

Our Cultural Heart

Phase 2, Kirklees, Huddersfield

Design and Access Statement

April 2026

CHAPMAN
TAYLOR

 bam

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Document No:	IR430300-CTA-ZZ-XX-RP-A-00017
Revision No:	P02
Date:	24.04.2026
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01 Executive Summary

01

1.1 Purpose of the Document

This Design and Access Statement Addendum supports a Section 73 application and new Listed Building Consent Application to vary aspects limited to the refurbishment and extension of the Grade II listed former Huddersfield Library and Art Gallery building consented as part of Our Cultural Heart masterplan. The current approvals to be amended are: Full Planning Approval, Ref: 2022/48/93248/W; as amended by 2024/70/92472/W.

The original proposals were developed by FCBS architects based on a brief provided by Kirklees Council. The design was then developed to RIBA Stage 3 and this information was used to obtain planning and listed building consent and to procure a construction partner, BAM UK & Ireland Ltd.

Chapman Taylor are appointed to take over the design as part of the BAM UK & Ireland Ltd team. During the process of taking over the design it was apparent that further amendments to the design were required to meet the latest client brief and operational requirements and also to meet the criteria and constraints.

Chapman Taylor have reworked the RIBA Stage 2 design in collaboration with Kirklees Council Museum and Gallery (MAG) team to evolve the design brief. This design was then developed to RIBA Stage 3 which was approved by the client team. This has been further developed through to RIBA Stage 4. This information is now to be used for the formal submission process for the Section 73 Amendments and the new listed building consent application.

This document provides commentary for the planning amendment and should be read in conjunction with supporting documentation:

- Application Forms
- Planning Statement
- Architects Drawings
- Landscape Architects Drawings
- Environmental Statement Addendum

A planning documents tracker has been provided to identify approved documents and drawings that will be substituted for under the Section 73 application. This document substitutes the previous DAS Addendum, reference: IR430300-FCBS-XX-XX-RP-A-030050-P01.



1.2 **Project Background**

The Application site for the Section 73 is part of the 'Our Cultural Heart' masterplan, and is located within the core of the Huddersfield Town Centre; approximately 350 metres south-east of Huddersfield train station and in close proximity to Huddersfield Town Hall to the west. It is located within the ring road (A62 Castlegate/Queensgate/Southgate) and is bound by Queensgate A62 to the south and south east; by Queen Street to the east; by King Street to the north and by Victoria Lane, Peel Street and Alfred Street to the west.

Phase 1 of the masterplan is under construction and comprises:

- A foodhall set within the existing Queensgate Market. The design celebrates the listed hyperbolic roof structure and creates a unique landmark for Huddersfield.
- A new public library that better responds to the needs of the local community and acts as a civic focal point within the masterplan
- A new public square with high quality public realm and hard landscaping to create a civic square for the town.

Phase 2 incorporates the new Museum and Art Gallery within the former Library building. The Grade II listed structure will be extended to accommodate additional space for display and visitor experiences.

- The museum will house collections that tell the story of Huddersfield and celebrates its rich history and culture.
- The art gallery will provide new display spaces with state-of-the-art environmental controls to allow nationally significant touring exhibitions and to be accommodated.
- New education and research facilities are provided which will allow significant engagement with local communities.
- The fabric of the existing building will be retained, refurbished and upgraded to preserve the heritage value for generations to come.

- Future phases of the masterplan include a new arena venue and a significant new public park area with open green spaces for visitors to enjoy.

1.2.1 **MUSEUM AND ART GALLERY BRIEF**

The previous Section 73 application related to the aspiration to combine the museum and art gallery into a single, multi-functional building.

This application relates to minor amendments to the combined museum and gallery which has been developed in close consultation with the Kirklees Council team, key stakeholders and the wider design team.

The new proposals address many operational issues that were not fully resolved in the previous design and also align with the updated client brief.

The site boundary for the Phase 2 works has been further developed and coordinated with the Phase 1 works which are now under construction.

02 Design Changes

02

2.1 Use & Amount

2.1.1 USE

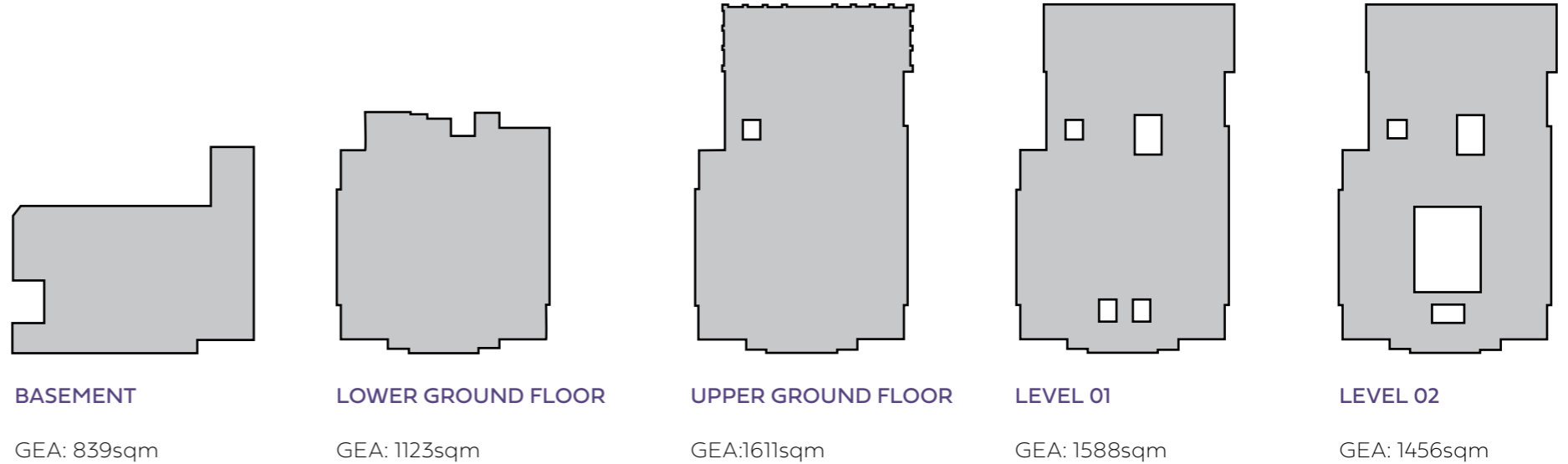
There are no changes to the uses within the current scheme from the previously consented scheme. The primary functions of museum, gallery and education/research spaces are retained. Internal layout amendments have been carried out at each level to reflect the increased level of detail and the current client brief.

A reduction in the amount of new basement construction is one of the main changes, which has led to a reallocation of spaces within the building and a repurposing of some of the existing external areas adjacent to the building. This is explained in detail on a level-by-level basis in the following pages.

2.1.2 AMOUNT

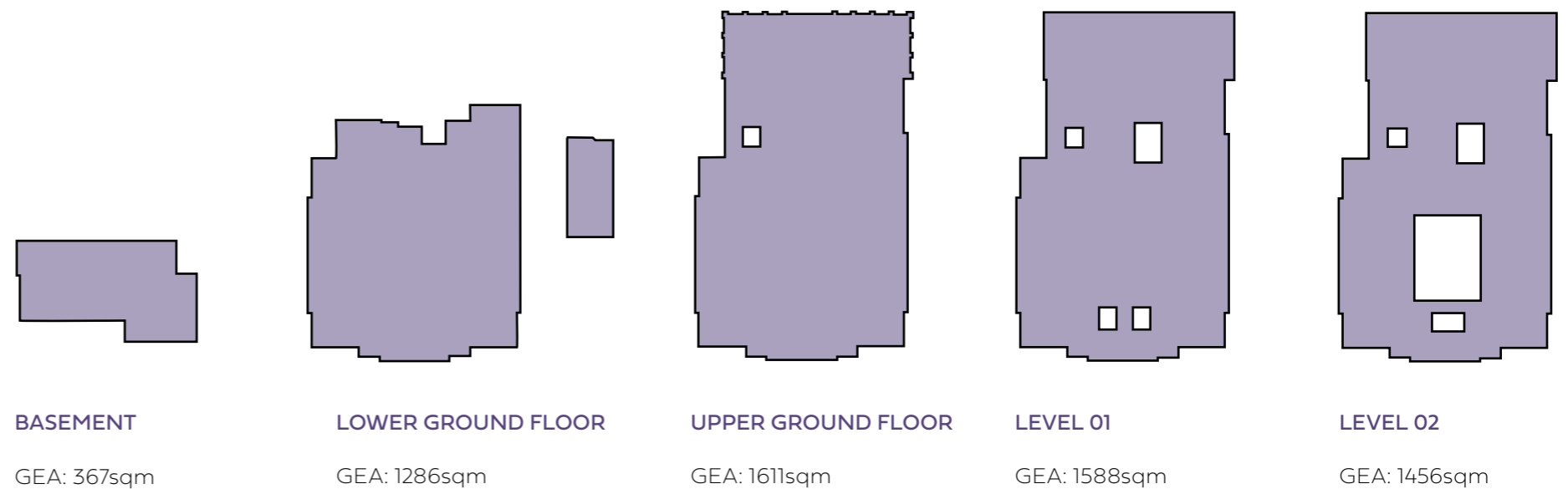
The proposed museum and gallery will have a GEA of 6308 sqm compared to the previously consented scheme which had a GEA of 6617 sqm. The decrease in area is largely due to the reduction in new basement area. There is an increase in GEA at lower ground floor, where there are additional back of house areas included at this level.

CONSENTED SCHEME



CONSENTED SCHEME TOTAL GEA: 6617 SQM

PROPOSED SCHEME



PROPOSED SCHEME TOTAL GEA: 6308 SQM

2.2 Layout & Organisation

2.2.1 OVERVIEW

The current proposals retain all of the core principles and aspirations of the consented scheme. The additional level of detailed design, coordination with specialist consultants and ongoing consultation with the **Kirklees Council Museum and Gallery (MAG) team** has helped to better define the uses and operational efficiency of the building that will ensure the building can satisfy the brief, namely:

Culture

A variety of displays and exhibitions including high profile touring exhibitions, alongside a permanent collection, temporary and community exhibitions.

Social / Community

A public foyer for everyday use for those passing through, as well as those intending to dwell or enjoy the main amenities.

Diversity / Flexibility

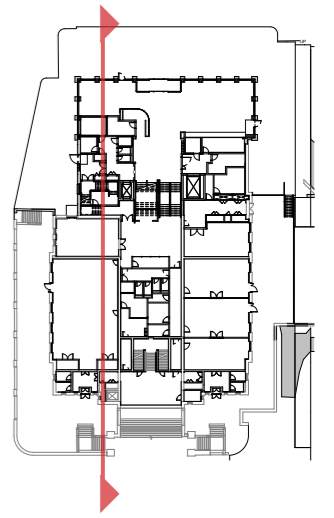
A selection of spaces for performance, education, events, and socialising.

Accessible

The new building will be accessible for all and provide specialist facilities including a Changing Places facility for visitors, plus step free access to areas throughout the building.

Public Realm

Have a strong presence in the new park, and breathing a new life in to an important architectural landmark in the town, it will offer a welcoming and accessible environment for all, themes that run throughout the proposals. The pages that follow will outline the layout and organisation of the amended planning proposals across each of the building levels. Commentary will clearly identify the key variations from the approved scheme, with a set of comparison drawings highlighting the changes in Section 05 of this document.



2.2 Layout & Organisation

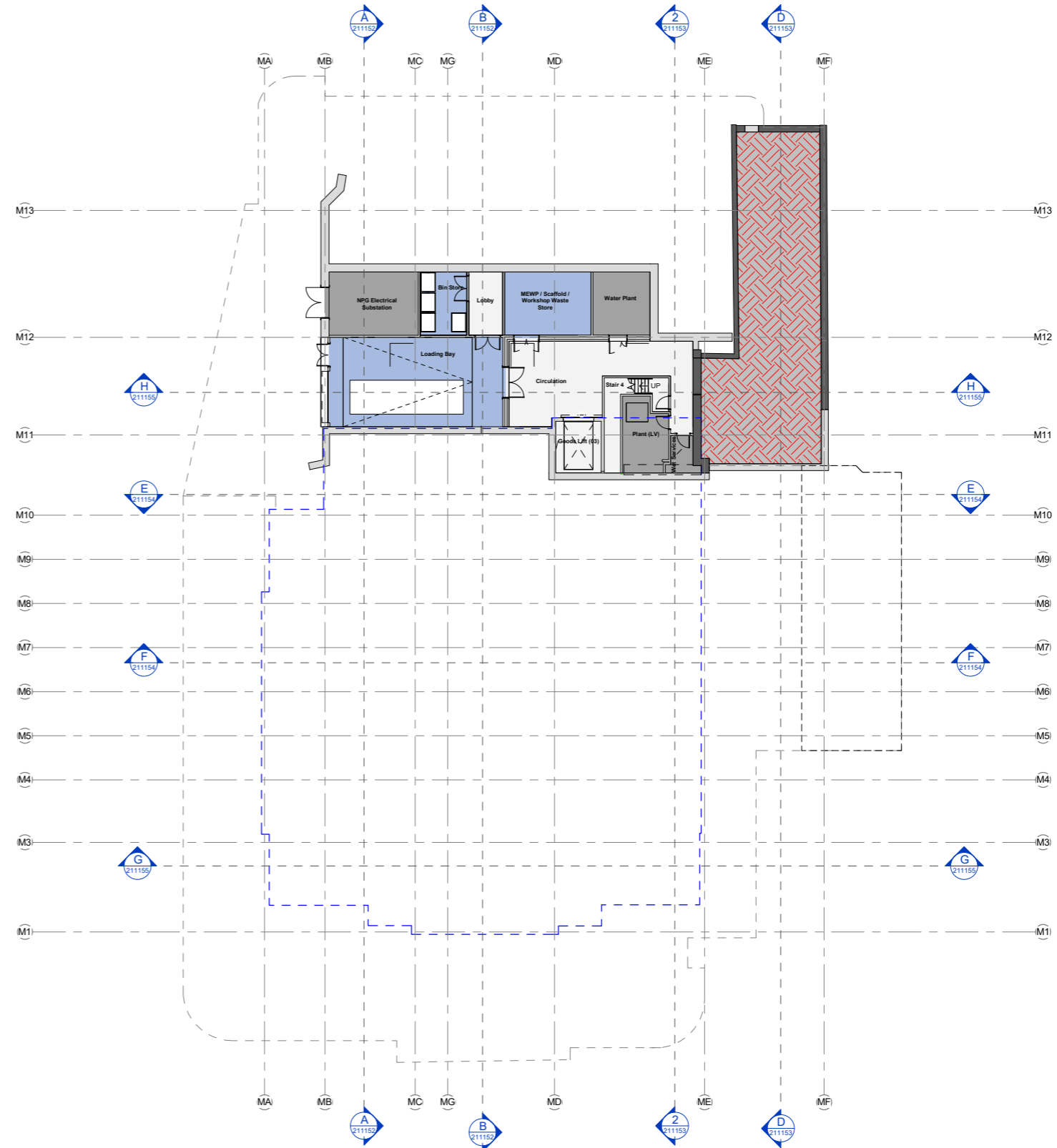
2.2.2 BASEMENT

As part of the RIBA Stage 2 redesign, the extent of the new basement was reviewed and the design team developed a revised proposal, in conjunction with the current client brief and in collaboration with the Kirklees Council Museum and Gallery (MAG) team.

As the building services design was developed in more detail, it was apparent that a reduced area of plant space within the basement could be achieved. In addition, cycle storage and workshop areas are relocated to the lower ground floor to improve operational efficiency.

Through extensive design consultation with Kirklees Council, the current design proposals were agreed and the detailed design has been developed based on these agreed principles.

- ROOM TYPE KEY:**
- Foyer
 - Circulation
 - Display
 - Display Store
 - Display (GIS)
 - Existing Void Space
 - FoH - Public Areas
 - FoH - Staff Areas
 - Education
 - Gallery Display
 - Gallery Display (GIS)
 - Hire Space
 - Office and Admin
 - Plant
 - Storage
 - WC



Proposed Basement Layout



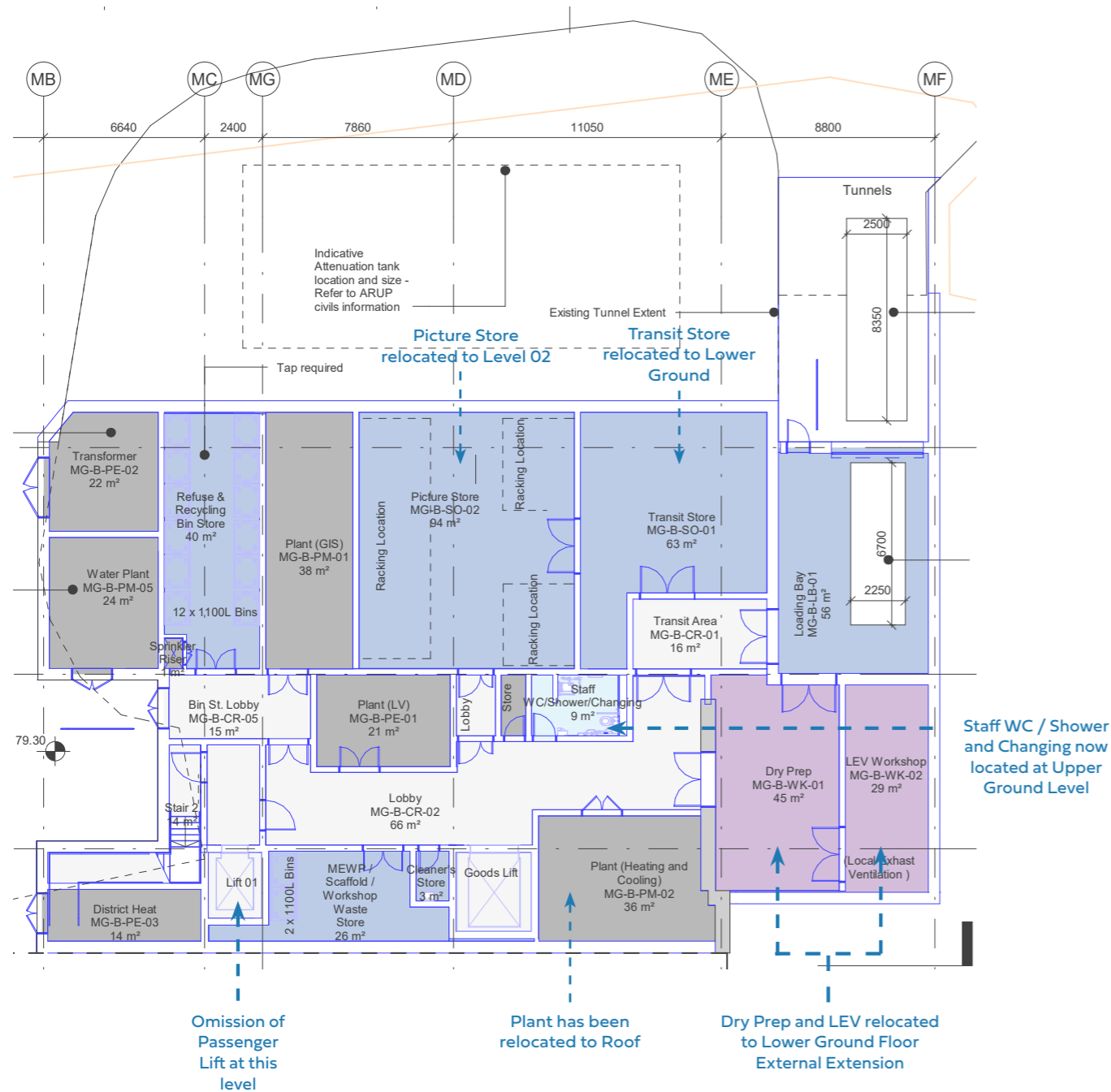
2.2 Layout & Organisation

2.2.3 COMPARISON OF CONSENTED PLANS AND PROPOSED PLANS

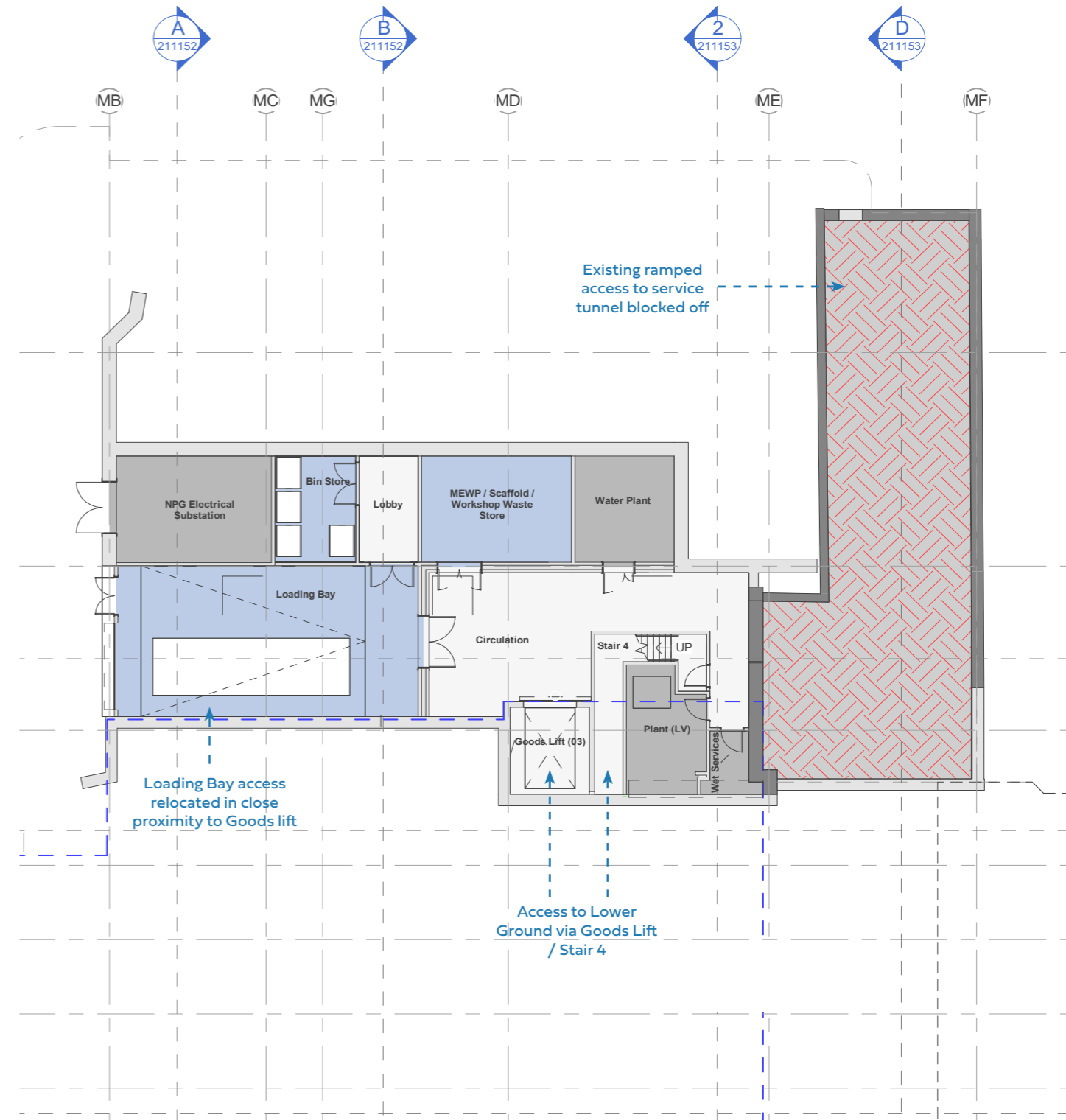
This page illustrates the proposed changes by comparing the consented scheme with the current proposal.

