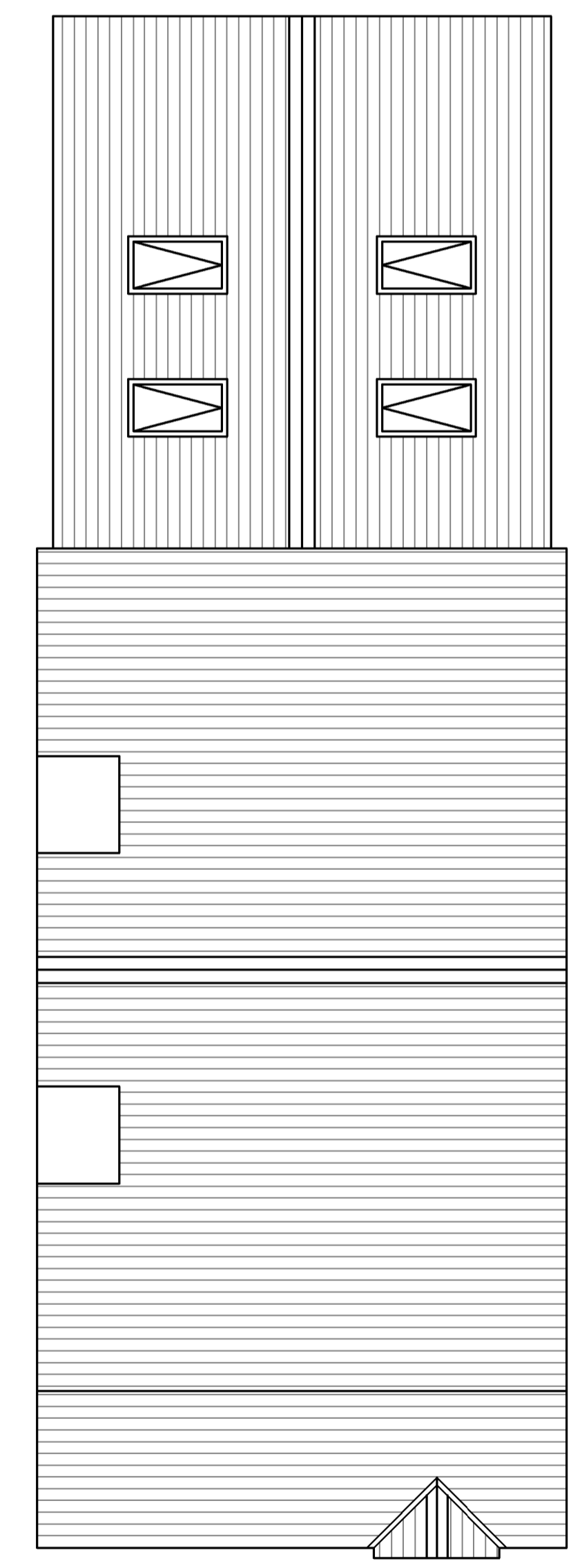
PROPOSED FRONT ELEVATION Scale 1:100 PROPOSED SIDE ELEVATION Scale 1:100 PROPOSED REAR ELEVATION Scale 1:100



