

# **Heritage Statement / Design and Access Statement**

## **Project Particulars**

### Property Address:

4-6 Kirkgate  
Huddersfield  
HD1 1QH

### Applicant Details:

Ladbrokes Betting and Gaming Ltd  
7<sup>th</sup> Floor, 1 Stratford Place  
Westfield Stratford City  
Montfitchet Road  
LONDON  
E20 1EJ

### Agent Details:

Tracy Boardman  
AJ Blaza & Associates Ltd  
13 Ropergate End  
Pontefract  
WF8 1JU

## **1. Introduction**

This statement has been prepared in support of an application for Listed Building Consent for repair and refurbishment works at 4–6 Kirkgate, Huddersfield.

The application site is a Grade II listed building (List Entry Number 1313481) and lies within the Huddersfield Town Centre Conservation Area. The proposals comprise essential repair, maintenance and minor structural works to ensure the continued use and long-term preservation of the building. All works have been developed with careful regard to the building's historic and architectural significance and follow established conservation principles.

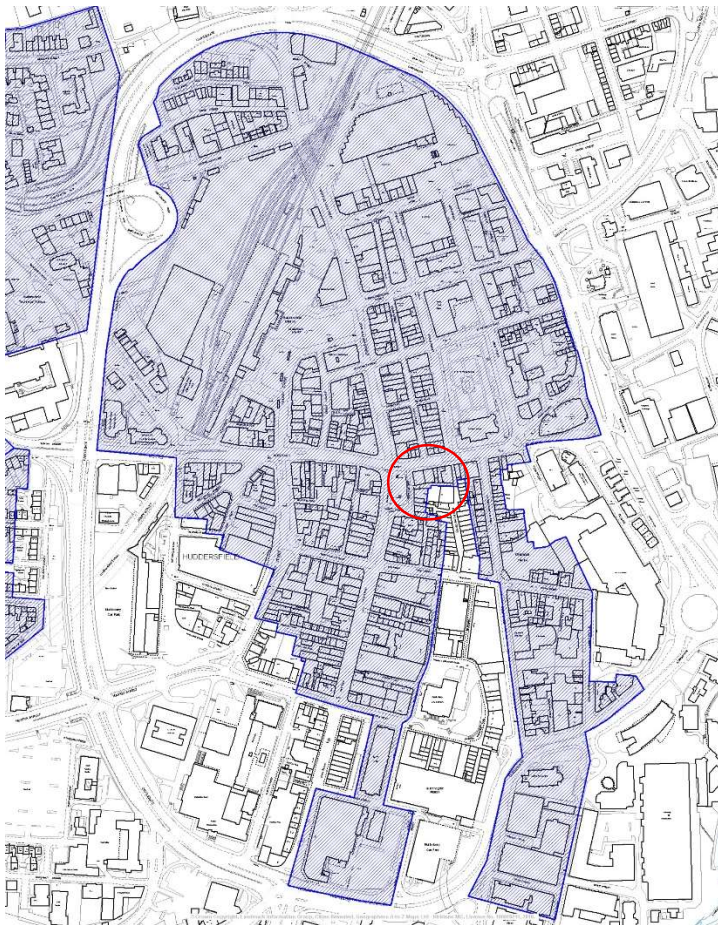


**4-6 Kirkgate, Huddersfield, HD1 1QH  
(Front Elevation)**

## 2. Site Location and Surroundings

The site is located on the south side of Kirkgate within Huddersfield town centre, forming part of the historic commercial core. The surrounding area is characterised by tightly arranged plots and continuous terraces of predominantly 18th and 19th century buildings constructed in local stone. The Huddersfield Town Centre Conservation Area is defined by its strong historic street pattern, uniform building scale and the consistent use of traditional materials. Buildings within the immediate vicinity are typically two to four storeys in height, with active ground floor commercial uses and upper floor accommodation.

The property forms part of a continuous terrace and makes a positive contribution to both the character and appearance of the conservation area and the wider group of listed buildings along Kirkgate.



Huddersfield Town Centre Conservation area with building located within the red circle.

### 3. Listing Description and Significance

The building is included on the statutory list as follows:

Listing Details:

List Entry Number 1313481.