Key

- Existing Walls
- Current Walls



Consented Basement Layout



Proposed Basement Layout

2.2 Layout & Organisation

2.2.4 LOWER GROUND FLOOR

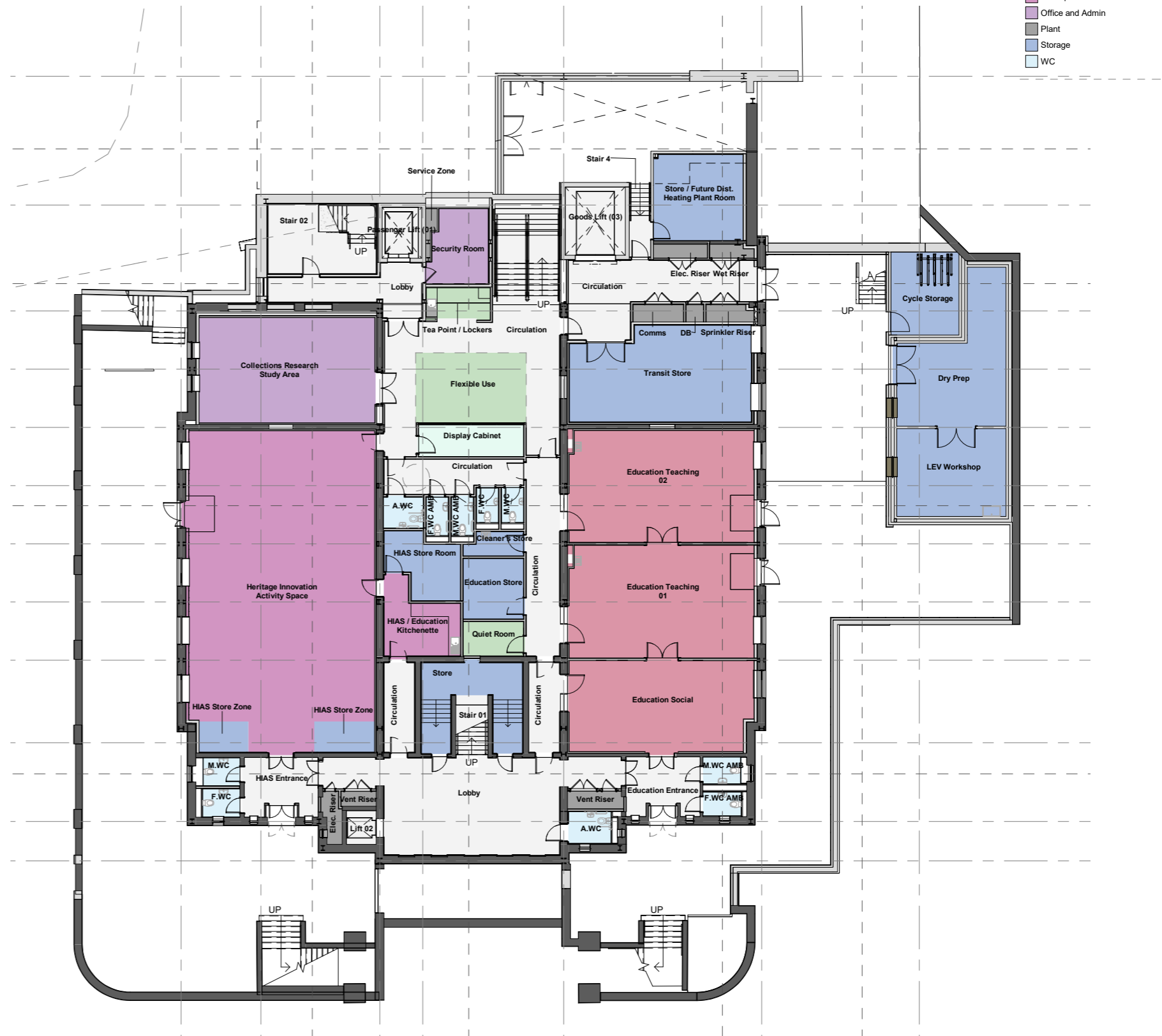
The Lower Ground Floor has been further developed with the Kirklees Council Museum and Gallery (MAG) team and key stakeholders through a regular series of engagement meetings throughout the design development process.

The internal amendments are minor and have limited impact on the existing fabric of the building and there are only minor differences when compared to the consented scheme.

Externally, the number of new openings formed in the existing façades has been reduced, helping to retain more of the existing façade in its original state.

The external courtyard has been redesigned, to create a private external courtyard for the education spaces, where visiting children can enjoy the outdoors within a secure and private environment. A separate external back-of-house (BoH) space is created for staff use, giving access to the new workshop, dry prep area and staff cycle storage. These spaces make use of the existing retaining wall that links to the service tunnel beyond, reducing the amount of demolition required from the consented scheme.

- ROOM TYPE KEY:**
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 - FoH - Staff Areas
 - Education
 - Gallery Display
 - Gallery Display (GIS)
 - Hire Space
 - Office and Admin
 - Plant
 - Storage
 - WC



Proposed Lower Ground Floor Layout

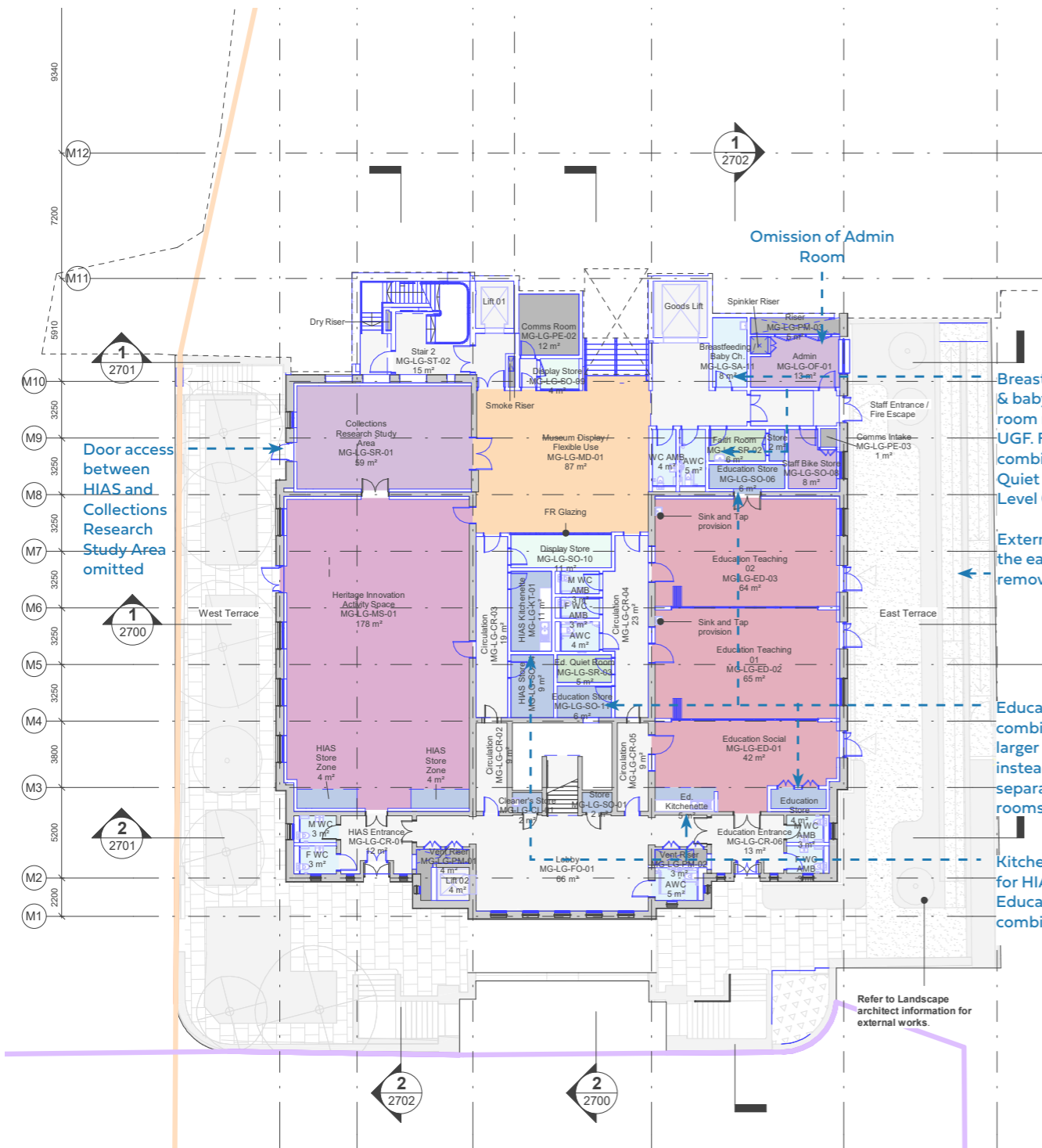
2.2 Layout & Organisation



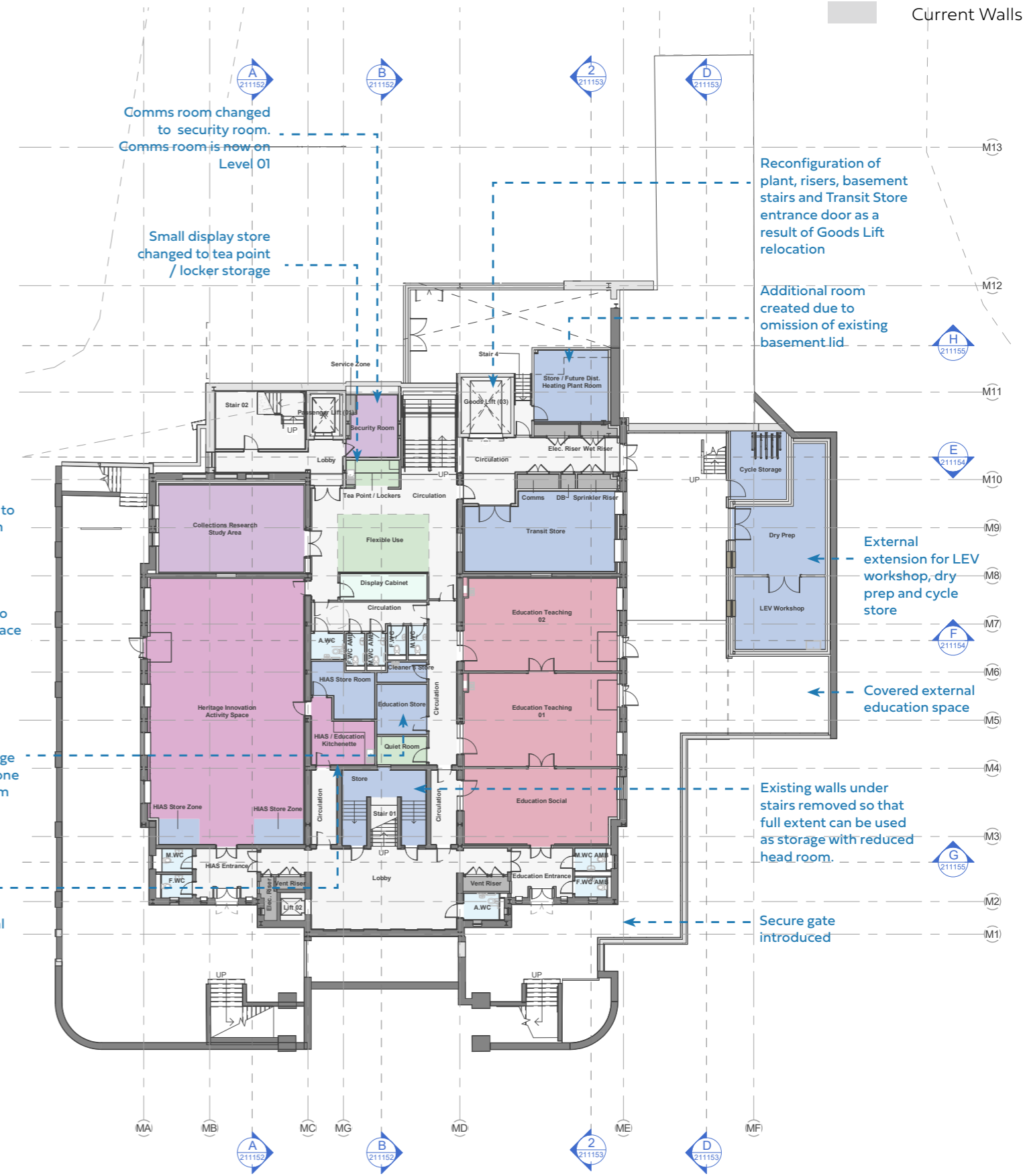
Key
 Existing Walls
 Current Walls

2.2.5 COMPARISON OF CONSENTED PLANS AND PROPOSED PLANS

This page illustrates the proposed changes by comparing the consented scheme with the current proposal.



Consented Lower Ground Floor Layout



Proposed Lower Ground Floor Layout

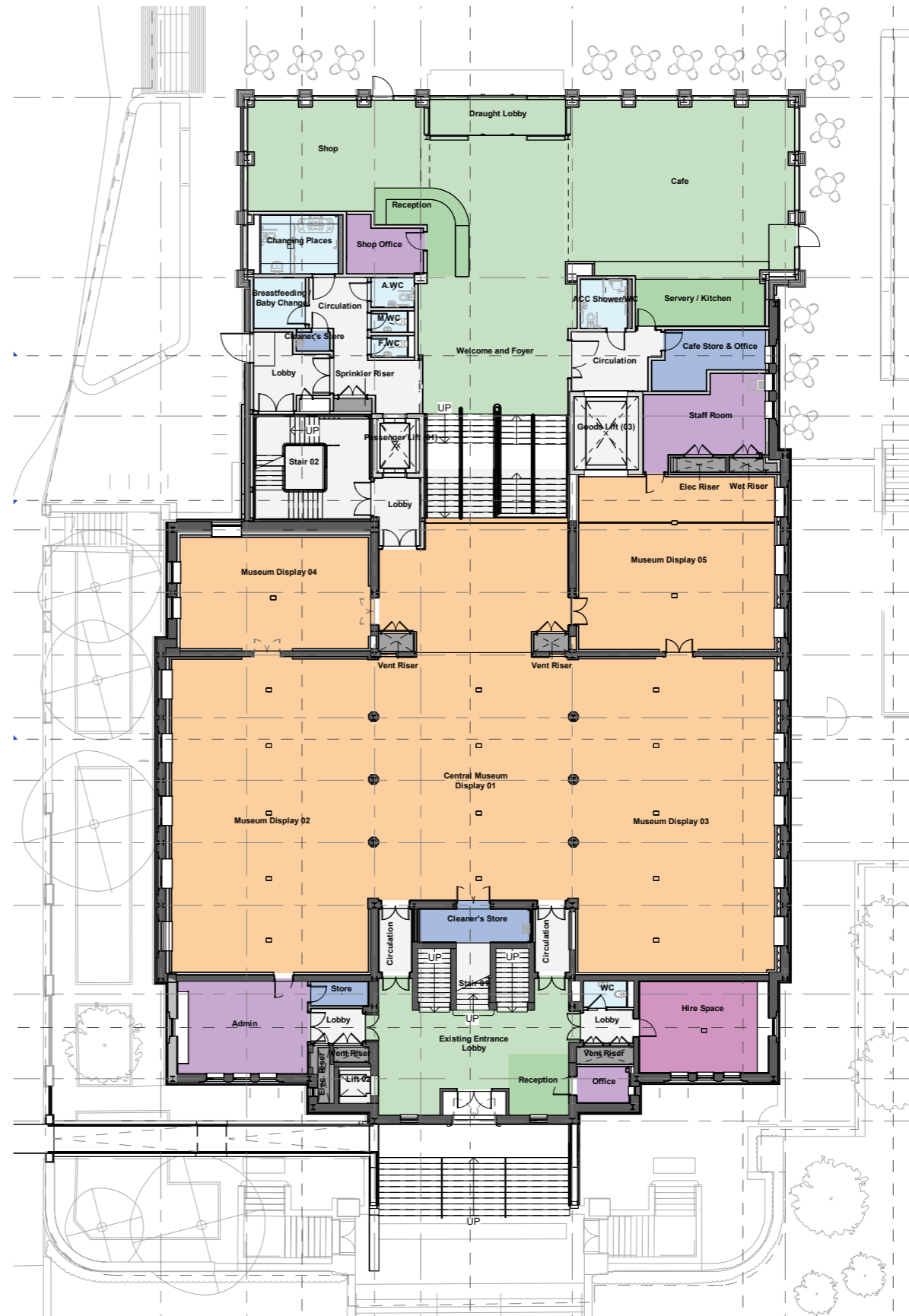
2.2 Layout & Organisation

2.2.6 UPPER GROUND FLOOR

The principles of the consented scheme are retained, with the new entrance, café space and shop located in the new extension to the north, leading to the display spaces and circulation cores beyond. To the south, the new ramp provides step free access/ egress to the existing southern entrance.

The internal layout has been further developed and rationalised to ensure that this complies with the requirements of the building regulations and the operational requirements for the end user Kirklees Council Museum and Gallery (MAG) team.

- ROOM TYPE KEY:**
- Foyer
 - Circulation
 - Display
 - Display Store
 - Display (GIS)
 - Existing Void Space
 - FoH - Public Areas
 - FoH - Staff Areas
 - Education
 - Gallery Display
 - Gallery Display (GIS)
 - Hire Space
 - Office and Admin
 - Plant
 - Storage
 - WC



Proposed Upper Ground Floor Layout

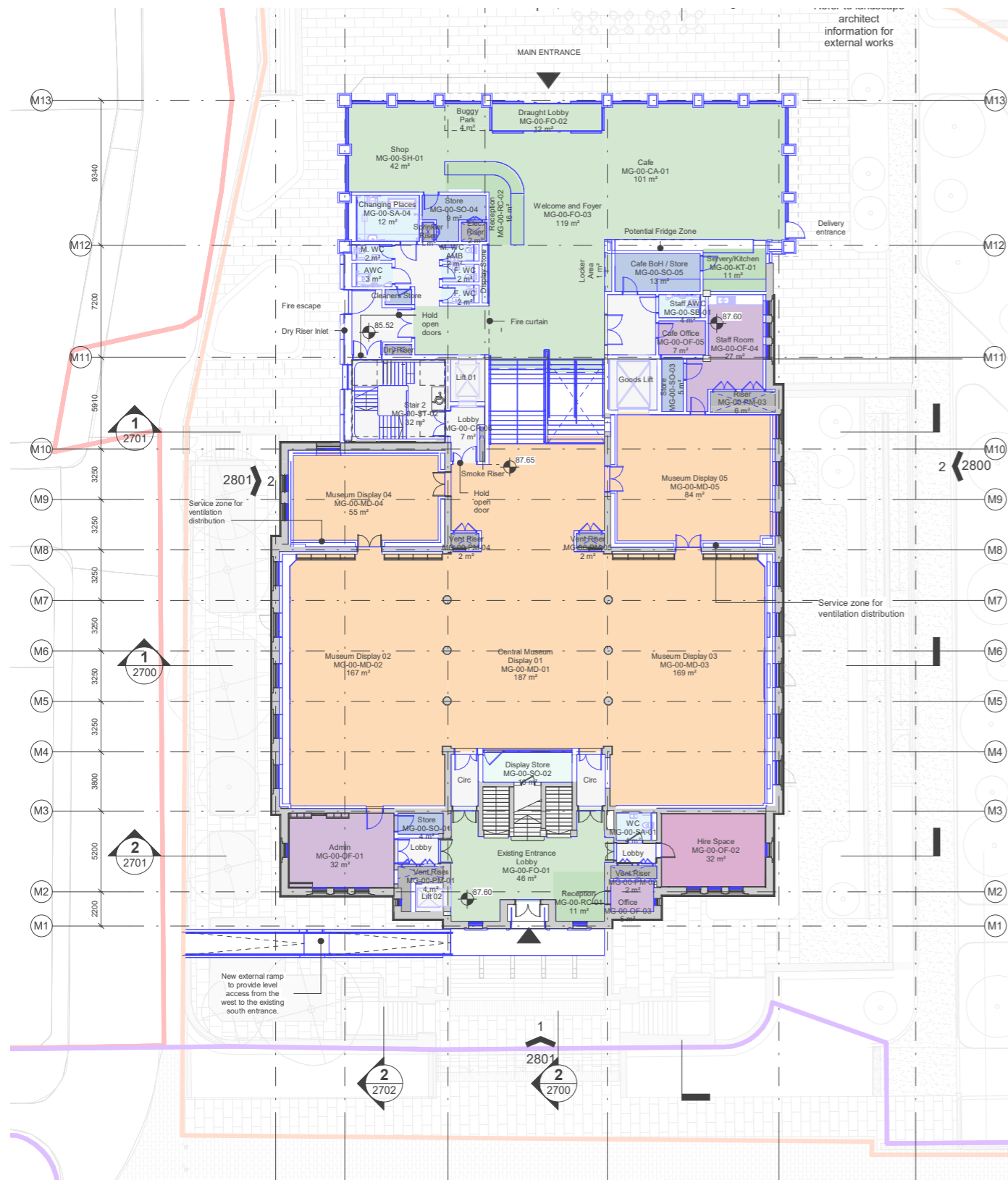
2.2 Layout & Organisation



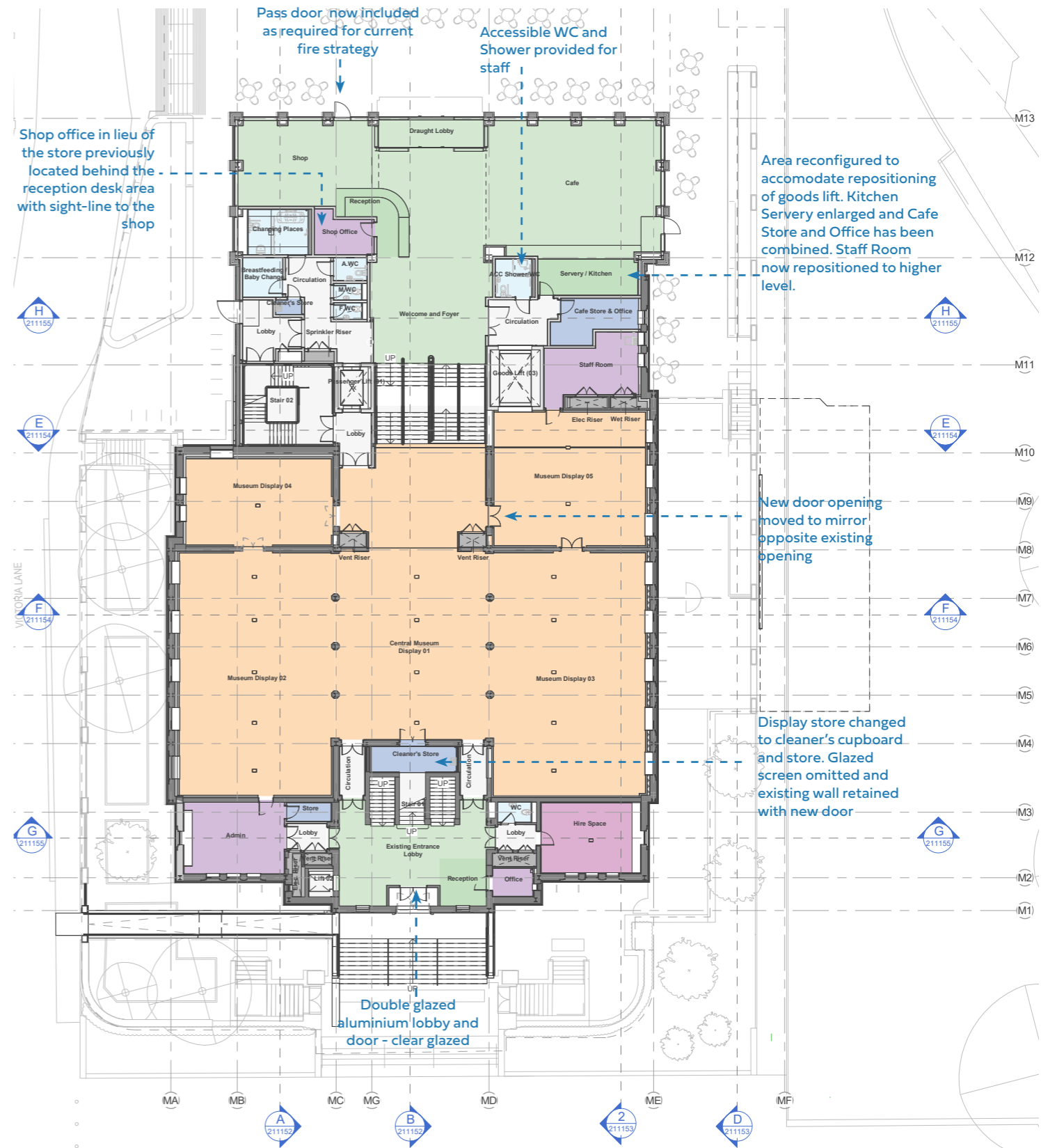
Key
 Existing Walls
 Current Walls

2.2.7 COMPARISON OF CONSENTED PLANS AND PROPOSED PLANS

This page illustrates the proposed changes by comparing the consented scheme with the current proposal.