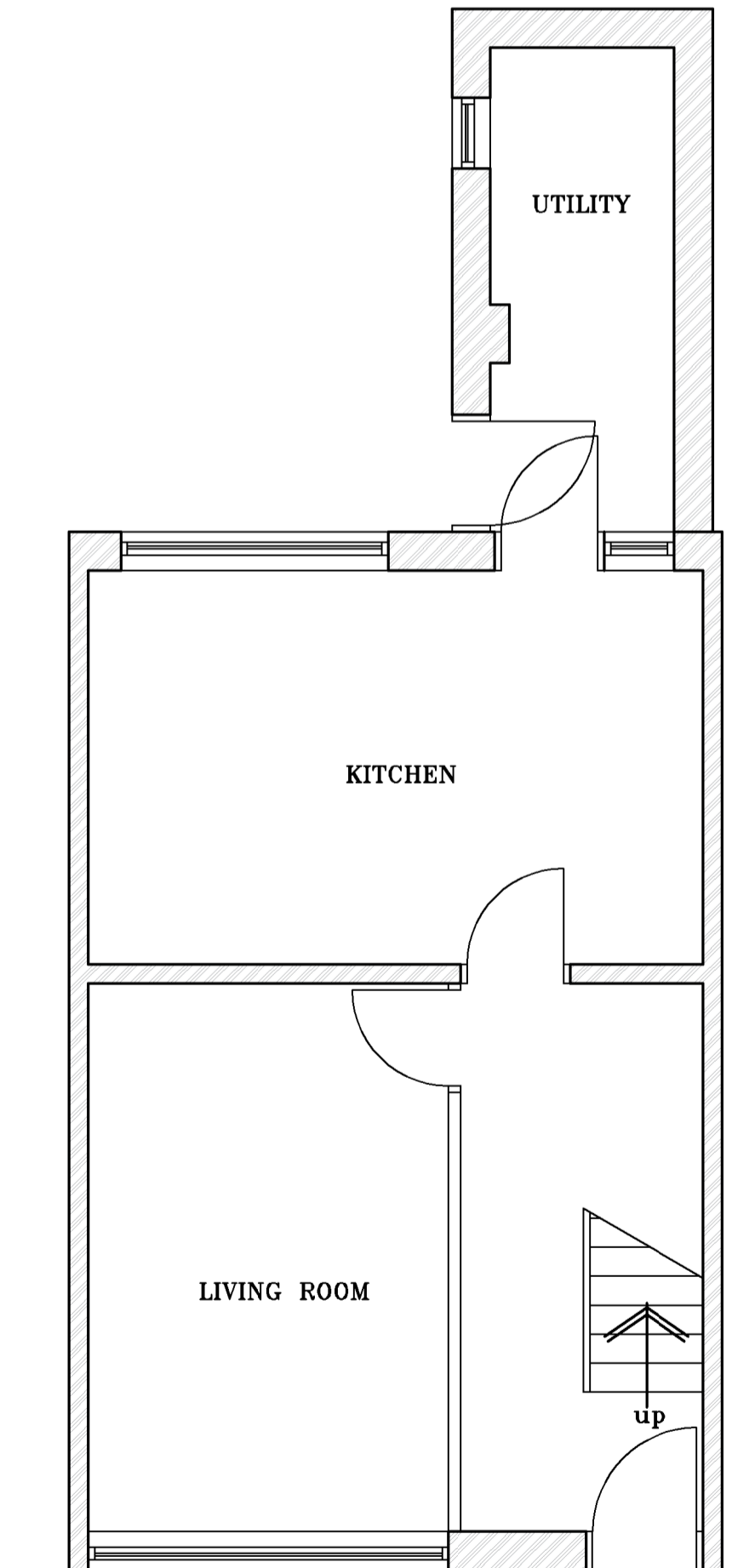
EXISTING FRONT ELEVATION Scale 1:100 EXISTING SIDE ELEVATION Scale 1:100 EXISTING REAR ELEVATION Scale 1:100