KIRK\_GATE 1. 5.113 (South Side) No 4 SE 1416 NE 2/63 9.8.71. II GV 2. C18 or early C19. Hammer-dressed stone. Pitched slate roof. 3 storeys. Modern shop. 2 ranges of sashes in plain raised surrounds.

The significance of the building is derived from:

- Its historic fabric, including stone construction and traditional roof form
- Its architectural character, particularly its proportions, sash window arrangement and masonry detailing
- Its group value, forming part of a continuous historic terrace
- Its contribution to the conservation area, reinforcing the historic streetscape of Kirkgate

Although the ground floor shopfront has been altered, the building retains its overall historic form and character, particularly at upper levels and within the roofscape.

Below: Historic photographs of the building and surrounding streetscape illustrate its longstanding commercial use and contribution to the character of Kirkgate.



#### **4. Description of Existing Building**

The building is of traditional solid masonry construction with a pitched natural slate roof and chimney stacks located at the gable and party walls.

The submitted drawings and photographs indicate that the building has experienced deterioration consistent with age and exposure, including:

- Defective and deteriorating roof coverings and flashings. Previous roof repairs appear to have been poorly executed, including the omission of double slating at the eaves, which is not in accordance with traditional detailing and has contributed to localised deterioration of the roof structure.
- Weathered and failing mortar joints to the gable wall
- Potential localised decay to roof timbers, particularly at eaves level
- Defective rainwater goods
- Localised structural instability within the basement from unsupported masonry

These issues, if left unaddressed, would lead to further deterioration of the historic fabric.

#### **5. Proposed Works**

The proposals are repair-led and conservation-based, focusing on retaining as much historic fabric as possible.

##### **Roof Repairs**

As detailed on the submitted drawings:

- Full strip of existing slates, battens and leadwork
- Reuse of approximately 50% of existing slates
- Replacement with matching reclaimed slates where necessary
- Installation of breathable underlay and new treated battens
- Replacement of leadwork with Code 4 lead to recognised standards
- Installation of insulation at ceiling level to comply with building regulations

Localised timber repairs will be undertaken only where necessary, including splicing of decayed rafter ends.

##### **Gable Wall and Chimney Repairs**

As shown on the elevation drawings:

- Removal of defective render
- Raking out and repointing in NHL 3.5 lime mortar
- Replacement of damaged masonry to match existing
- Renewal of lead flashings
- Repointing of chimney stacks and repair of flaunching

##### **Rainwater Goods**

- Refurbishment of existing cast iron gutters
- Replacement of defective brackets and fittings
- Retention of traditional appearance

##### **Roof Details and Skylights**

- Repair and retention of existing skylights
- Replacement of defective glazing to match existing
- Renewal of flashings in lead
- Formation of verge using traditional lime mortar and undercloak

##### **Basement Structural Repairs**

As detailed in the basement drawings:

- Installation of a steel goalpost frame to support existing masonry
- Localised internal repairs

These works are internal and will not affect the external appearance or significance of the building.

## **6. Impact on Heritage Significance**

The proposed works will have a neutral to positive impact on the significance of the listed building.

- The works are primarily repair and maintenance
- Historic fabric is retained wherever possible
- Replacement materials are carefully matched
- Traditional materials and methods (lime mortar, slate, lead) are used throughout

There is no loss of significant architectural features. Instead, the works will:

- Prevent further deterioration
- Improve the building's condition
- Secure its long-term use

Any new elements are either concealed, reversible, or visually consistent with the existing building.

## **7. Design Principles**

The proposals follow established conservation best practice:

- Minimum intervention
- Like-for-like repair
- Use of traditional materials
- Respect for historic detailing
- Reversibility where possible

The design ensures that the building's character, appearance and significance are preserved.

## **8. Access**

The proposals do not alter access to or within the building. Works are limited to repair and maintenance.

Temporary access will be provided via scaffolding for construction purposes only.

## **9. Conclusion**

The proposed works represent a sensitive and appropriate scheme of repair to a Grade II listed building within the Huddersfield Town Centre Conservation Area.

The approach prioritises the retention of historic fabric and the use of traditional materials and techniques. The proposals will preserve and enhance the significance of the heritage asset and ensure its continued use.