Consented Upper Ground Floor Layout



Proposed Upper Ground Floor Layout

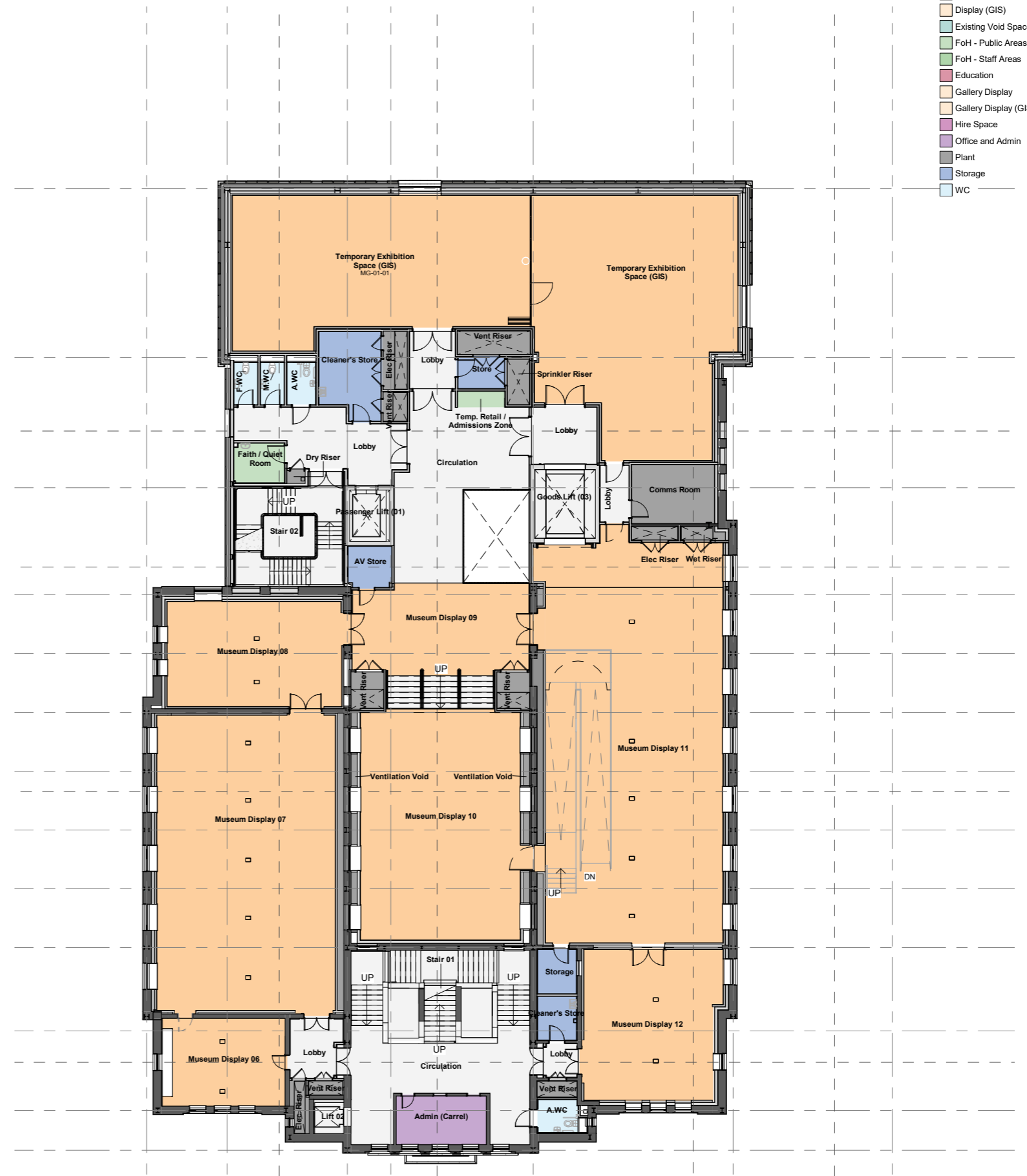
2.2 Layout & Organisation

2.2.8 LEVEL 01

The visitor toilet provision has been revised in order to maximise display space whilst meeting the requirements of Approved Document T of the building regulations for toilet provision. A mix of male, female and gender neutral accessible wc cubicles are provided.

Step free means of escape from Display area 10 will be provided by a ramp located in Display area 11, which will be provided as part of the museum and gallery fit out. The ramp design will be developed to integrate with the display spaces and exhibits.

- ROOM TYPE KEY:**
- Foyer
 - Circulation
 - Display
 - Display Store
 - Display (GIS)
 - Existing Void Space
 - FoH - Public Areas
 - FoH - Staff Areas
 - Education
 - Gallery Display
 - Gallery Display (GIS)
 - Hire Space
 - Office and Admin
 - Plant
 - Storage
 - WC



Proposed Level 01 Layout

2.2 Layout & Organisation

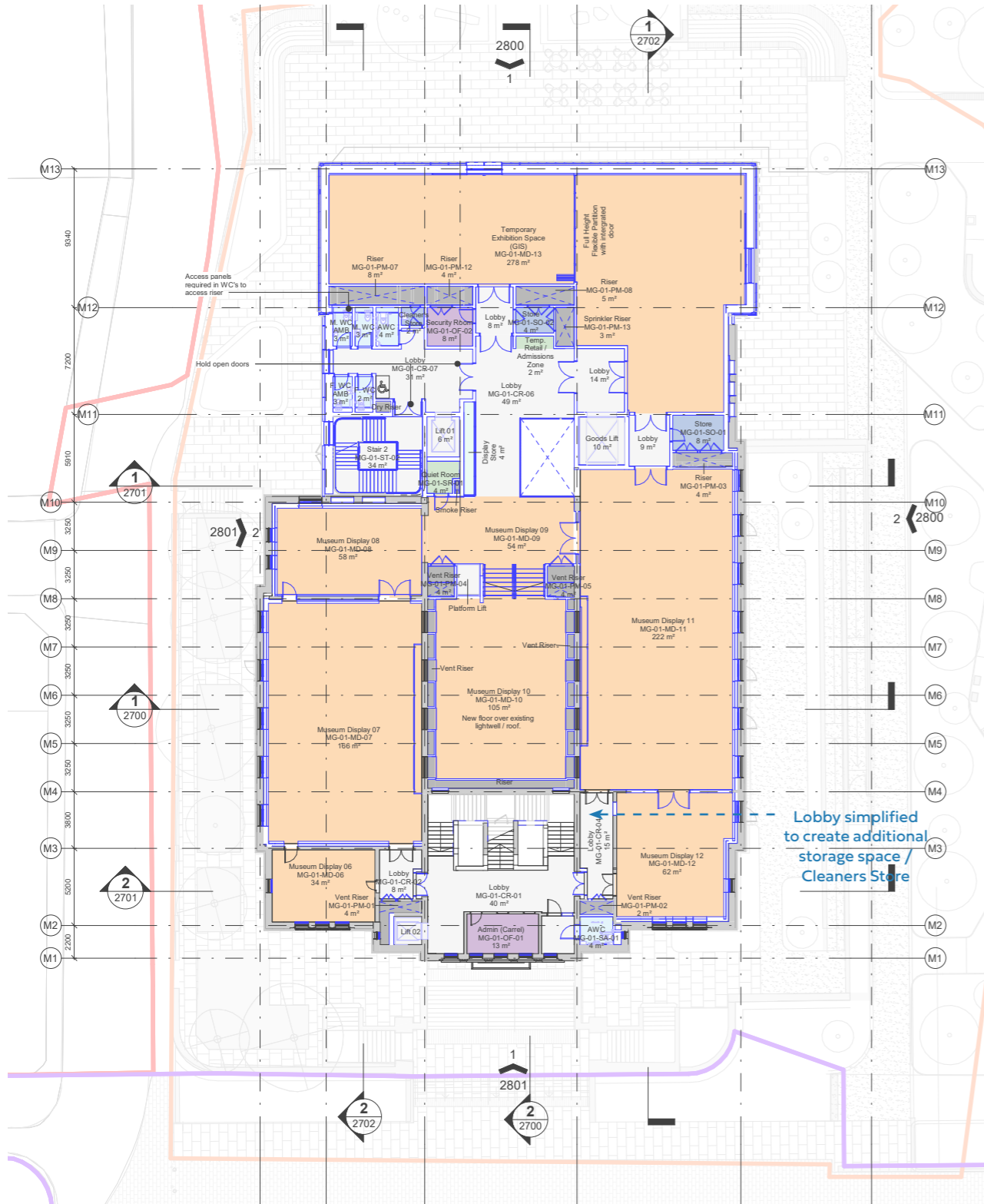


Key

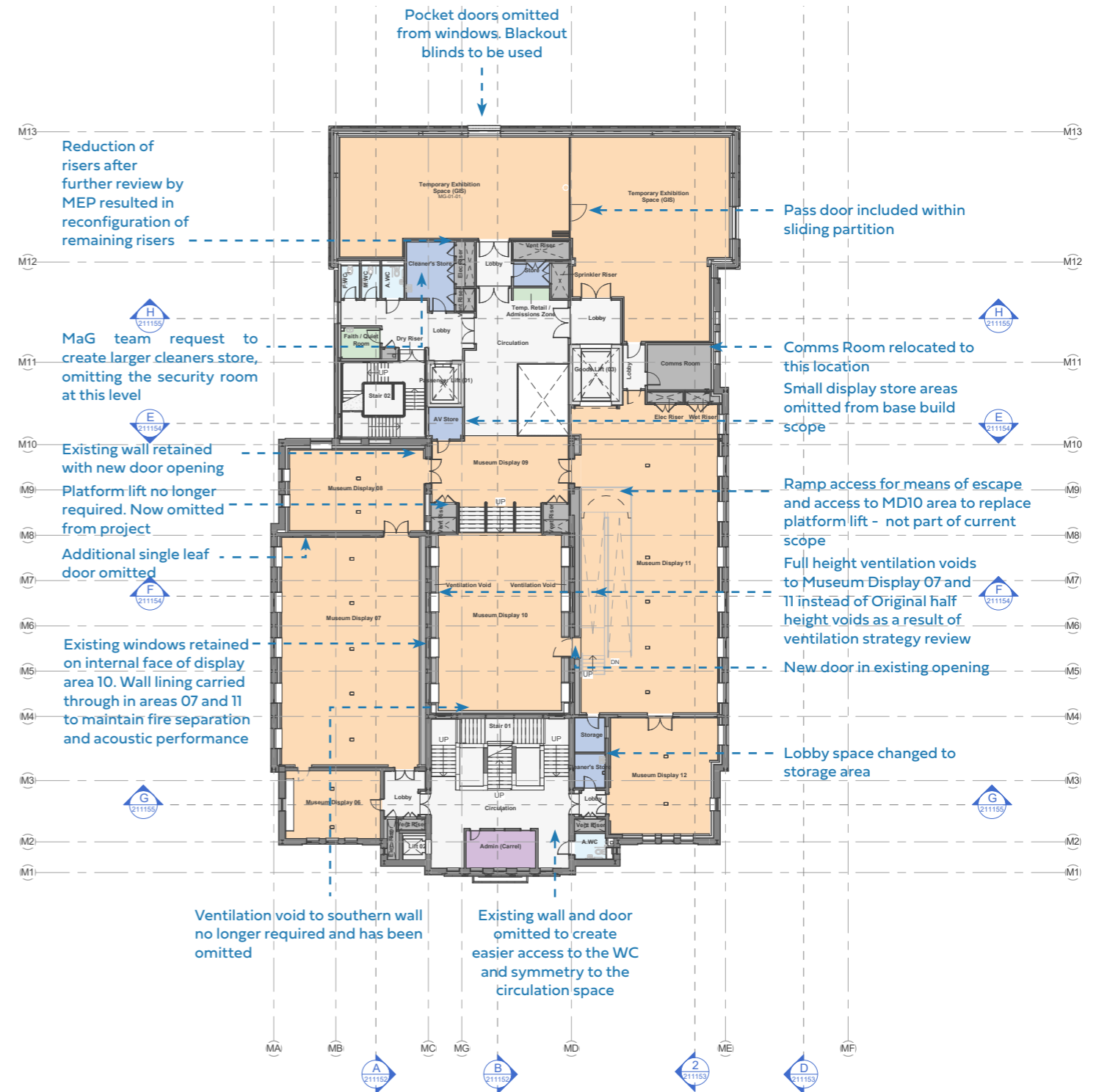
- Existing Walls
- Current Walls

2.2.9 COMPARISON OF CONSENTED PLANS AND PROPOSED PLANS

This page illustrates the proposed changes by comparing the consented scheme with the current proposal.



Consented Level 01 Layout



Proposed Level 01 Layout

2.2 Layout & Organisation

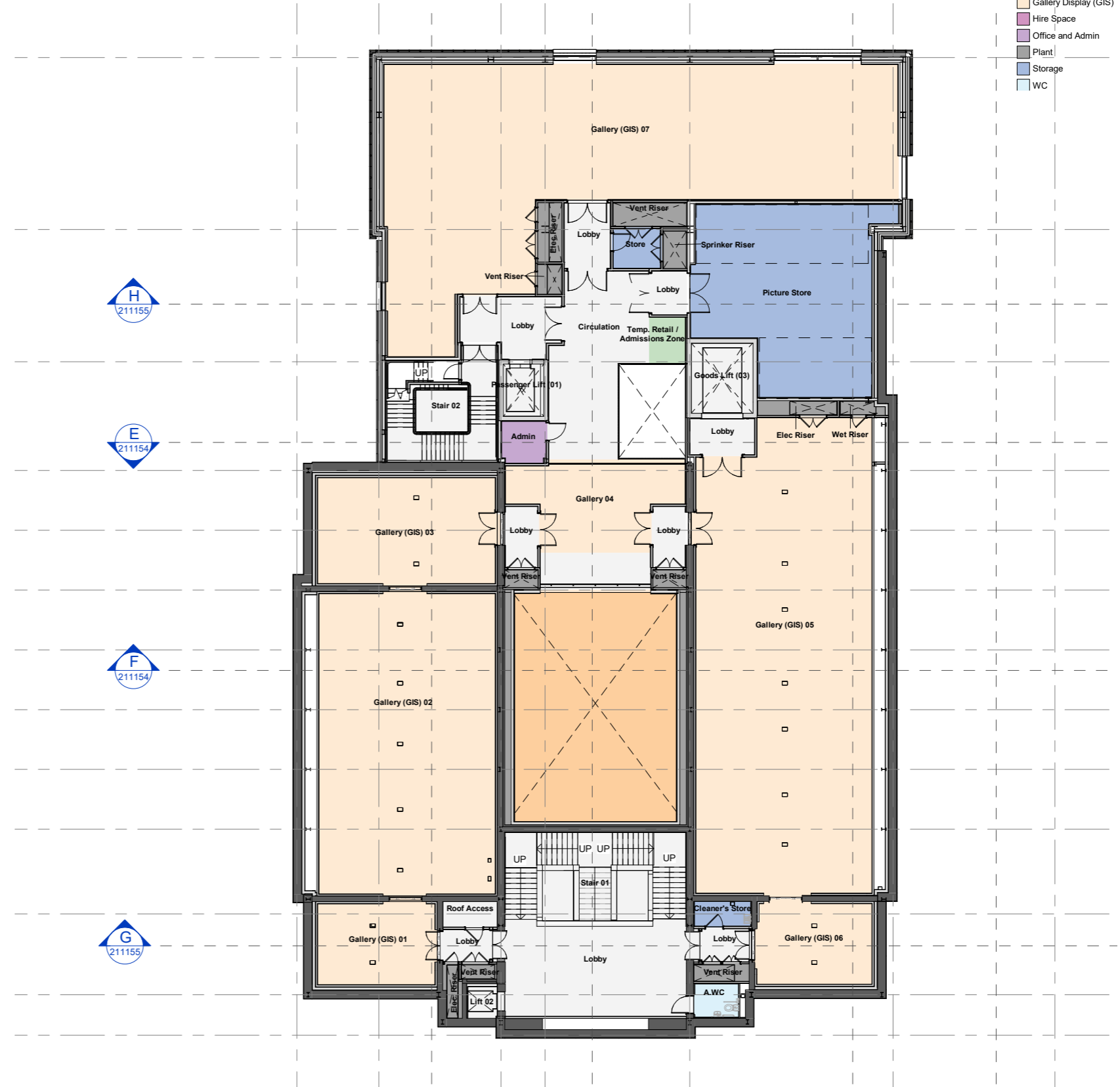
2.2.10 LEVEL 02

The picture store is relocated to Level 02 to improve the operational efficiency of the art gallery and improve the links between the storage and display spaces.

The toilet provision at this level is reduced to allow for an increase in gallery space, though accessible wc facilities are provided at this level also.

The design has been further developed to respond to the client brief, including the GIS requirements for the display areas.

- ROOM TYPE KEY:**
- Foyer
 - Circulation
 - Display
 - Display Store
 - Display (GIS)
 - Existing Void Space
 - FoH - Public Areas
 - FoH - Staff Areas
 - Education
 - Gallery Display
 - Gallery Display (GIS)
 - Hire Space
 - Office and Admin
 - Plant
 - Storage
 - WC



Proposed Level 02 Layout

2.2 Layout & Organisation

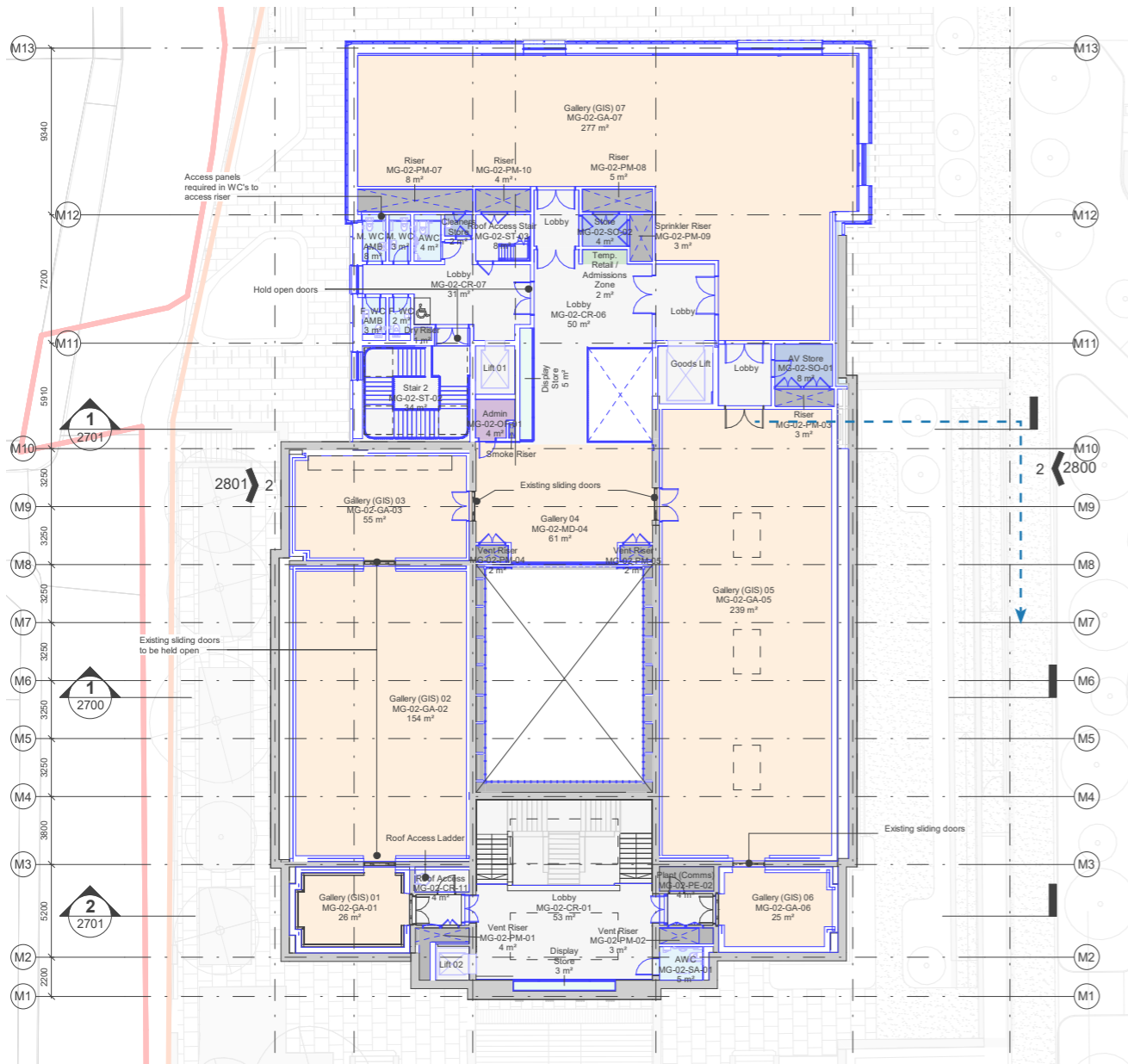


Key

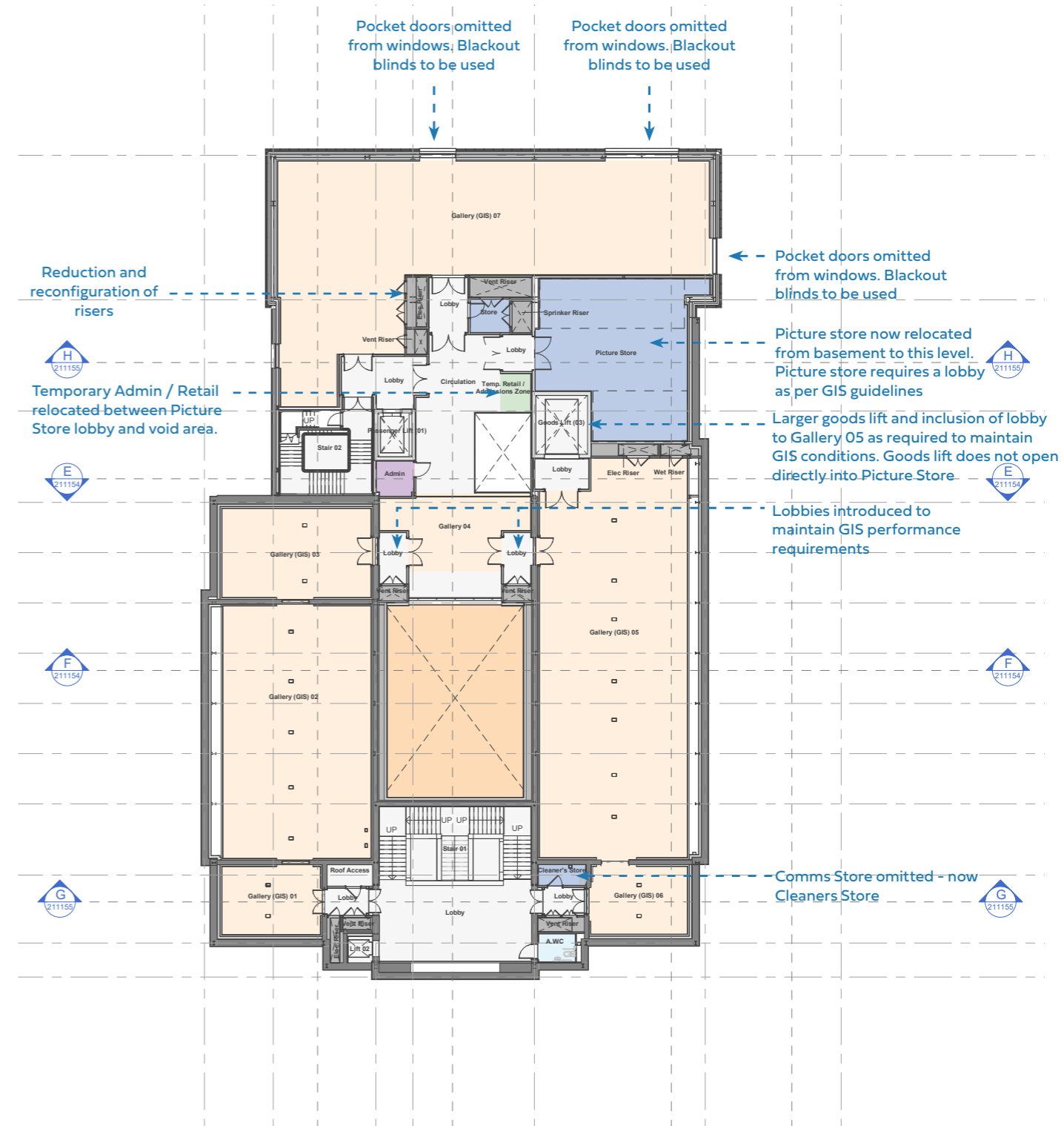
- Existing Walls
- Current Walls

2.2.11 COMPARISON OF CONSENTED PLANS AND PROPOSED PLANS

This page illustrates the proposed changes by comparing the consented scheme with the current proposal.