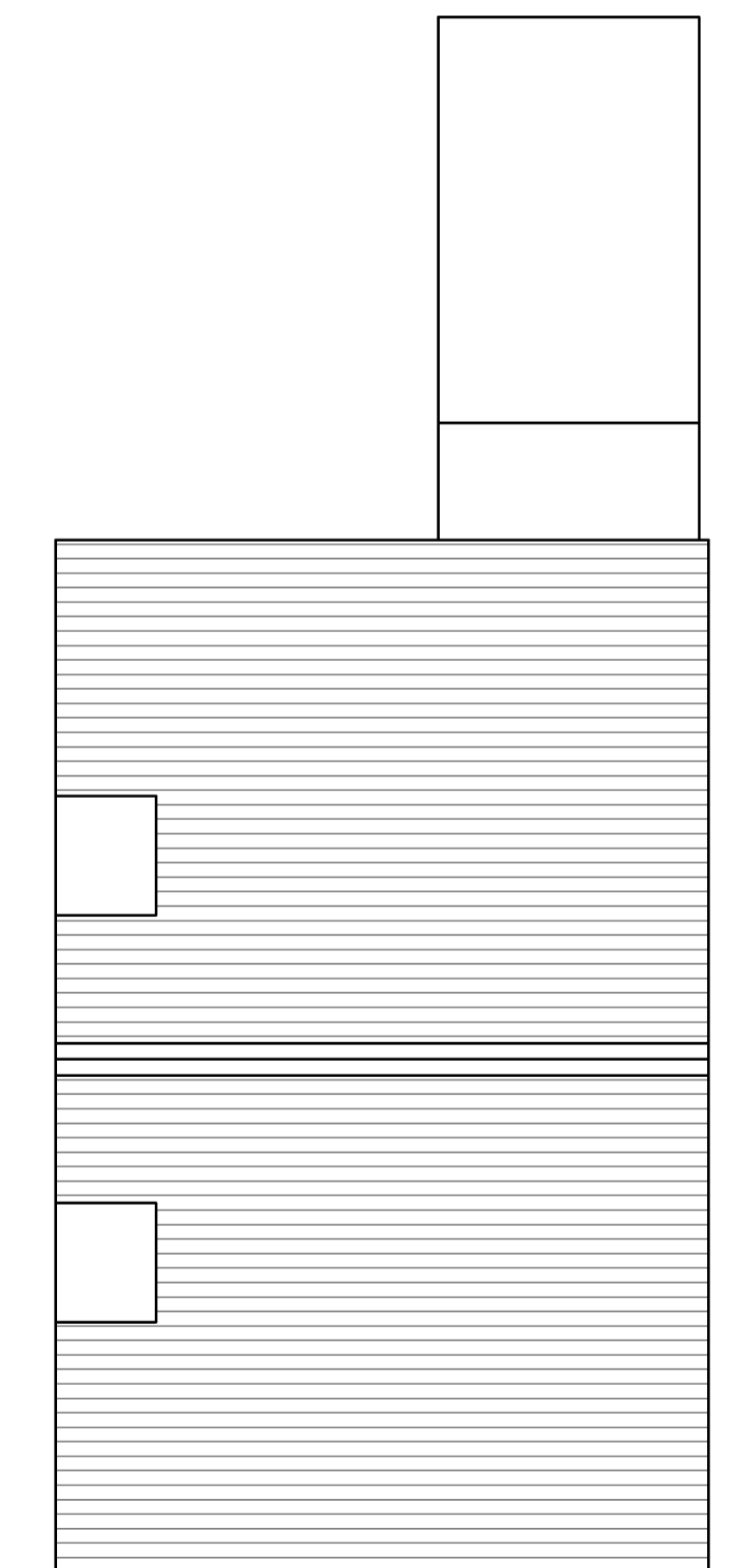
PROPOSED GROUND FLOOR PLAN Scale 1:50



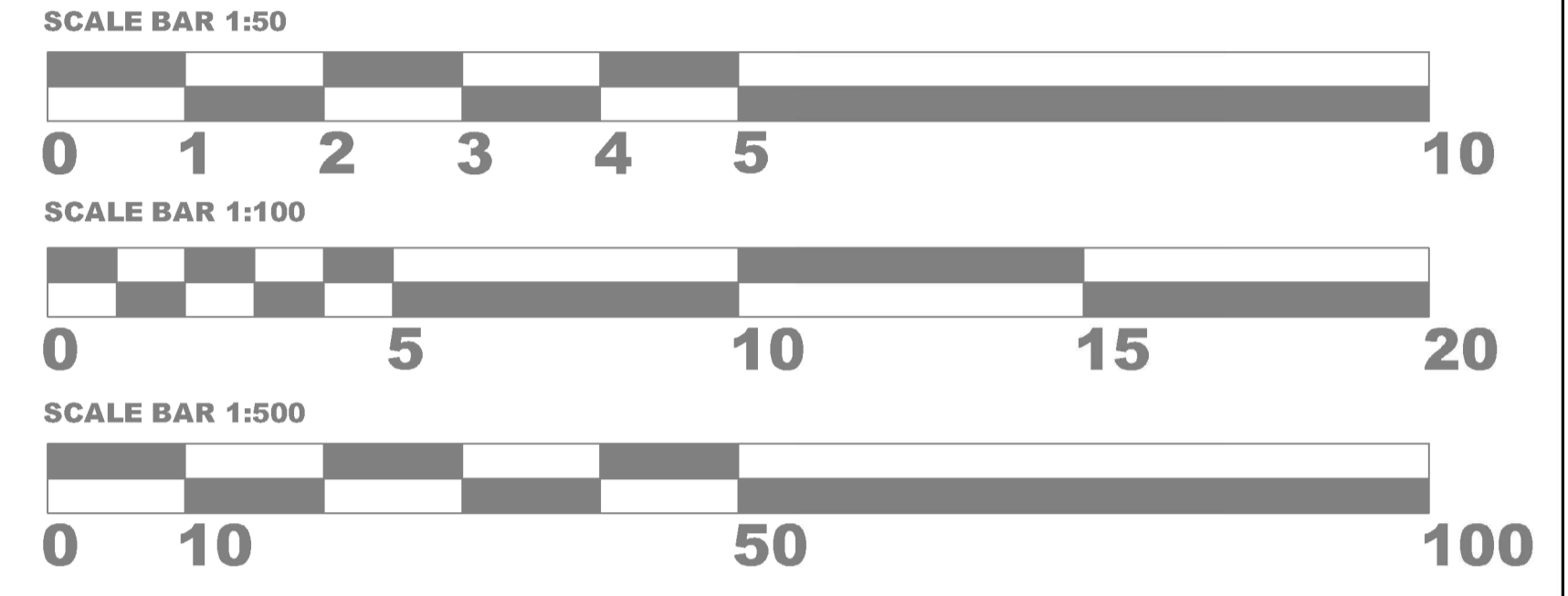
PROPOSED GROUND FLOOR PLAN Scale 1:50



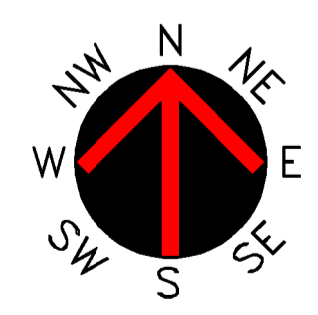
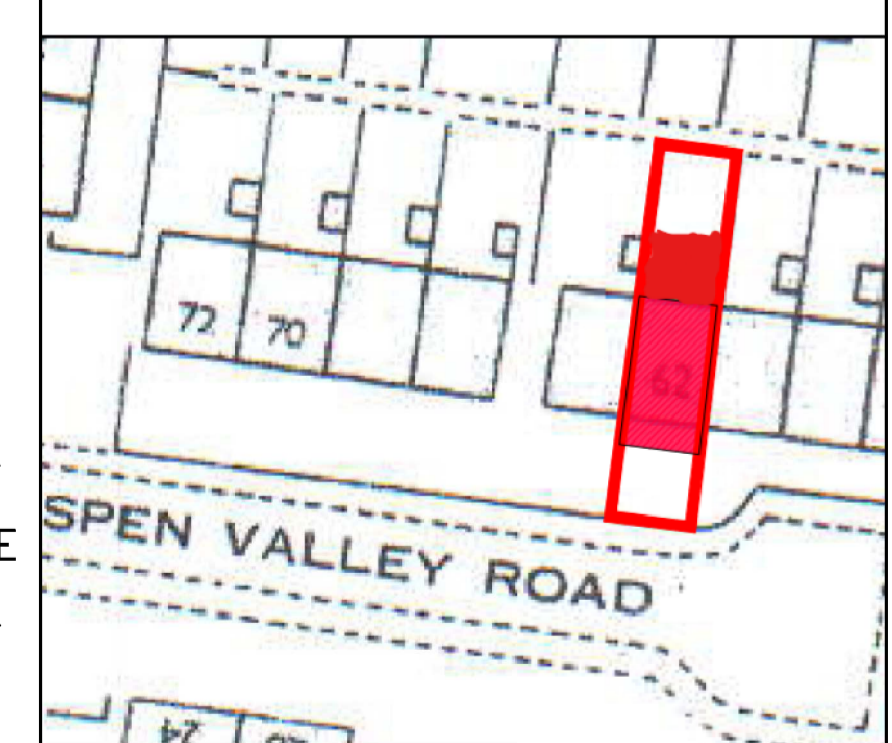
EXISTING GROUND FLOOR PLAN Scale 1:50



EXISTING GROUND FLOOR PLAN Scale 1:50



PROPOSED SITE PLAN SCALE 1:500



Client: Mr Mohammad Abrar
Address: 62 Spen Valley Road, Dewsbury, WF13 3EZ
Date: Apr 2026

Project: Existing & Proposed Elevations & Floor Plans
Drawing Number: ATP_26013_1A
Revision: A
Scale: Various @ A1

Drawing Issue: Planning ◀
B.Regulations
General

- Material List:
- Extension Walls: To match existing walls
 - Roof: New tiles to match existing.
 - Windows: Upvc glazing.



CONTRACTORS—DO NOT SCALE THIS DRAWING
All dimensions are in millimeters and are to structural elements, not including any surface finishes. All contractors must verify dimensions, co-ordinates, levels, and any other relevant details prior to ordering any materials or commencing works. Contractors are responsible for informing the designer of any discrepancy discovered on this drawing or between this drawing and any other associated documents. Work to be conducted as shown on this drawing.

The contractor in association with the client is to check that all boundaries affected by the development have been agreed with the adjacent neighbour(s) or checked in accordance with the relevant title deeds and ensure that no part of building including eaves and barge, overhangs the boundaries. In particular, when constructing foundations where the party wall act applies. All agreements should be in place prior to commencement of works.

DISCLAIMER
Under the CDM regulations a CDM Co-ordinator must be appointed. The client is responsible for appointing the CDM Co-ordinator—the contractor is to ensure that all recognised health & safety practices are complied with during construction. Commencement of works prior to approval of planning, associated conditions or detailed building regulations is at the risk of the clients/contractors. All to be aware that any conditions of approval need to be resolved with the authorities prior to commencing work.

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