Consented Level 02 Layout



Proposed Level 02 Layout

2.3 Access & Inclusivity

The current proposals maintain the principles of the consented scheme in relation to maintaining or improving accessibility and inclusivity to the new museum and gallery.

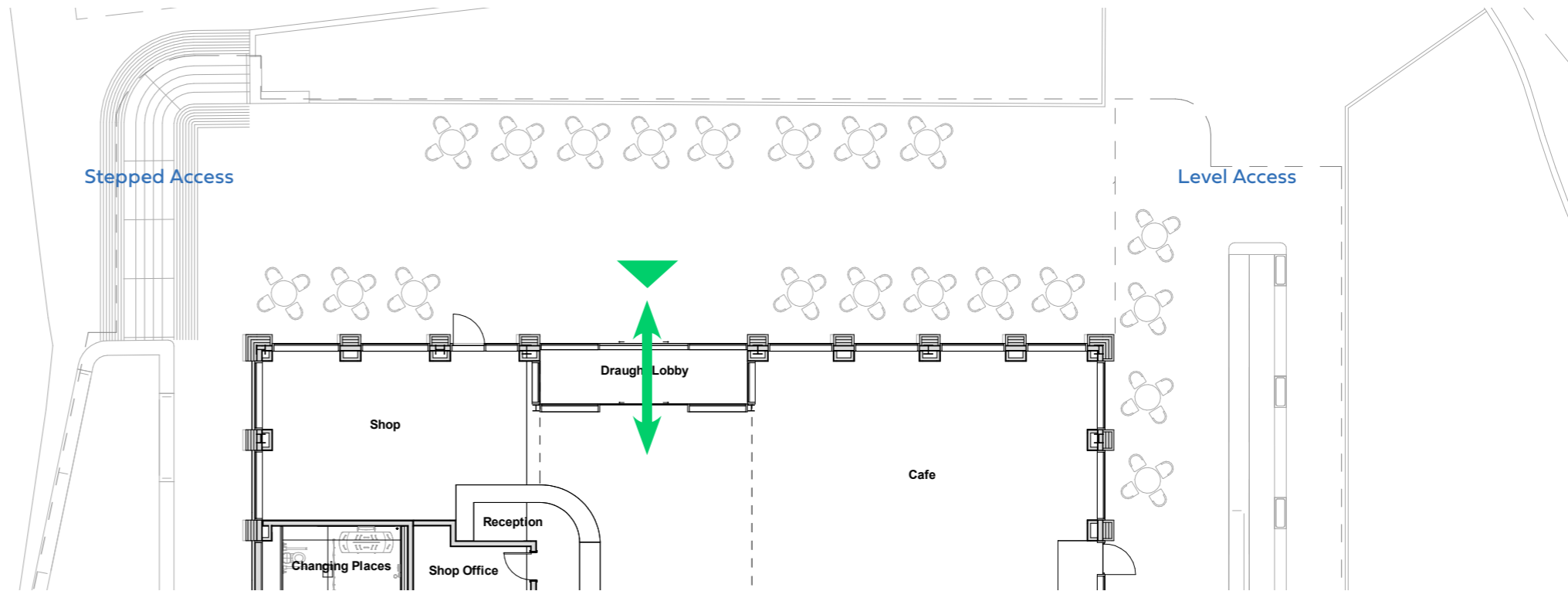
The primary change in this regard is that the new external space for education use and the adjacent staff courtyard is now designated as secure access, rather than for public access. The ramp that was proposed in the approved design to provide public access to this area has been omitted. This facilitates a generous, safe and secure space for the education team to use for activities in collaboration with local schools and community groups.

The staff area provides access to the workshops and cycle stores which provide better connection into the building for staff and improve the operational efficiency.

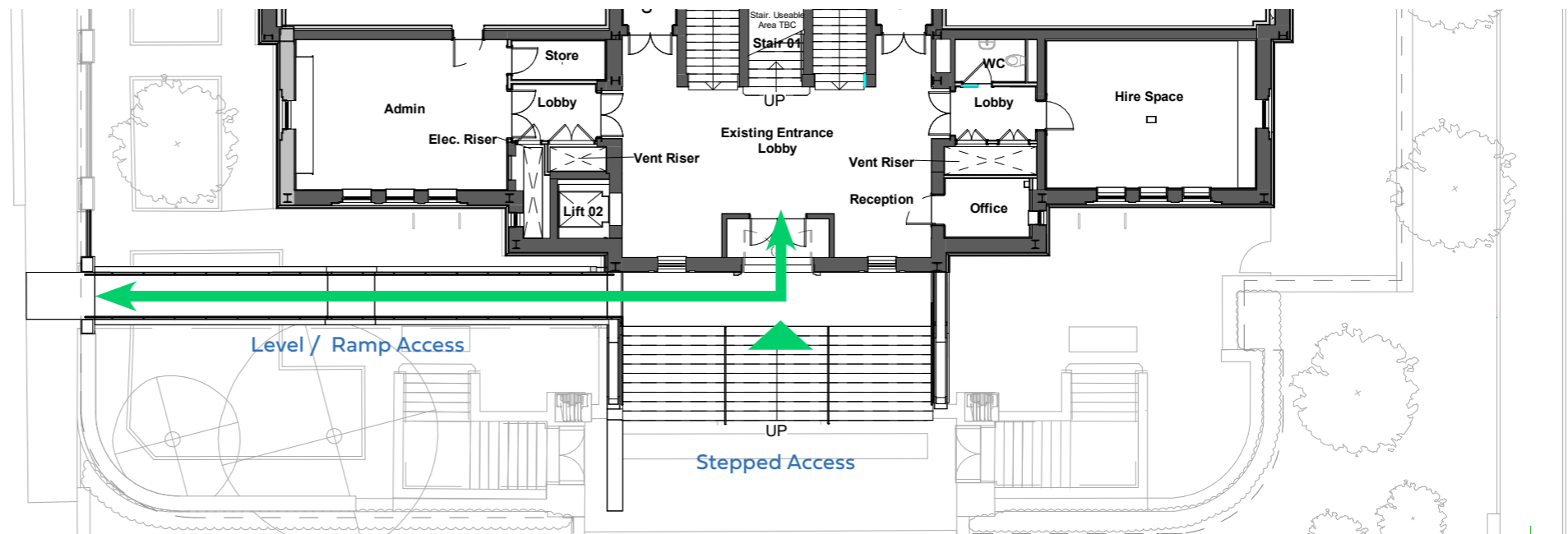
The design of the new ramp to the existing southern entrance has been developed to ensure compliance with the Building Regulations and to accommodate the existing step on the door threshold to provide a level access.

The recent changes in the Building Regulations Approved Document T have been addressed in the current scheme and the visitor toilet provision has been adjusted at all levels to comply with the Building Regulations.

A full review of the door operation has been undertaken and there is a range of power assisted and automated doors included in the design for ease of use by all users.



Primary Entrance (North)



Secondary Entrance (South)

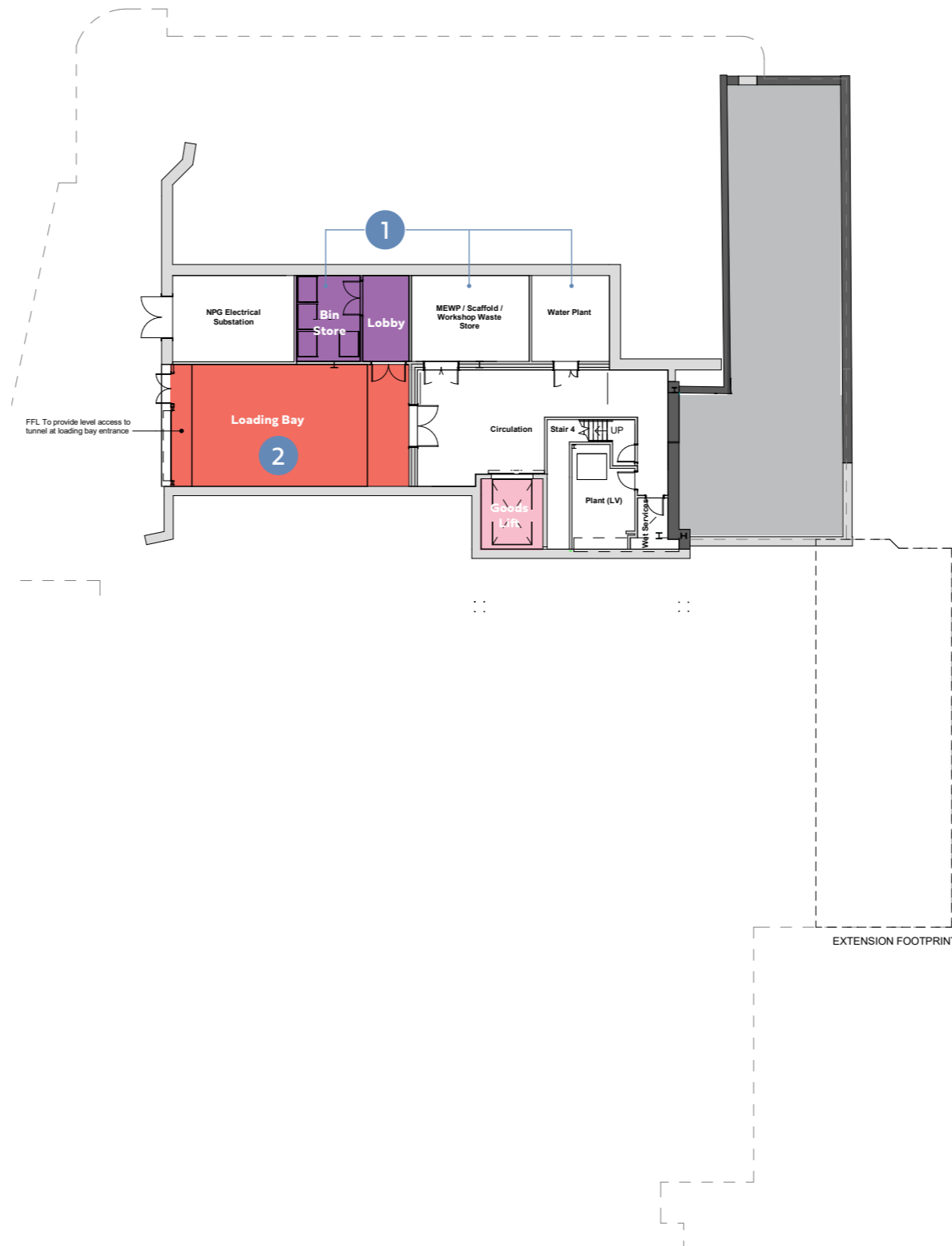
Key

- | | | | |
|----------------------|--------------------------------|---------------------|----------------|
| Passenger Lift | Quiet Room | Buggy Store/Lockers | Staff Entrance |
| Goods Lift | Baby Change/Breastfeeding Room | Faith Room | Level Access |
| Changing Places Room | Staff Shower/Changing | Main Entrance | |

2.3 Access & Inclusivity

Basement Level

- 1 Staff only areas for plant, refuse storage and collection and workshop/storage
- 2 Deliveries via the secure loading bay with goods lift access to all levels above



Proposed Basement

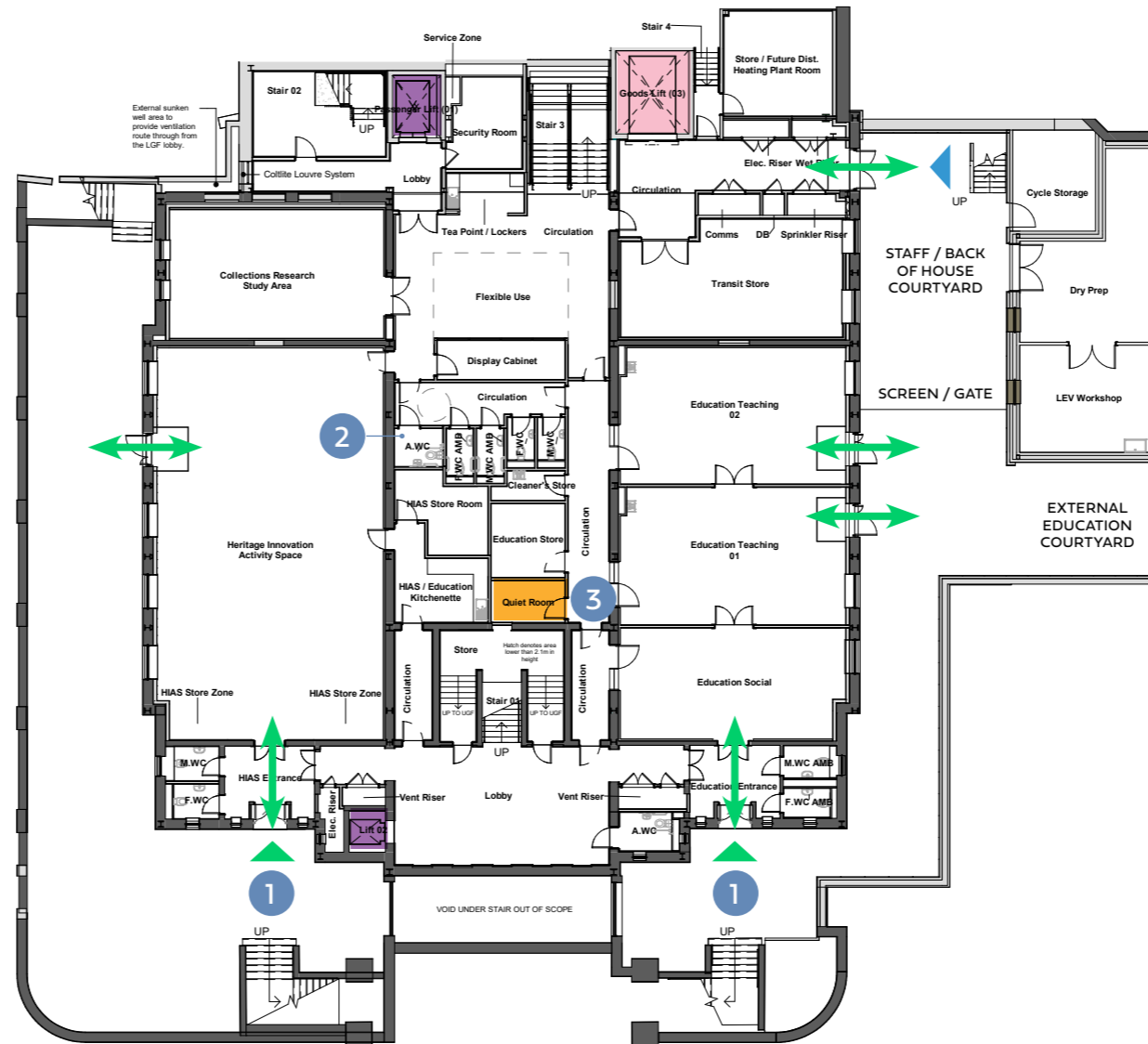
Key

- Bin Store
- Goods Lift
- Loading Bay

2.3 Access & Inclusivity

Lower Ground Floor

- 1 Out of hours access via the main entrance on the South elevation with dedicated Male/Female WC provision of the HIAS and education facilities and a gender-neutral Accessible WC
- 2 A central WC block for HIAS/Education use including male/female WCs and a gender-neutral accessible WC
- 3 A quiet room is provided for use by the education facility



Proposed Lower Ground Floor

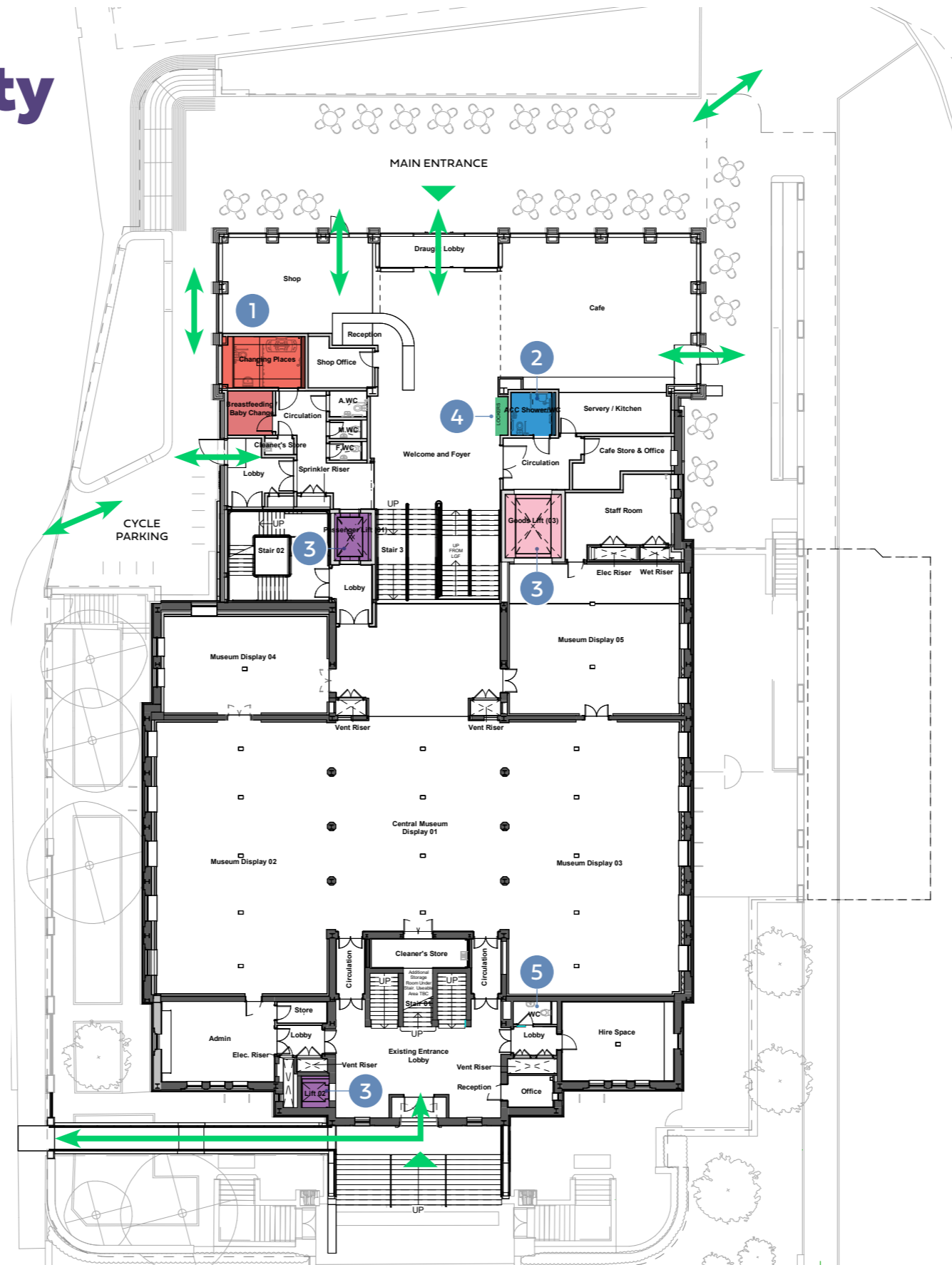
Key

- | | | | |
|----------------------|--------------------------------|---------------------|----------------|
| Passenger Lift | Quiet Room | Buggy Store/Lockers | Staff Entrance |
| Goods Lift | Baby Change/Breastfeeding Room | Faith Room | Level Access |
| Changing Places Room | Staff Shower/Changing | Main Entrance | |

2.3 Access & Inclusivity

Upper Ground Floor

- 1 The visitor toilet provision has been reconfigured to provide a broad range of facilities that are conveniently located adjacent to the main reception area
 Changing Places WC/Shower and Change facility
 Gender-neutral Accessible WC
 Breastfeeding & Baby change room
- 2 Accessible WC and shower for staff only
- 3 Level access is provided between all levels via passenger lifts/goods lifts serving all levels
- 4 Locker space and buggy parking/mobility scooter parking is provided
- 5 There is an additional gender-neutral WC at the southern end of the building, providing a convenient alternative facility away from the central provision



Proposed Upper Ground Floor

Key

- | | | | |
|----------------------|--------------------------------|---------------------|----------------|
| Passenger Lift | Quiet Room | Buggy Store/Lockers | Staff Entrance |
| Goods Lift | Baby Change/Breastfeeding Room | Faith Room | Level Access |
| Changing Places Room | Staff Shower/Changing | Main Entrance | |

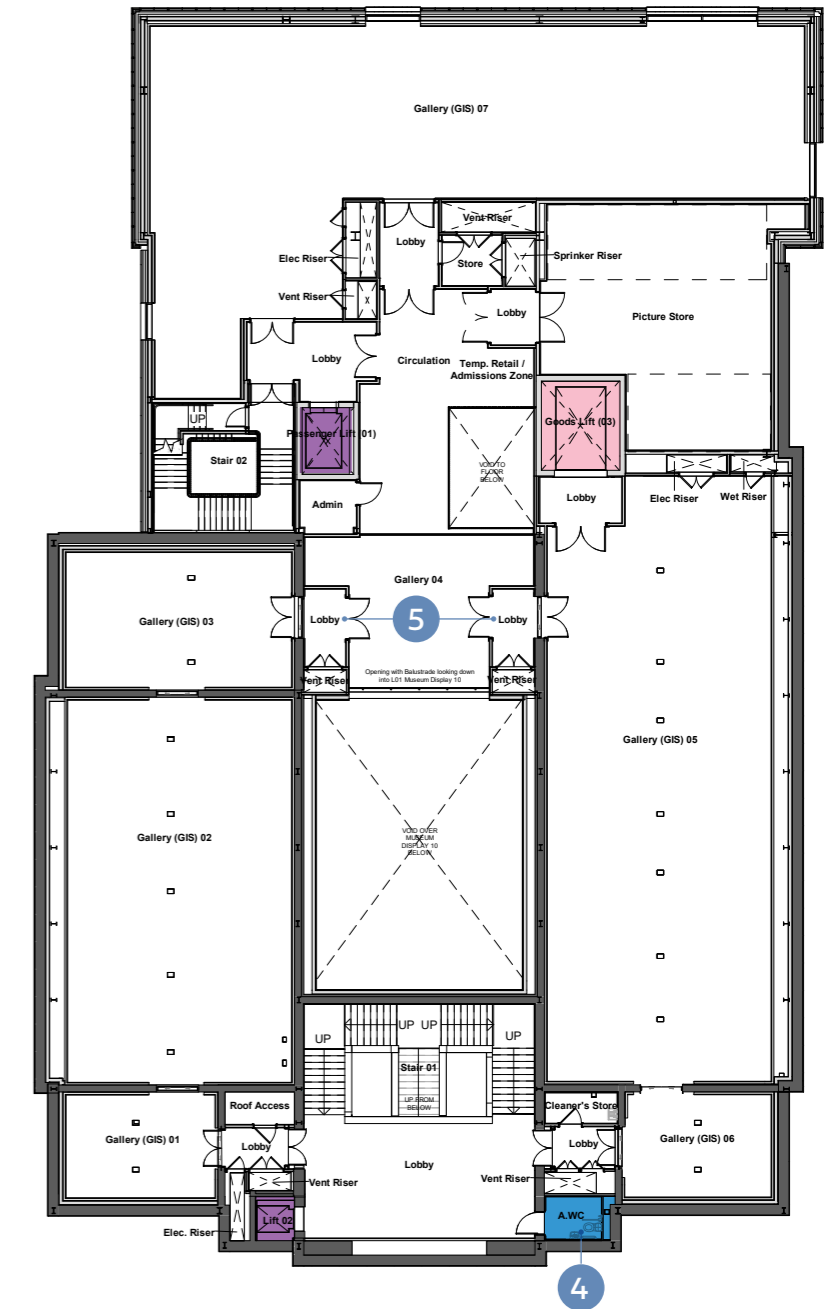
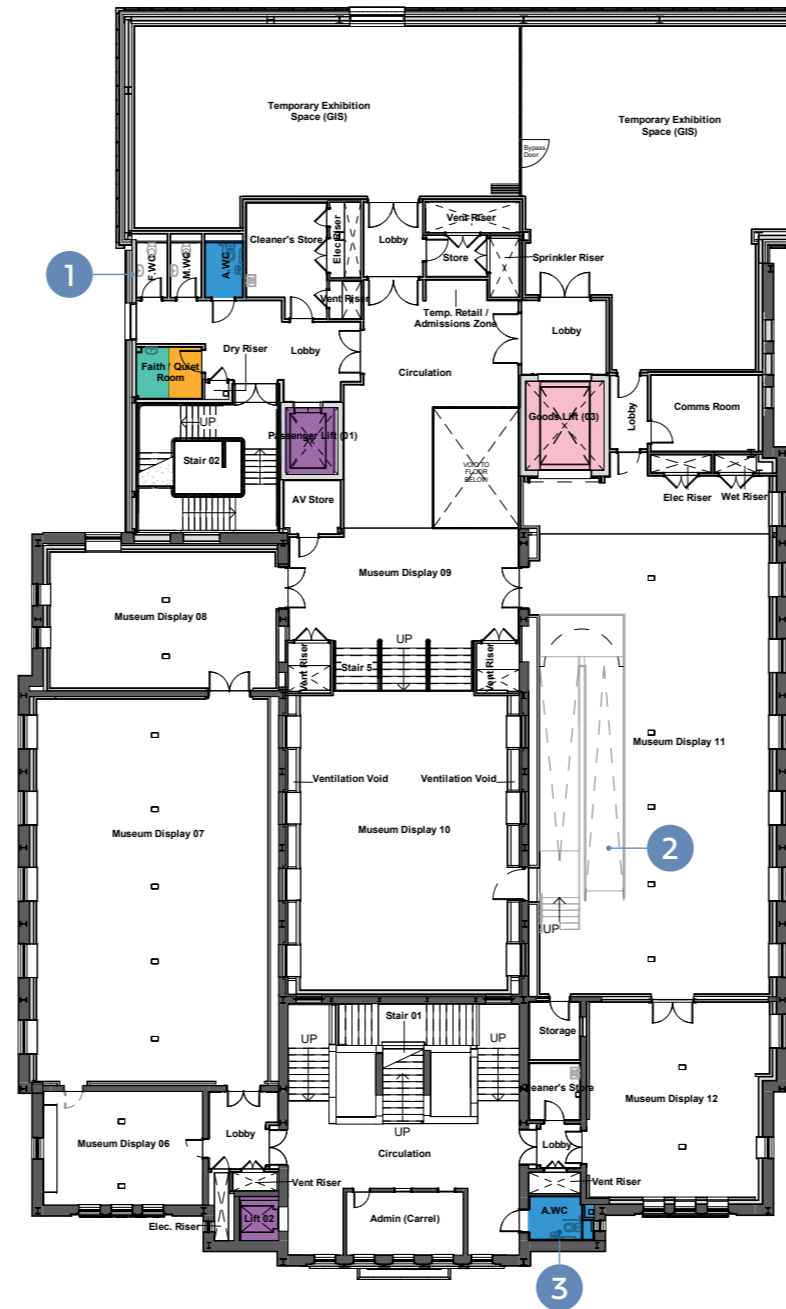
2.3 Access & Inclusivity

Level 01

- 1 Male and female designated WCs
Gender-neutral accessible WC
Quiet room/Faith room
- 2 A compliant means of escape has been provided to display area 10, linking display area 11 via an accessible ramp to be provided as part of the specialist museum fit out.
- 3 A further gender-neutral accessible WC is provided at the southern end of the building for convenience

Level 02

- 4 An accessible WC is provided at this level
- 5 Lobbies added to meet GIS requirements



Proposed Level 01

Proposed Level 02

Key

- | | | | |
|----------------------|--------------------------------|---------------------|----------------|
| Passenger Lift | Quiet Room | Buggy Store/Lockers | Staff Entrance |
| Goods Lift | Baby Change/Breastfeeding Room | Faith Room | Level Access |
| Changing Places Room | Staff Shower/Changing | Main Entrance | |

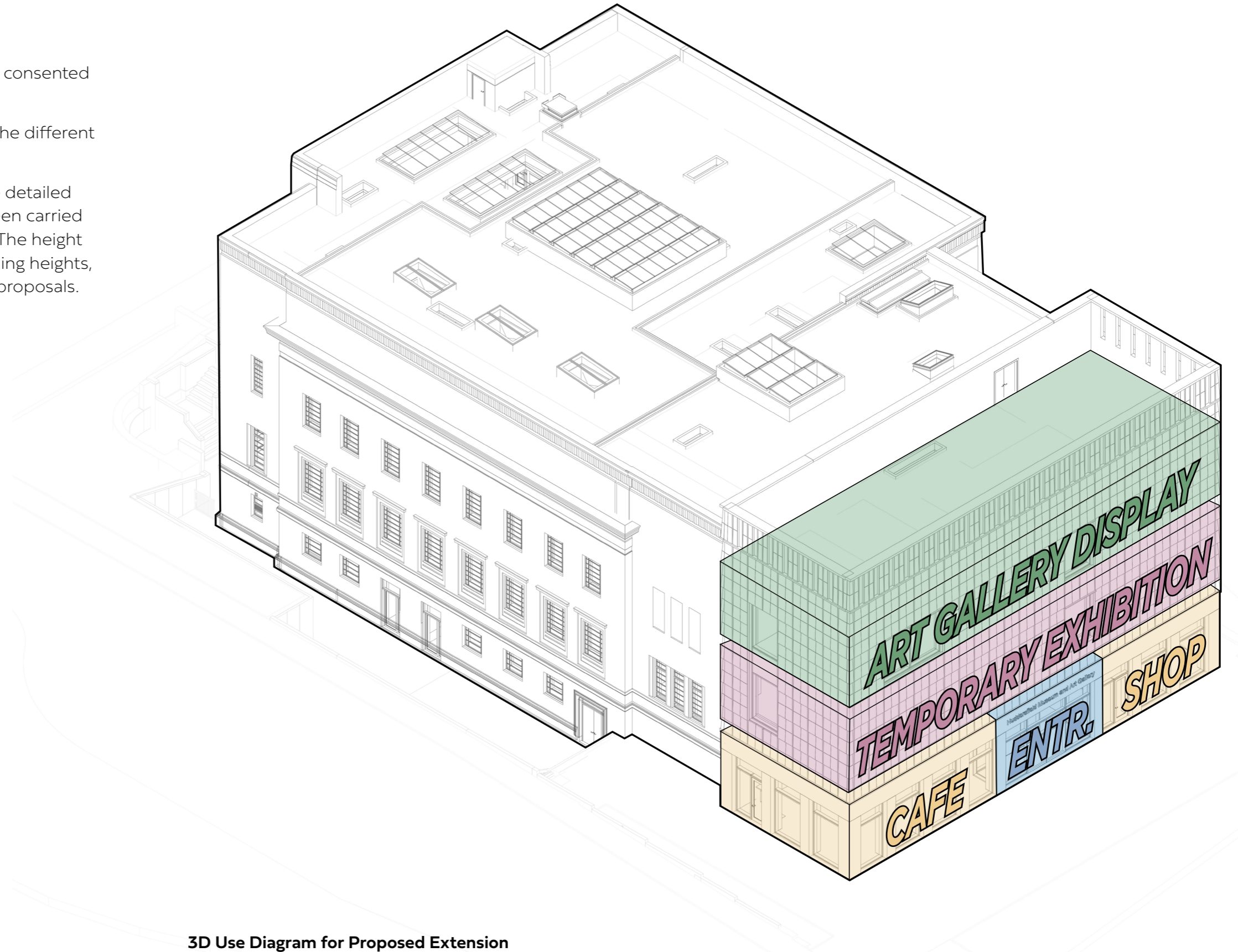
2.4 Appearance

2.4.1 SCALE, MASSING AND FORM

The proposed extension follows the principles of the consented scheme in form, scale and massing.

The proposed extension is a simple form, reflecting the different uses and activities within the building at each level.

Minor changes have been incorporated to reflect the detailed design stage and the design coordination that has been carried out with the design team and specialist consultants. The height constraints of the consented scheme, including building heights, rooftop plant zones etc are respected in the current proposals.



3D Use Diagram for Proposed Extension

2.4 Appearance

2.4.2 MASTERPLAN VISUAL LANGUAGE

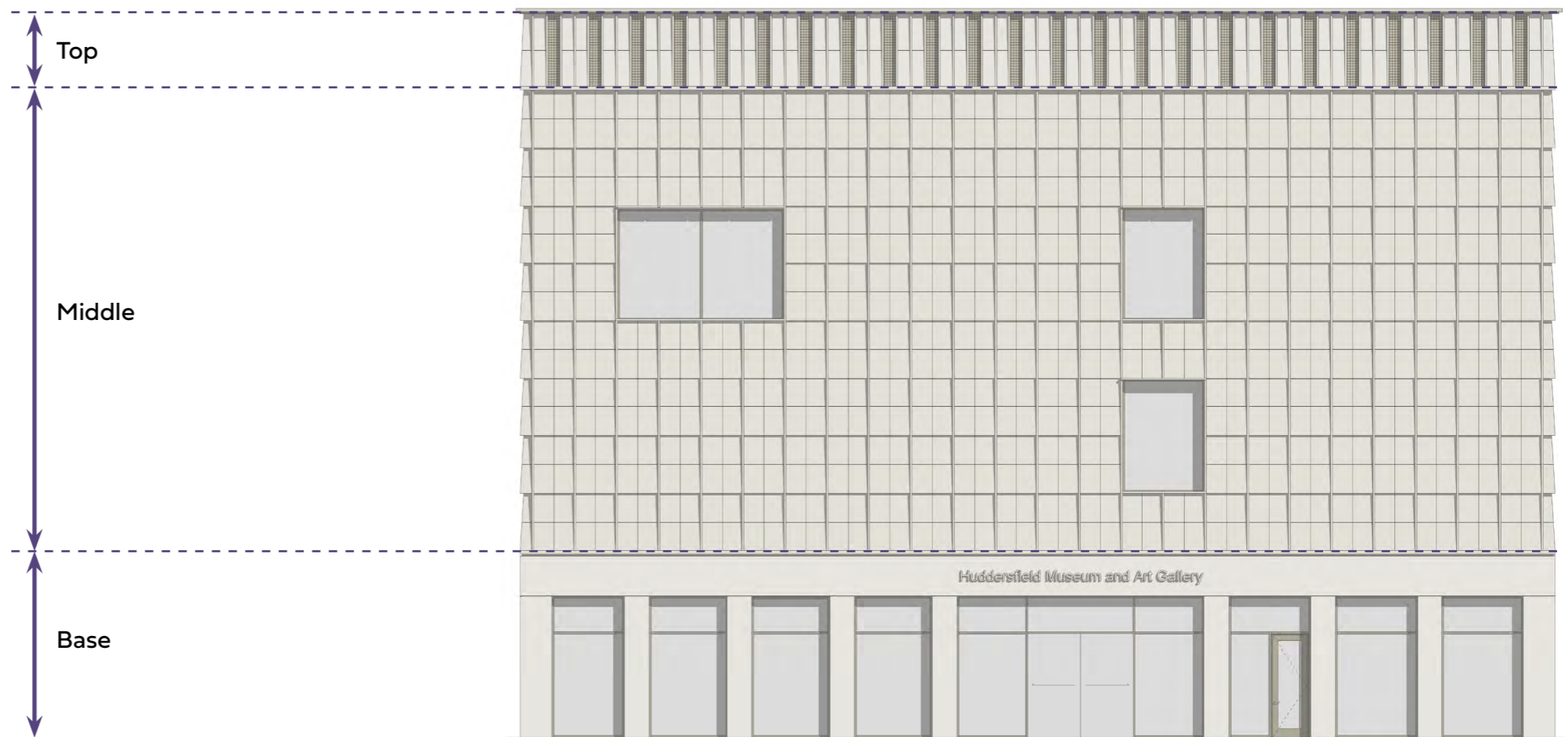
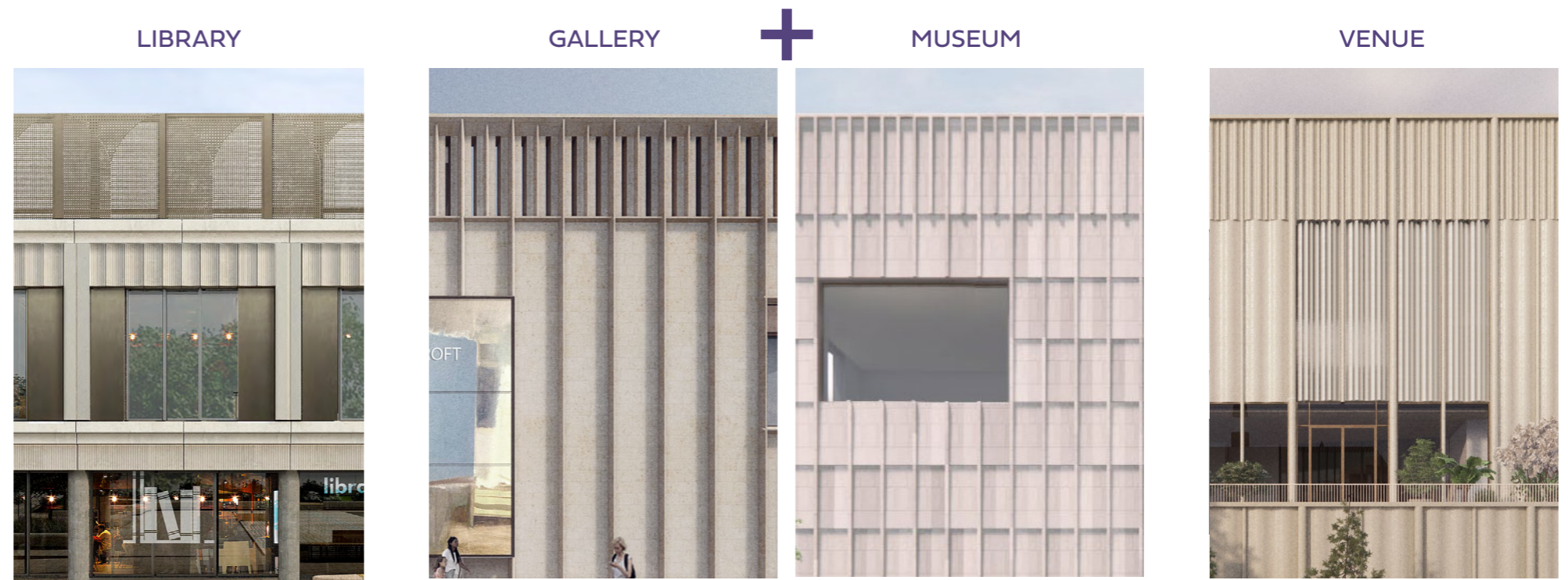
Whilst the final selection of materials will be subject to the discharge of appropriately worded planning conditions, the proposed design adopts the established principles of the masterplan. This approach responds to the existing site context through the use of natural stone and masonry elevations, complemented by more expressive elements that define key features and introduce visual interest.

The form of the proposed extension is composed of a clearly defined base, middle, and top, reflecting the uses and activities accommodated within the building.

At ground level, the base is expressed through a series of regular columns with generous areas of glazing. This arrangement provides clear views into and out of the building, fostering a strong visual and physical connection with the surrounding public realm.

The middle section reflects the patterns that are referenced in the narrative relating to the history of weaving in Huddersfield and the local area. Large feature windows are incorporated to introduce natural light into the exhibition spaces while also allowing outward views, enhancing the visitor experience.

The upper level or 'crown' of the building responds to the architectural detailing of the existing library and the surrounding historic buildings and creates a legible and visually interesting termination of the building. A combination of solid and perforated panels is proposed, creating visual interest while also serving a functional purpose by facilitating ventilation to the plant areas located behind.



North Elevation

2.4 Appearance

2.4.3 MATERIALITY

Works to the existing elevations will constitute careful repairs and restoration, where necessary, and replacement of existing architectural elements where required, such as areas of missing handrails, barriers etc that will be detailed to match the existing architectural language.

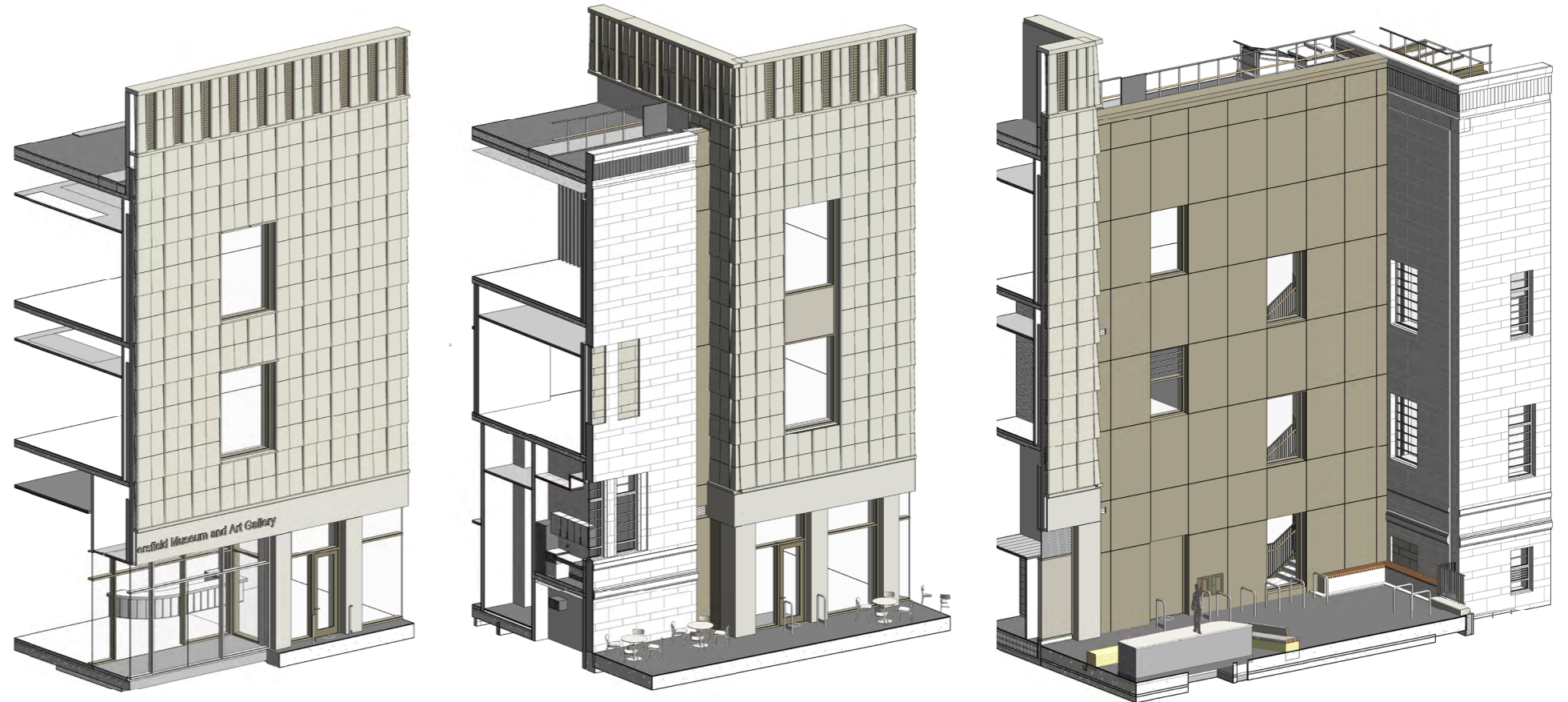
The windows will be replaced with new double glazed heritage crittall type windows that are a modern version of the existing windows that will meet the criteria of the client brief in relation to thermal performance, air tightness and security. The new glazing will avoid the need for unsightly secondary glazing and so the character of the original building will be more easily retained. The new windows will be detailed to closely match the existing windows which have now perished.

To the south, the existing grand entrance is retained and refurbished and a new ramp is introduced to provide step free access/egress.

To the east, the external courtyard provides private amenity space for education use and integrates seamlessly with the new public landscaped areas above.

Whilst final materials are to be subject to the discharge of suitably worded planning conditions, to the west, the intervention between new and existing is expressed as a bronze metal cladding system, complementing the natural tones of the existing and new stone facades. The existing façade will be carefully repaired and restored, including the sunken courtyard area which will be refurbished. This material is used in the crown of the building in the form of perforated panels, serving to unify the architectural language whilst creating individual elevations for each face of the building.

The proposed northern extension is conceived as a simple, well-proportioned volume that complements the existing building in terms of scale, form, and materiality. Carefully considered architectural detailing is incorporated to highlight key elements, expressed in a contemporary manner while acknowledging the proportions and character of the existing building and the surrounding vernacular context.



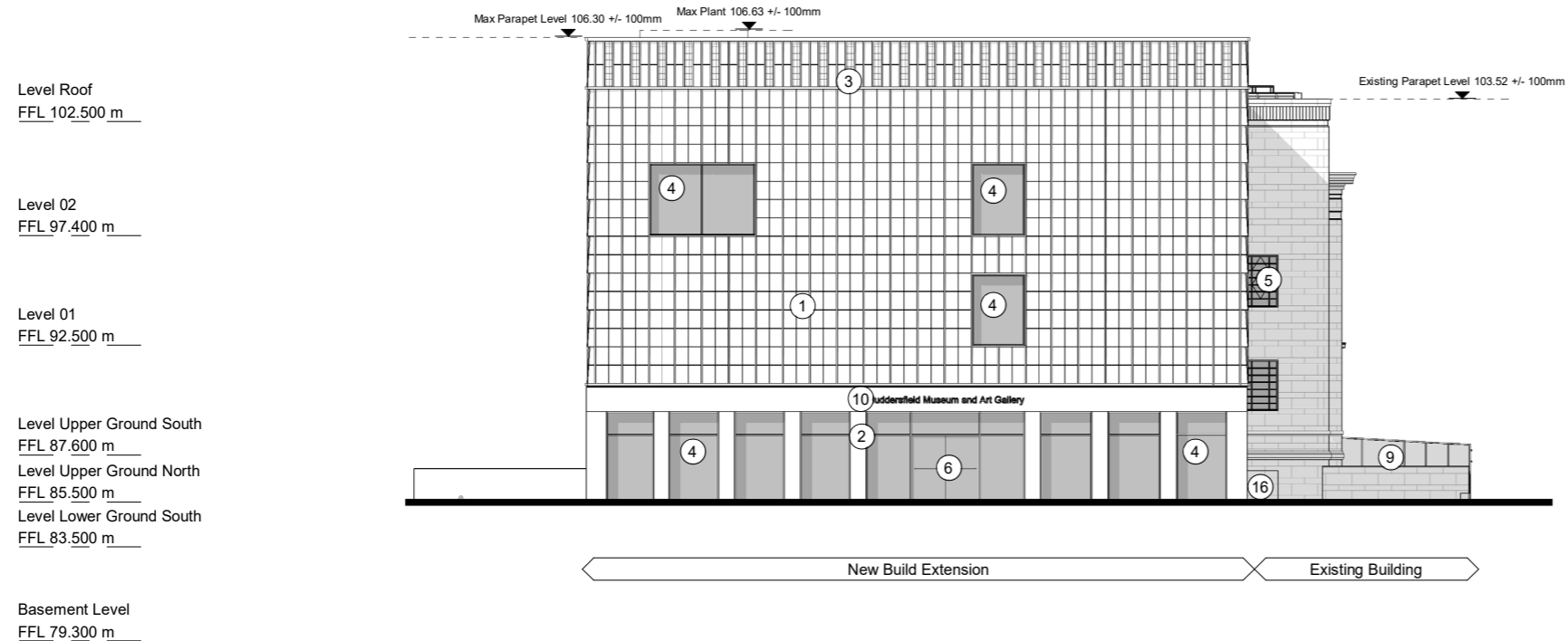
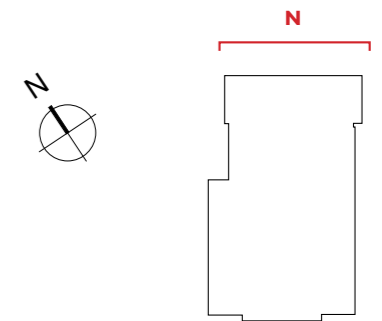
North Façade

East Façade

West Façade



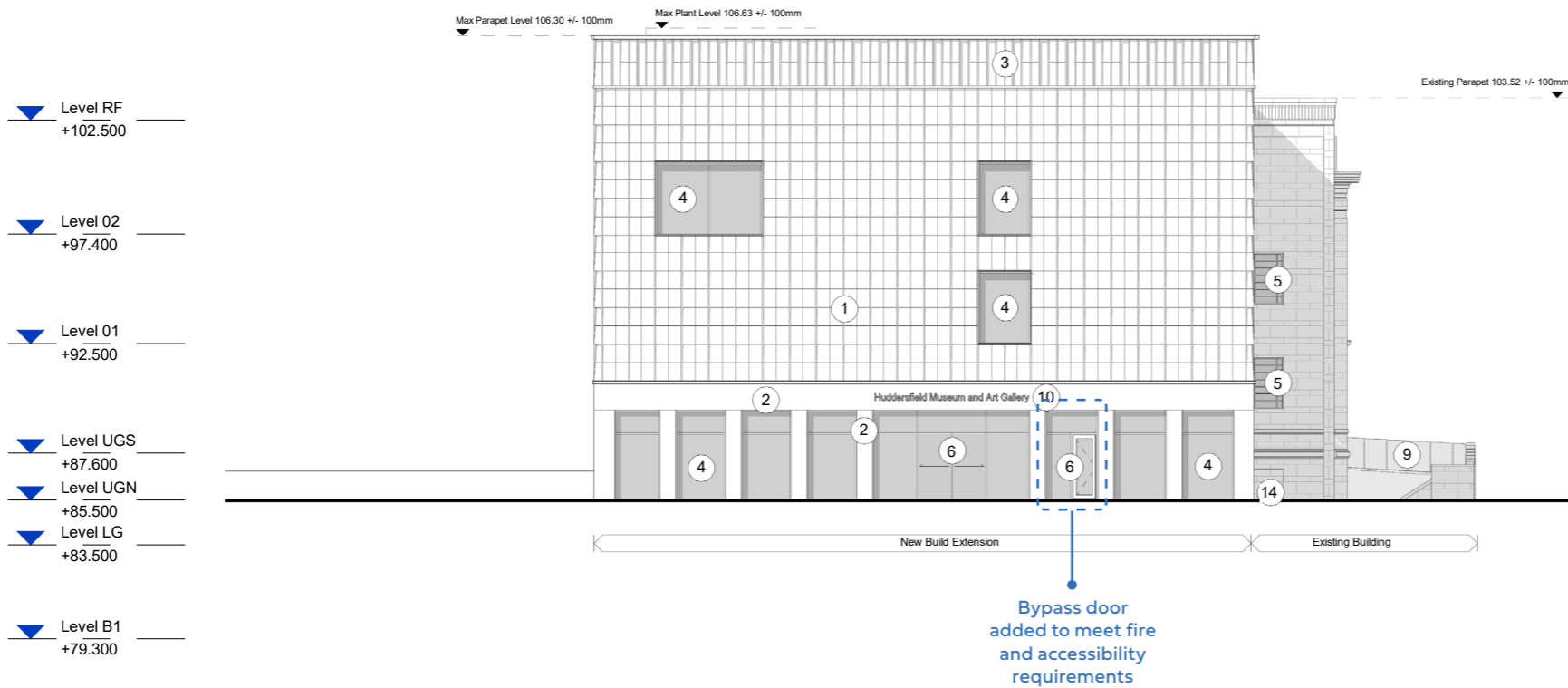
2.5 Elevations



Elevation Key

1. Stone vertical fin, lapped panel and coping
2. Solid stone cladding
3. Stone vertical fin with ventilation opening at parapet
4. Dark metal capped windows and curtain walling system (glazing toned grey), with integrated openings where required.
5. Secondary metal framed double glazed units installed behind existing windows for thermal improvements. Refer to Design and Access statement and 030140 Conservation Strategy Drawings for information and full extents.
6. Dark metal capped glazed and solid metal door systems
7. Opaque insulated glazing in window/ curtain walling system
8. Dark metal rainscreen cladding fin, panel and coping.
9. Dark metal bridge/ ramp
10. Signage – type and extent tbc by condition
11. Dark metal decorative perforate / louvred panel
12. Existing window with blanking panel behind
13. Museum curated signage and artwork– design to be developed and agreed via condition
14. Renewal of existing signage – design to be developed and agreed via condition (Area shown dotted)
15. Zone for discrete fixings to stone face to allow for installation of temporary signage – design to be developed and agreed via condition (Area shown dotted)
16. Existing window infilled with stone to match existing

Consented Elevations - North

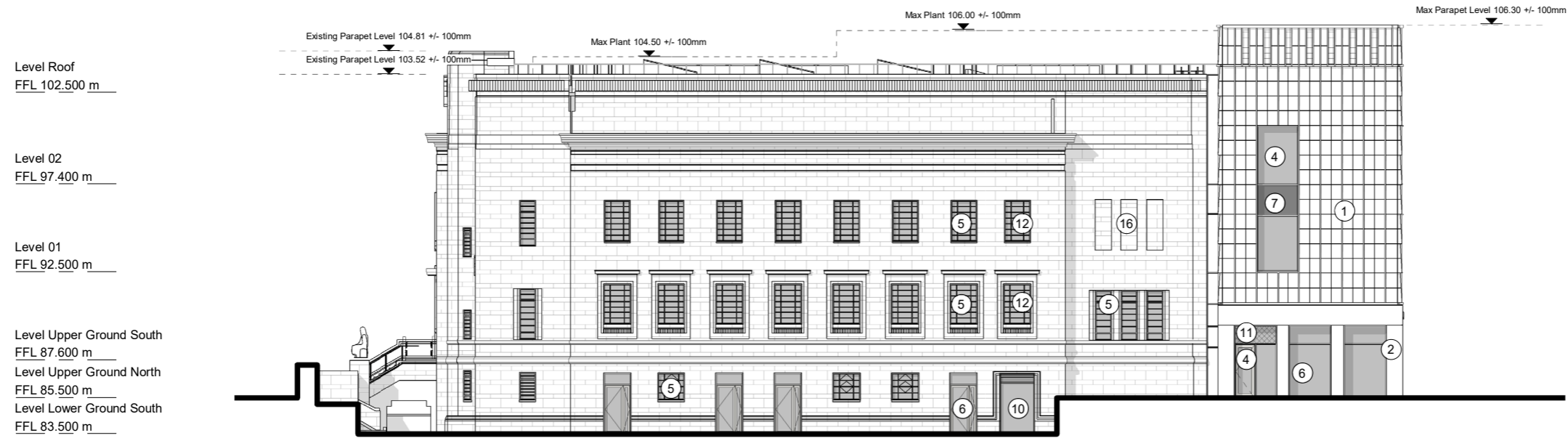
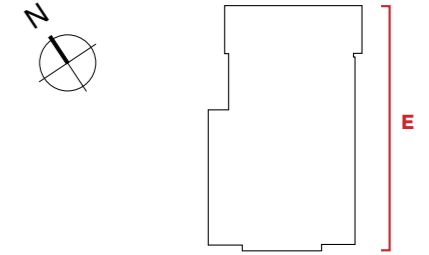


Elevation Key

1. Stone vertical fin, lapped panel and coping.
2. Solid stone cladding.
3. Stone vertical fin with ventilation opening at parapet.
4. Dark metal capped windows and curtain walling system. (glazing toned grey), with integrated openings where required. New replacement PPC (Polyester Powder Coated) windows to replace existing in colour RAL 9010. Refer to Design and Access Statement and Conservation Strategy Drawings for information and full extents.
5. Dark metal capped glazed door system.
6. Opaque insulated glazing in window / curtain walling system.
7. Dark metal rainscreen - flat panel.
8. Dark metal bridge / ramp.
9. Signage - Type and extents TBC by condition.
10. Dark metal perforate / louvred panel.
11. Dark metal solid metal door system.
12. Zone for discrete fixings to stone face to allow for installation of temporary signage - design to be developed and agreed via condition (Area shown dotted).
13. Existing window infilled with stone to match existing.
- 14.

Proposed Elevations - North

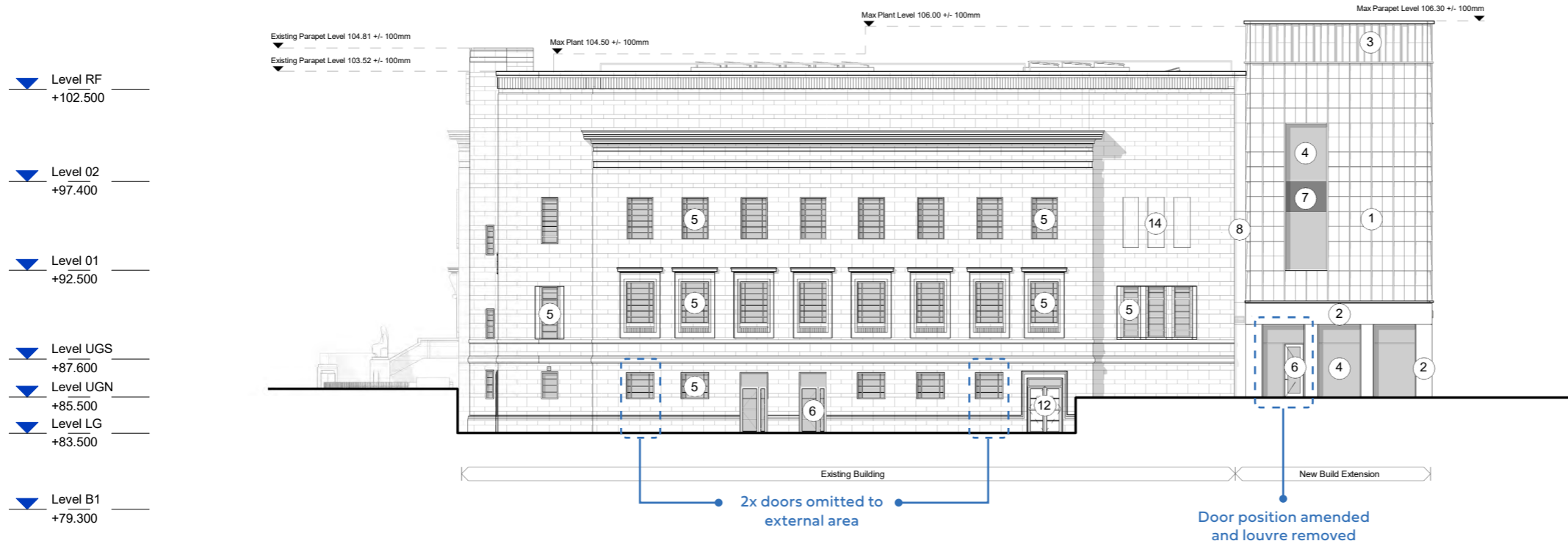
2.5 Elevations



Elevation Key

1. Stone vertical fin, lapped panel and coping
2. Solid stone cladding
3. Stone vertical fin with ventilation opening at parapet
4. Dark metal capped windows and curtain walling system (glazing toned grey), with intergrated openings where required.
5. Secondary thermal framed double glazed units installed behind existing windows for thermal improvements. Refer to Design and Access statement and 030140 Conservation Strategy Drawings for information and full extents.
6. Dark metal capped glazed and solid metal door systems
7. Opaque insulated glazing in window/ curtain walling system
8. Dark metal rainscreen cladding fin, panel and coping.
9. Dark metal bridge/ ramp
10. Signage – type and extent tbc by condition
11. Dark metal decorative perforate / louvred panel
12. Existing window with blanking panel behind
13. Museum curated signage and artwork– design to be developed and agreed via condition
14. Renewal of existing signage – design to be developed and agreed via condition (Area shown dotted)
15. Zone for discrete fixings to stone face to allow for installation of temporary signage – design to be developed and agreed via condition (Area shown dotted)
16. Existing window infilled with stone to match existing

Consented Elevations - East

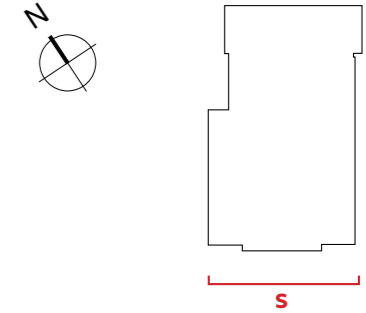


Elevation Key

1. Stone vertical fin, lapped panel and coping.
2. Solid stone cladding.
3. Stone vertical fin with ventilation opening at parapet.
4. Dark metal capped windows and curtain walling system. (glazing toned grey), with integrated openings where required. New replacement PPC (Polyester Powder Coated) windows to replace existing in colour RAL 9010. Refer to Design and Access Statement and Conservation Strategy Drawings for information and full extents.
5. Dark metal capped glazed door system.
6. Opaque insulated glazing in window / curtain walling system.
7. Dark metal rainscreen - flat panel.
8. Dark metal bridge / ramp.
9. Signage - Type and extents TBC by condition.
10. Dark metal perforate / louvred panel.
11. Dark metal solid metal door system.
12. Zone for discrete fixings to stone face to allow for installation of temporary signage - design to be developed and agreed via condition (Area shown dotted).
13. Existing window infilled with stone to match existing.
14. Existing window infilled with stone to match existing.

Proposed Elevations - East

2.5 Elevations



Level Roof
FFL 102.500 m

Level 02 North
FFL 99.250 m
FFL 97.400 m

Level 01 North
FFL 94.000 m
Level 01
FFL 92.500 m

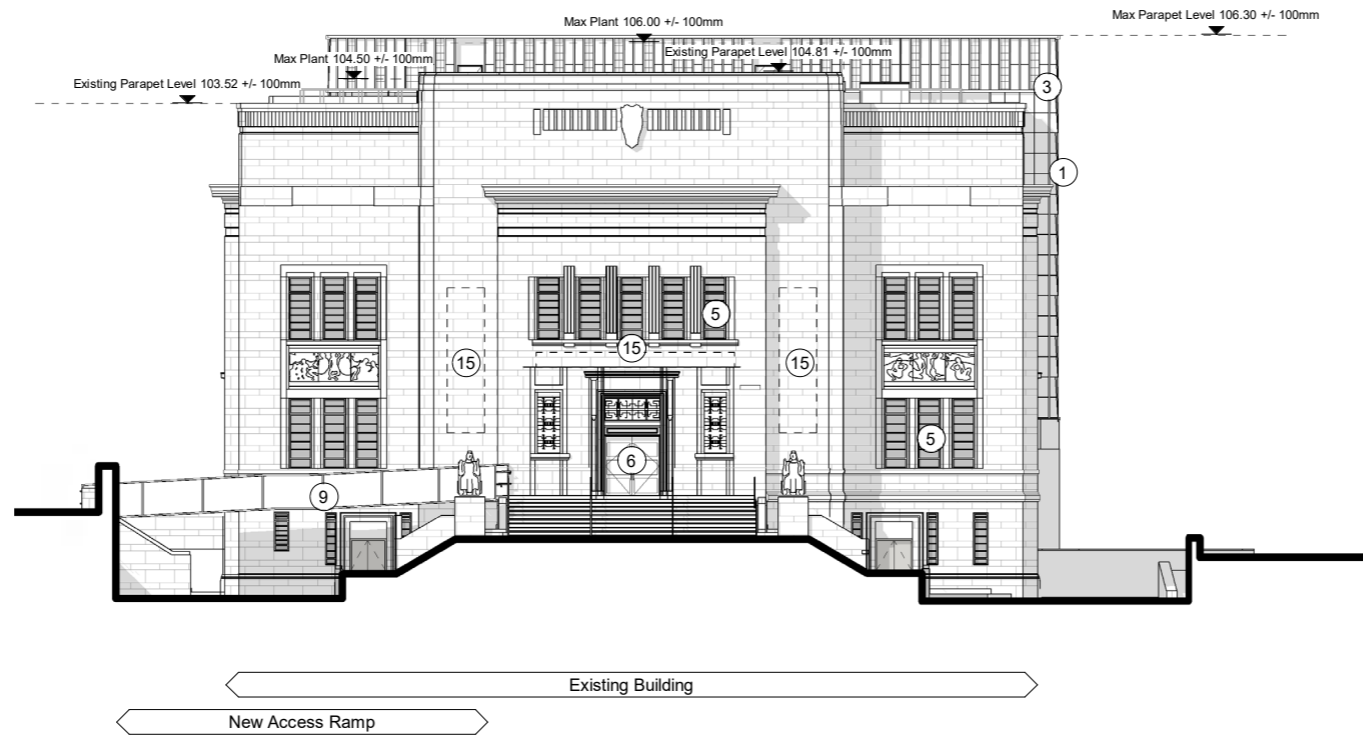
Level Mezz
FFL 89.750 m

Level Upper Ground South
FFL 87.600 m

Level Upper Ground North
FFL 85.500 m

Level Lower Ground South
FFL 83.500 m

Basement Level
FFL 79.300 m



Elevation Key

1. Stone vertical fin, lapped panel and coping
2. Solid stone cladding
3. Stone vertical fin with ventilation opening at parapet
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6. Dark metal capped glazed and solid metal door systems
7. Opaque insulated glazing in window/ curtain walling system
8. Dark metal rainscreen cladding fin, panel and coping.
9. Dark metal bridge/ ramp
10. Signage – type and extent tbc by condition
11. Dark metal decorative perforate / louvred panel
12. Existing window with blanking panel behind
13. Museum curated signage and artwork– design to be developed and agreed via condition
14. Renewal of existing signage – design to be developed and agreed via condition (Area shown dotted)
15. Zone for discrete fixings to stone face to allow for installation of temporary signage – design to be developed and agreed via condition (Area shown dotted)
16. Existing window infilled with stone to match existing

Consented Elevations - South

Level RF
+102.500

Level 02
+97.400

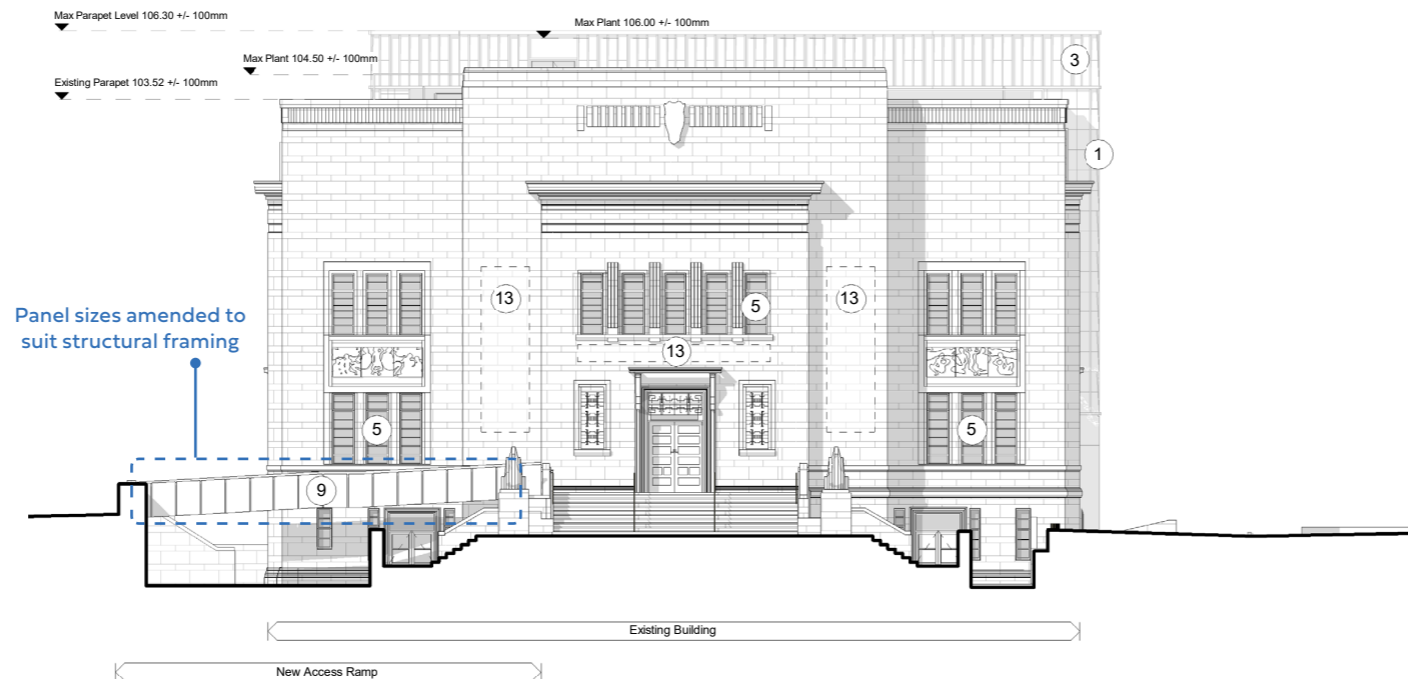
Level 01
+92.500

Level UGS
+87.600

Level UGN
+85.500

Level LG
+83.500

Level B1
+79.300

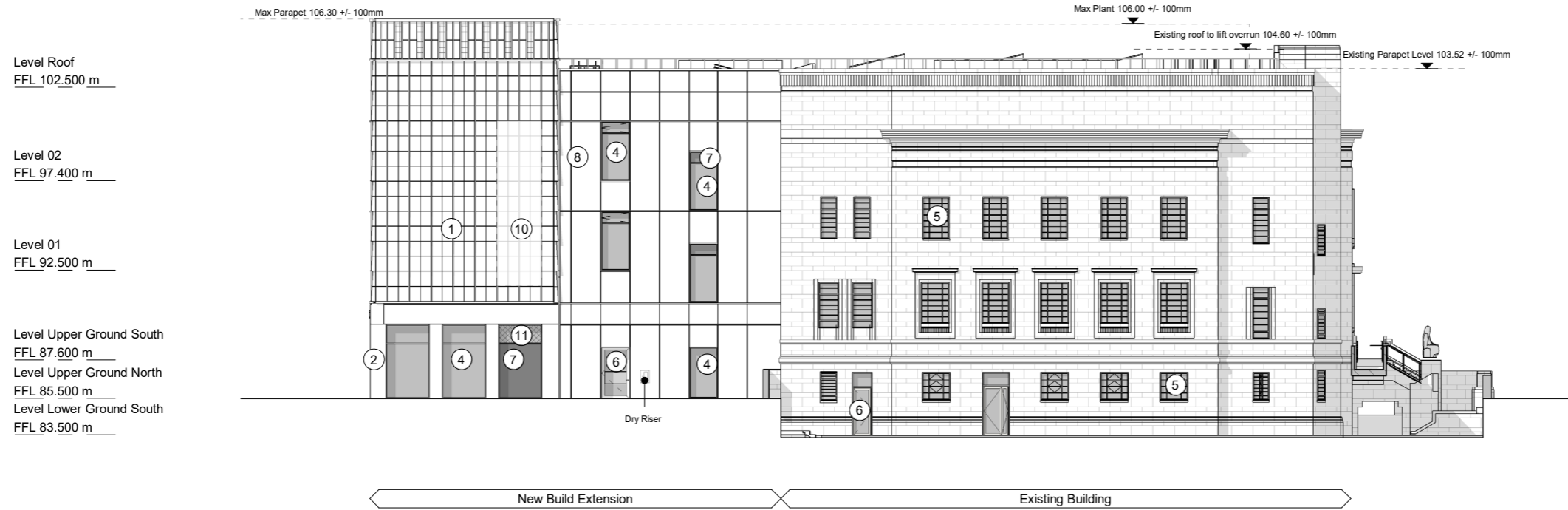
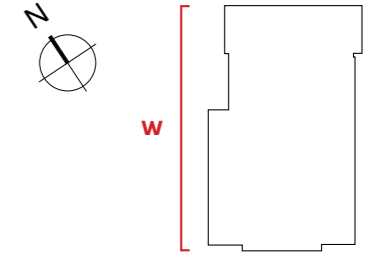


Elevation Key

1. Stone vertical fin, lapped panel and coping.
2. Solid stone cladding.
3. Stone vertical fin with ventilation opening at parapet.
4. Dark metal capped windows and curtain walling system. (glazing toned grey), with integrated openings where required. New replacement PPC (Polyester Powder Coated) windows to replace existing in colour RAL 9010. Refer to Design and Access Statement and Conservation Strategy Drawings for information and full extents.
5. Dark metal capped glazed door system.
6. Opaque insulated glazing in window / curtain walling system.
7. Dark metal rainscreen - flat panel.
8. Dark metal bridge / ramp.
9. Signage - Type and extents TBC by condition.
10. Dark metal perforate / louvred panel.
11. Dark metal solid metal door system.
12. Zone for discrete fixings to stone face to allow for installation of temporary signage - design to be developed and agreed via condition (Area shown dotted).
13. Existing window infilled with stone to match existing.
- 14.

Proposed Elevations - South

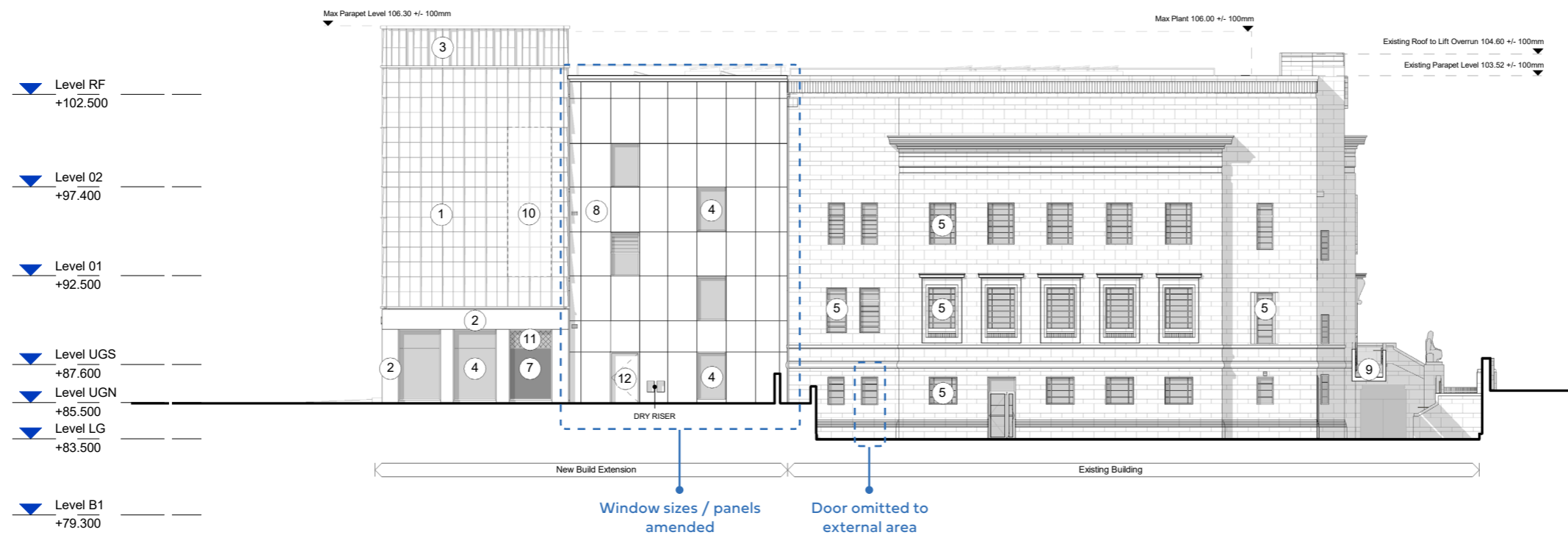
2.5 Elevations



Elevation Key

1. Stone vertical fin, lapped panel and coping
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6. Dark metal capped glazed and solid metal door systems
7. Opaque insulated glazing in window/ curtain walling system
8. Dark metal rainscreen cladding fin, panel and coping.
9. Dark metal bridge/ ramp
10. Signage – type and extent tbc by condition
11. Dark metal decorative perforate / louvred panel
12. Existing window with blanking panel behind
13. Museum curated signage and artwork– design to be developed and agreed via condition
14. Renewal of existing signage – design to be developed and agreed via condition (Area shown dotted)
15. Zone for discrete fixings to stone face to allow for installation of temporary signage – design to be developed and agreed via condition (Area shown dotted)
16. Existing window infilled with stone to match existing

Consented Elevations - West



Elevation Key

1. Stone vertical fin, lapped panel and coping.
2. Solid stone cladding.
3. Stone vertical fin with ventilation opening at parapet.
4. Dark metal capped windows and curtain walling system. (glazing toned grey), with integrated openings where required. New replacement PPC (Polyester Powder Coated) windows to replace existing in colour RAL 9010. Refer to Design and Access Statement and Conservation Strategy Drawings for information and full extents.
5. Secondary metal framed double glazed units installed behind existing windows for thermal improvements. Refer to Design and Access Statement and Conservation Strategy Drawings for information and full extents.
6. Dark metal capped glazed door system.
7. Opaque insulated glazing in window / curtain walling system.
8. Dark metal rainscreen - flat panel.
9. Dark metal bridge / ramp.
10. Signage - Type and extents TBC by condition.
11. Dark metal perforate / louvred panel.
12. Dark metal solid metal door system.
13. Zone for discrete fixings to stone face to allow for installation of temporary signage - design to be developed and agreed via condition (Area shown dotted).
14. Existing window infilled with stone to match existing.

Proposed Elevations - West

2.6 Visuals



View from the Museum and Gallery East Elevation, showing both new and existing fabric, looking west

2.6 Visuals



View from the Museum and Gallery North-East side, showing the new extension and entrance with existing fabric to east and Phase 1 in the background

03 Heritage

03

3.1 Overview / Stakeholder Engagement

The principles of the consented scheme are retained for the current proposals, where heritage assets have been identified for removal, retention and/or repair based on a series of condition surveys that have been undertaken by specialists where appropriate.

During the course of the Stage 3 design, the asbestos removal has been undertaken within the building and this has required the heritage approach to be updated to suit any areas that have been further affected by the asbestos. In some cases, asbestos was present within or behind panelled walls etc and so these have been removed in parts in order to make the building safe. The conservation drawings details all aspects of this and the proposed remedial and/or replacement works for each room within the building.

As the client and end user is Kirklees Council, there has been an excellent and collaborative process of stakeholder engagement throughout the design process.

The Kirklees Council Museum and Gallery (MAG) team have worked closely with the design team to help inform the direction of the design and to ensure that the design meets the brief and operational requirements suitable for a multi-purpose public building such as this.

Planning and Conservation:

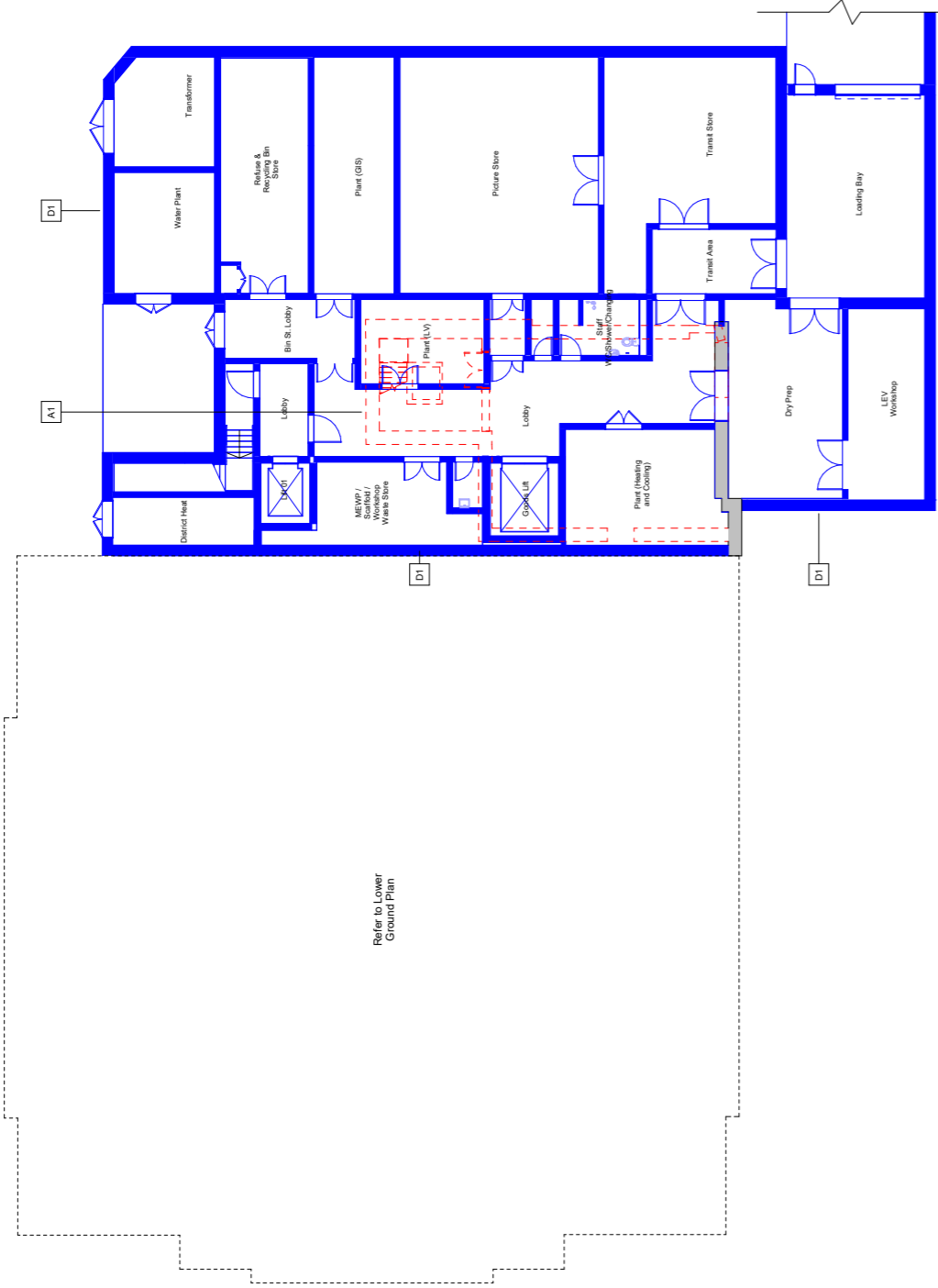
Throughout this period the design proposals have been discussed and agreed in principle with the planning and conservation team. This open dialogue particularly relating to the Kirklees conservation team has allowed the design proposal to closely align to the core principles of the brief which is to retain and repair the key heritage assets of the existing building, whilst allowing the building to perform to the highest standards of the day in order to house high profile exhibits and artefacts that are significant to the history of Huddersfield.

All aspects of the design have been reviewed with key stakeholders in order to ensure that best value is provided for the ongoing management and maintenance of the building for the whole life cycle of the building. Cleaning, access for maintenance, material finishes and quality have all been developed in close collaboration with the key stakeholders.

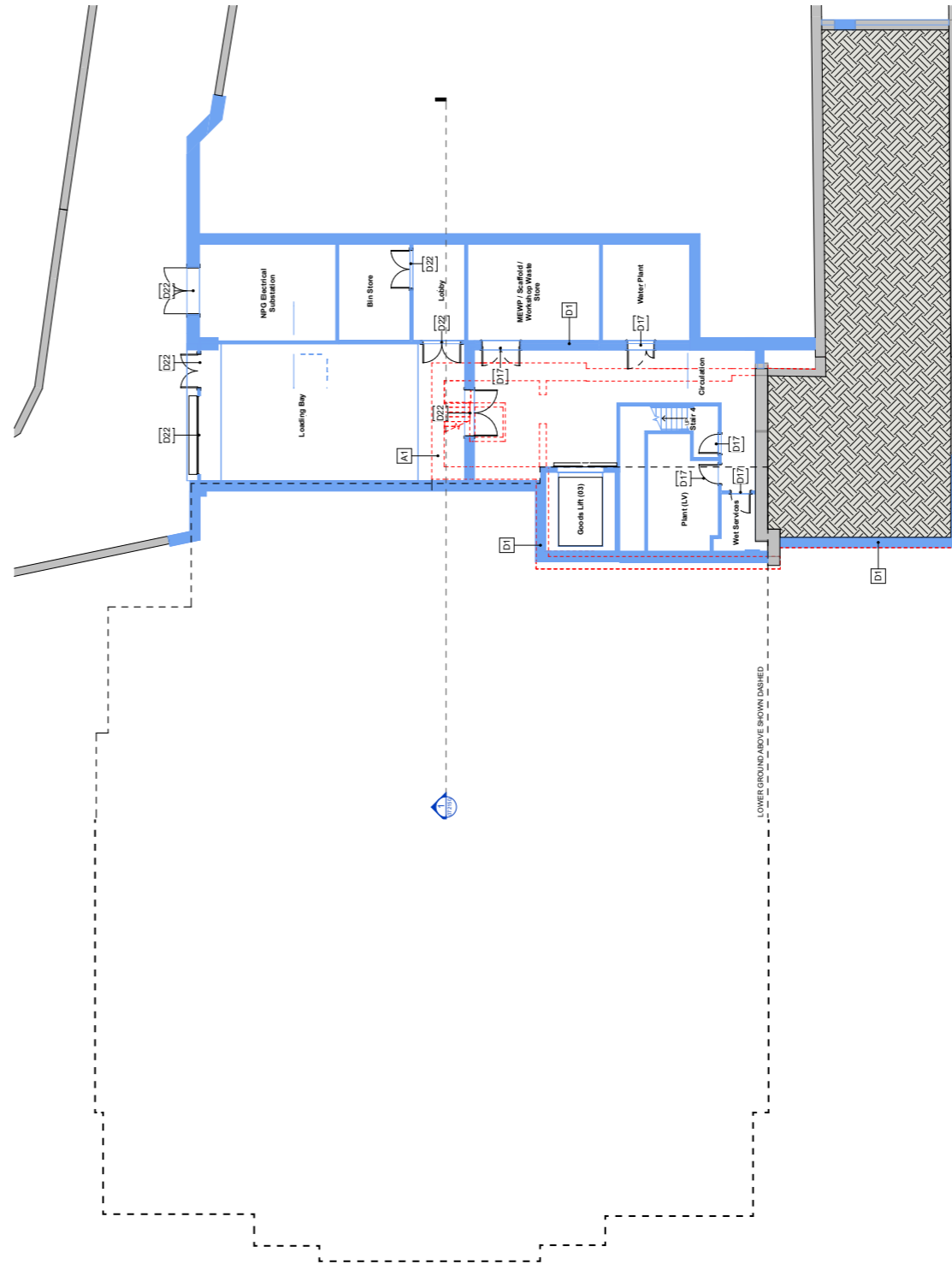
3.2 Comparison with Consented Scheme



3.2.1 BASEMENT



Refer to Lower Ground Plan



LOWER GROUND ABOVE SHOWN DASHED

CONSERVATION STRATEGY KEY

- A - Removal**
- A1 Removal of existing rear building element
 - A2 Removal of post - 1940 fabric
 - A3 Removal of existing fabric
 - A4 Existing shelving and fixed furniture removed
 - A5 Existing finishes have been removed during asbestos strip

- B - Renewal**
- B1 Renewed roof lights and lanterns including steel trimming
 - B2 New insulated roof deck and rainwater drainage
 - B3 Modern accessible WC facilities
 - B4 Renewed external landscaping
 - B5 Removal of current secondary glazing
 - B6 Lighting protection system renewed
 - B7 Existing door replaced with new heritage replica doorset within existing opening. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)

- C - Enhancement & Alteration**
- C1 Thermal enhancement - Plastered stud lining and internal wall insulation
 - C2 Thermal enhancements - Internal wall insulation with plastered finish to windows and reveals (jamb and head)
 - C4 Tanking of existing wall below new external level, structural reinforcement beyond
 - C5 Original furniture demounted, repaired, adapted for display use and reinstated. Adaptation and reuse not included in BAM scope
 - C6 Existing pocket doors retained
 - C11 Window removed and existing opening enlarged to form new door
 - C13 Service zone to serve mechanical system
 - C14 Sunken terrace refurbishment, stone re-laid where viable
 - C16 Railing removed to allow for new accessible entrance ramp
 - C17 Stone parapet and handrail partially removed to allow for new ramp landing
 - C18 New door opening formed in existing wall
 - C19 New handrail runs to suit revised entrance stair landing
 - C21 Window removed, opening infilled (recessed facing stone to finish face)
 - C22 Book lift shaft casings to be repaired sympathetically, restored & reinstated
 - C23 Lending library wall clock demounted and reinstalled at level 01
 - C24 Repair and overhaul doors / ironmongery generally - Refer to Existing Doors for Retention Schedule (324250)

- D - Intervention**
- D1 New External Walls
 - D2 New external gates to undercroft
 - D3 Accessible entrance (ramp / slope)
 - D4 Inserted stone perimeter wall to Victoria Lane
 - D5 Subdivision of spaces with new partitions
 - D6 Reinstatement of partitions as per original scheme
 - D7 Creation of lobby using new partitions to achieve fire strategy
 - D8 Framed and lined vertical services distribution zone
 - D9 Glazed rooflight and upstand
 - D11 Stone step to raise landing and form level threshold at entrance to match existing
 - D12 Plastered and sheathed stud to level wall surface / enable wall mounted displays
 - D13 Panelled riser door to match existing wall lining
 - D14 Access to new floor above laylight via stair
 - D16 New building services / facilities
 - D17 New doors (non heritage). Refer Proposed Internal Door & Ironmongery Schedule (329101).
 - D18 New heritage replica doors in existing, new or enlarged openings. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)
 - D20 New replacement windows installed to achieve the building thermal performance and security requirements
 - D21 Low level boxing out in plasterboard to house Fan Coil Units (FCUs)
 - D22 New External Doors
 - D23 Existing floor finishes removed and reinstated with new floor finishes to match existing floor finish levels

- E - Conservation & Repair**
- E1 Sympathetic repair and restoration of existing fabric
 - E2 Restorative approach to spaces of high significance
 - E3 Original fixed furniture repaired and sensitively restored, reinstatement of elements where required to match existing
 - E4 Original flooring to be inspected, overhauled and restored as finished surface where suitable or renewed to match original where retention unviable
 - E5 Windows retained, overhauled, stripped, new protective coatings added and restored to full working order. Blackout film to be applied to rear of glass.
 - E6 Remove modern surface-mounted services from original linings and sympathetically repair
 - E7 Sympathetic repair and restoration of perimeter wall, stairs and external artwork. Railings to be replaced
 - E8 Reinstatement of bronze grilles - This is now no longer part of the main contract works

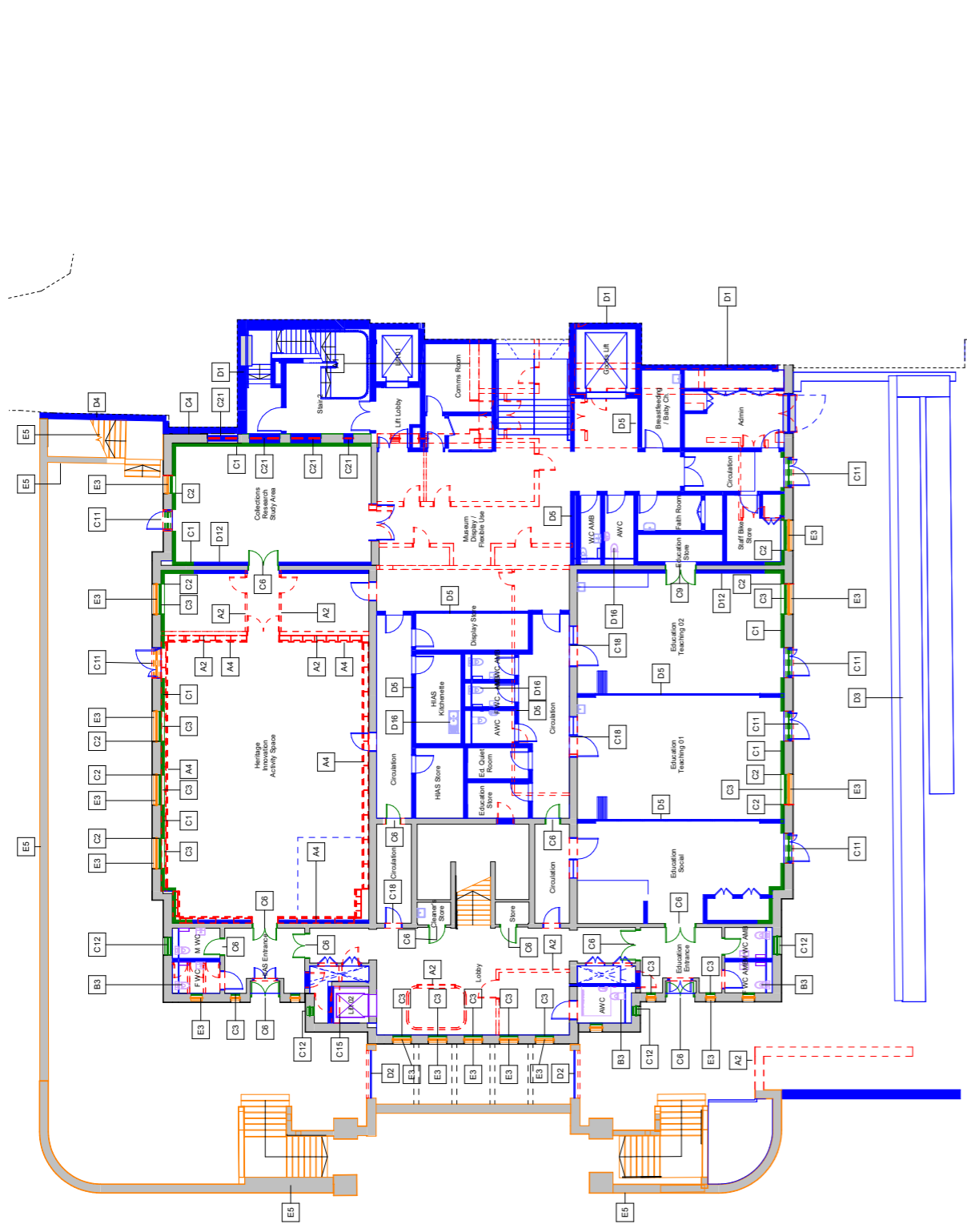
Conservation Strategy - Consented Basement

Conservation Strategy - Proposed Basement

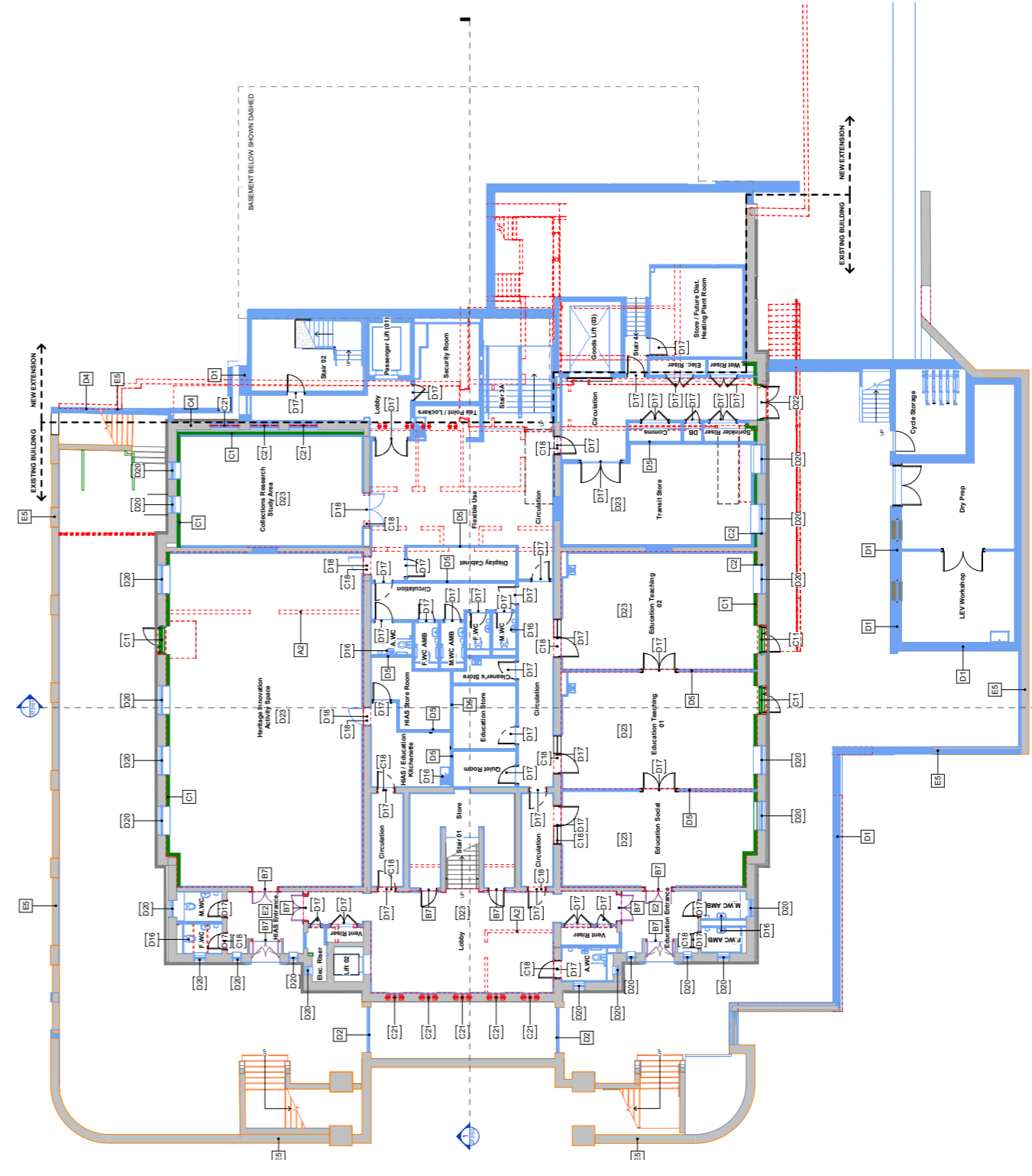
3.2 Comparison with Consented Scheme



3.2.2 LOWER GROUND FLOOR



Conservation Strategy - Consented Lower Ground Floor



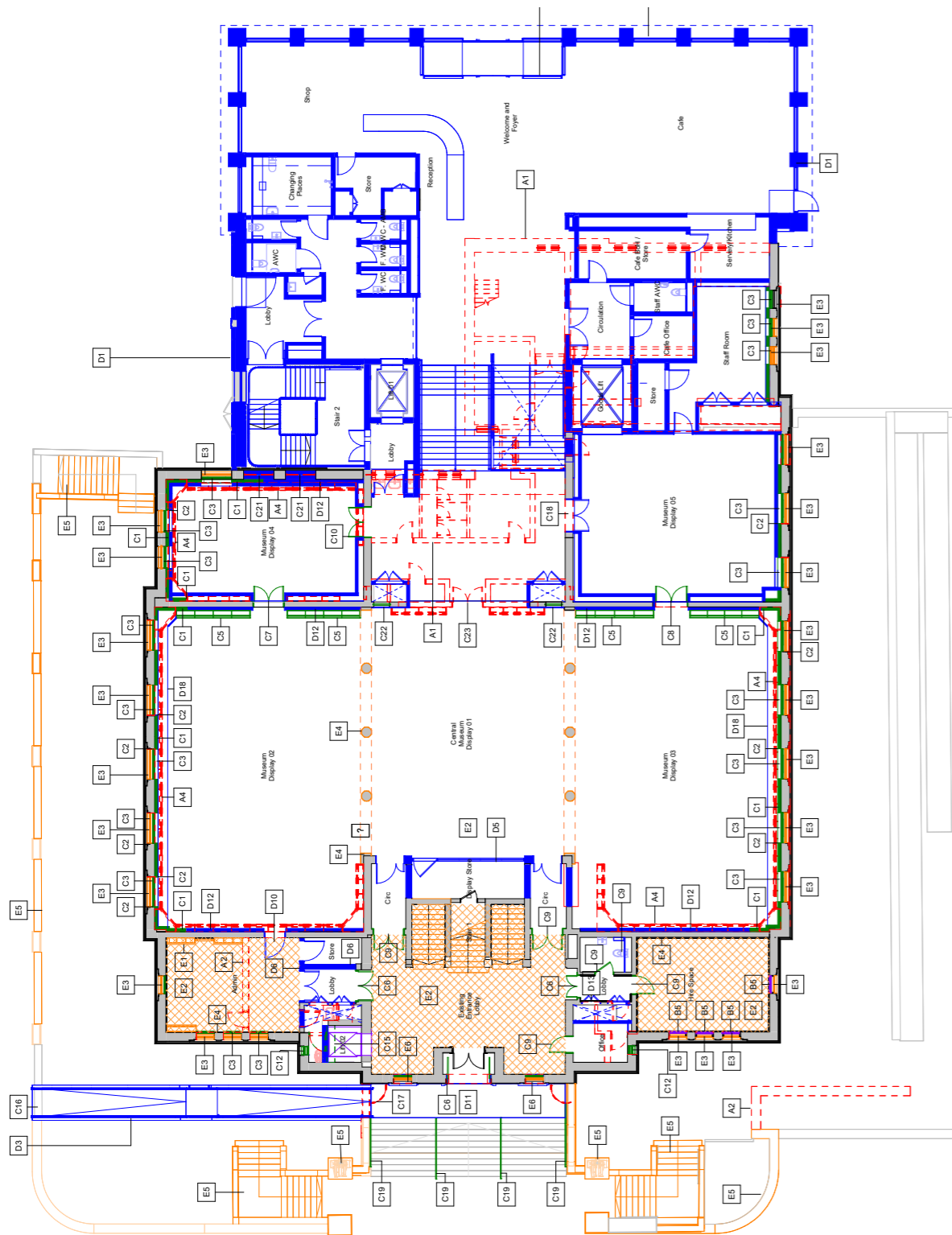
Conservation Strategy - Proposed Lower Ground Floor

CONSERVATION STRATEGY KEY

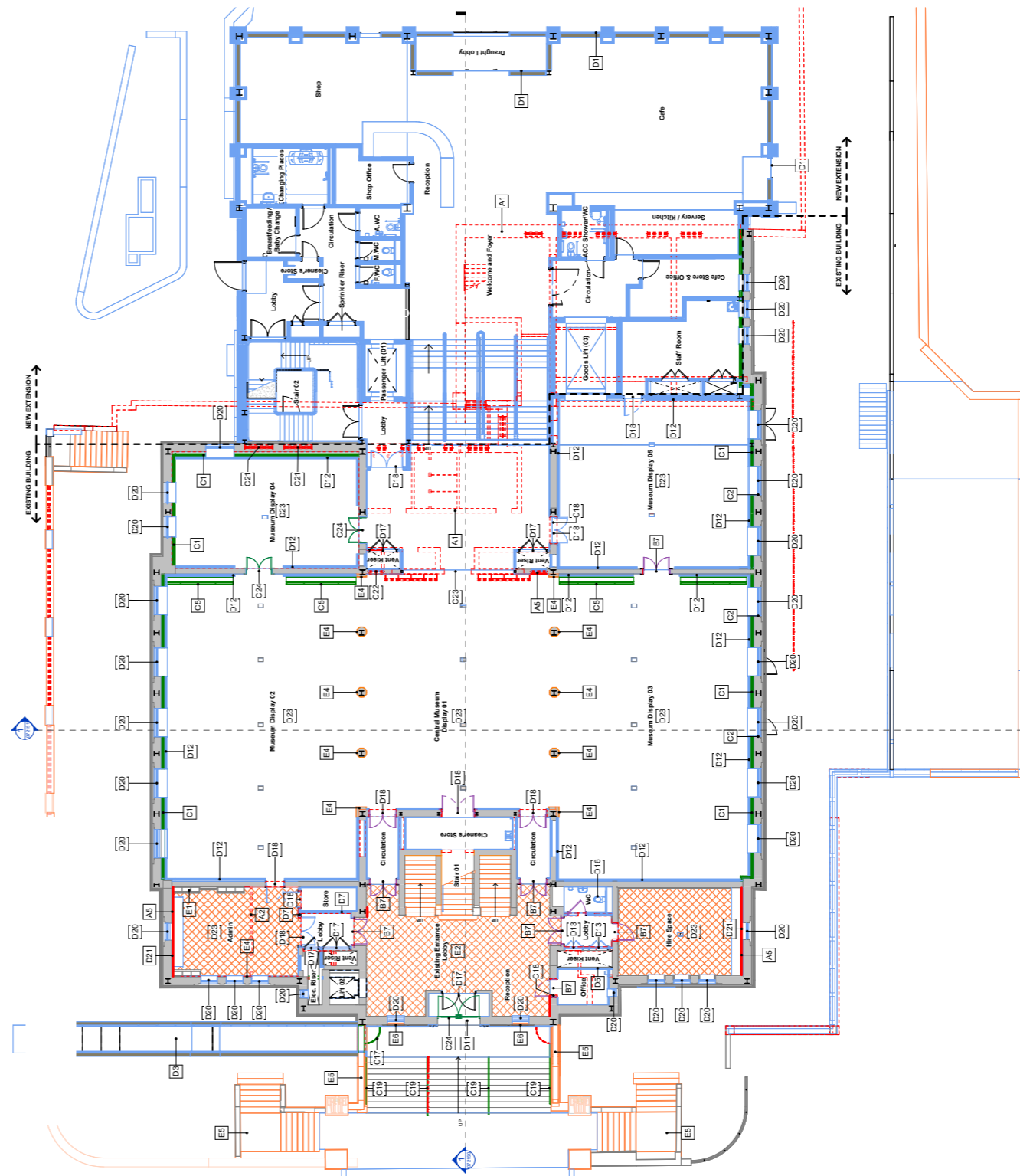
- A - Removal**
 - A1 Removal of existing rear building element
 - A2 Removal of post - 1940 fabric
 - A3 Removal of existing fabric
 - A4 Existing shelving and fixed furniture removed
 - A5 Existing finishes have been removed during asbestos strip
- B - Renewal**
 - B1 Renewed roof lights and lanterns including steel trimming
 - B2 New insulated roof deck and rainwater drainage
 - B3 Modern accessible WC facilities
 - B4 Renewed external landscaping
 - B5 Removal of current secondary glazing
 - B6 Lighting protection system renewed
 - B7 Existing door replaced with new heritage replica doorset within existing opening. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)
- C - Enhancement & Alteration**
 - C1 Thermal enhancement - Plastered stud lining and internal wall insulation
 - C2 Thermal enhancements - Internal wall insulation with plastered finish to windows and reveals (jamb and head)
 - C4 Tanking of existing wall below new external level, structural reinforcement beyond
 - C5 Original furniture demounted, repaired, adapted for display use and reinstated. Adaptation and reuse not included in BAM scope
 - C6 Existing pocket doors retained
 - C11 Window removed and existing opening enlarged to form new door
 - C13 Service zone to serve mechanical system
 - C14 Sunken terrace refurbishment, stone re-laid where viable
 - C16 Railing removed to allow for new accessible entrance ramp
 - C17 Stone parapet and handrail partially removed to allow for new ramp landing
 - C18 New door opening formed in existing wall
 - C19 New handrail runs to suit revised entrance stair landing
 - C21 Window removed, opening infilled (recessed facing stone to finish face)
 - C22 Book lift shaft casings to be repaired sympathetically, restored & reinstated
 - C23 Lending library wall clock demounted and reinstated at level 01
 - C24 Repair and overhaul doors / ironmongery generally - Refer to Existing Doors for Retention Schedule (324250)
- D - Intervention**
 - D1 New External Walls
 - D2 New external gates to undercroft
 - D3 Accessible entrance (ramp / slope)
 - D4 Inserted stone perimeter wall to Victoria Lane
 - D5 Subdivision of spaces with new partitions
 - D6 Reinstatement of partitions as per original scheme
 - D7 Creation of lobby using new partitions to achieve fire strategy
 - D8 Framed and lined vertical services distribution zone
 - D9 Glazed rooflight and upstand
 - D11 Stone step to raise landing and form level threshold at entrance to match existing
 - D12 Plastered and sheathed stud to level wall surface / enable wall mounted displays
 - D13 Panelled riser door to match existing wall lining
 - D14 Access to new floor above layout via stair
 - D16 New building services / facilities
 - D17 New doors (non heritage). Refer Proposed Internal Door & Ironmongery Schedule (329101).
 - D18 New heritage replica doors in existing, new or enlarged openings. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)
 - D20 New replacement windows installed to achieve the building thermal performance and security requirements
 - D21 Low level boxing out in plasterboard to house Fan Coil Units (FCUs)
 - D22 New External Doors
 - D23 Existing floor finishes removed and reinstated with new floor finishes to match existing floor finish levels
- E - Conservation & Repair**
 - Restorative approach to spaces of high significance
 - E1 Original fixed furniture repaired and sensitively restored, reinstatement of elements where required to match existing
 - E2 Original flooring to be inspected, overhauled and restored as finished surface where suitable or renewed to match original where retention unviable
 - E3 Windows retained, overhauled, stripped, new protective coatings added and restored to full working order. Blackout film to be applied to rear of glass.
 - E4 Remove modern surface-mounted services from original linings and sympathetically repair
 - E5 Sympathetic repair and restoration of perimeter wall, stairs and external artwork. Railings to be replaced
 - E6 Reinstatement of bronze grilles - This is now no longer part of the main contract works

3.2 Comparison with Consented Scheme

3.2.3 UPPER GROUND FLOOR



Conservation Strategy - Consented Upper Ground Floor



Conservation Strategy - Proposed Upper Ground Floor

CONSERVATION STRATEGY KEY

A - Removal

- A1 Removal of existing rear building element
- A2 Removal of post - 1940 fabric
- A3 Removal of existing fabric
- A4 Existing shelving and fixed furniture removed
- A5 Existing finishes have been removed during asbestos strip

B - Renewal

- B1 Renewed roof lights and lanterns including steel trimming
- B2 New insulated roof deck and rainwater drainage
- B3 Modern accessible WC facilities
- B4 Renewed external landscaping
- B5 Removal of current secondary glazing
- B6 Lighting protection system renewed
- B7 Existing door replaced with new heritage replica doorset within existing opening. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)

C - Enhancement & Alteration

- C1 Thermal enhancement - Plastered stud lining and internal wall insulation
- C2 Thermal enhancements - Internal wall insulation with plastered finish to windows and reveals (jamb and head)
- C4 Tanking of existing wall below new external level, structural reinforcement beyond
- C5 Original furniture demounted, repaired, adapted for display use and reinstated. Adaptation and reuse not included in BAM scope
- C6 Existing pocket doors retained
- C11 Window removed and existing opening enlarged to form new door
- C13 Service zone to serve mechanical system
- C14 Sunken terrace refurbishment, stone re-laid where viable
- C16 Railing removed to allow for new accessible entrance ramp
- C17 Stone parapet and handrail partially removed to allow for new ramp landing
- C18 New door opening formed in existing wall
- C19 New handrail runs to suit revised entrance stair landing
- C21 Window removed, opening infilled (recessed facing stone to finish face)
- C22 Book lift shaft casings to be repaired sympathetically, restored & reinstated
- C23 Lending library wall clock demounted and reinstalled at level 01
- C24 Repair and overhaul doors / ironmongery generally - Refer to Existing Doors for Retention Schedule (324250)

D - Intervention

- D1 New External Walls
- D2 New external gates to undercroft
- D3 Accessible entrance (ramp / slope)
- D4 Inserted stone perimeter wall to Victoria Lane
- D5 Subdivision of spaces with new partitions
- D6 Reinstatement of partitions as per original scheme
- D7 Creation of lobby using new partitions to achieve fire strategy
- D8 Framed and lined vertical services distribution zone
- D9 Glazed rooflight and upstand
- D11 Stone step to raise landing and form level threshold at entrance to match existing
- D12 Plastered and sheathed stud to level wall surface / enable wall mounted displays
- D13 Panelled riser door to match existing wall lining
- D14 Access to new floor above daylight via stair
- D16 New building services / facilities
- D17 New doors (non heritage). Refer Proposed Internal Door & Ironmongery Schedule (329101).
- D18 New heritage replica doors in existing, new or enlarged openings. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)
- D20 New replacement windows installed to achieve the building thermal performance and security requirements
- D21 Low level boxing out in plasterboard to house Fan Coil Units (FCUs)
- D22 New External Doors
- D23 Existing floor finishes removed and reinstated with new floor finishes to match existing floor finish levels

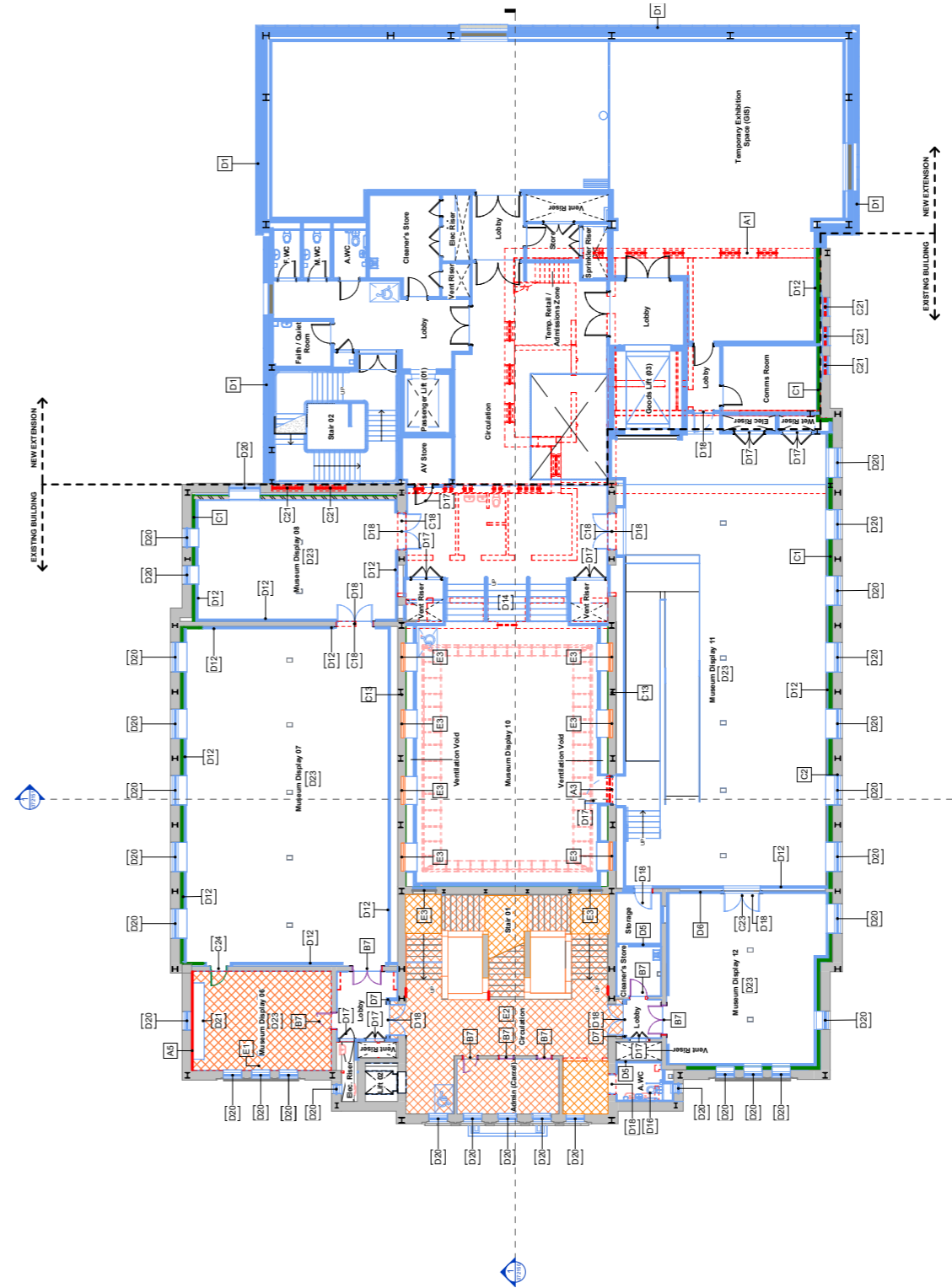
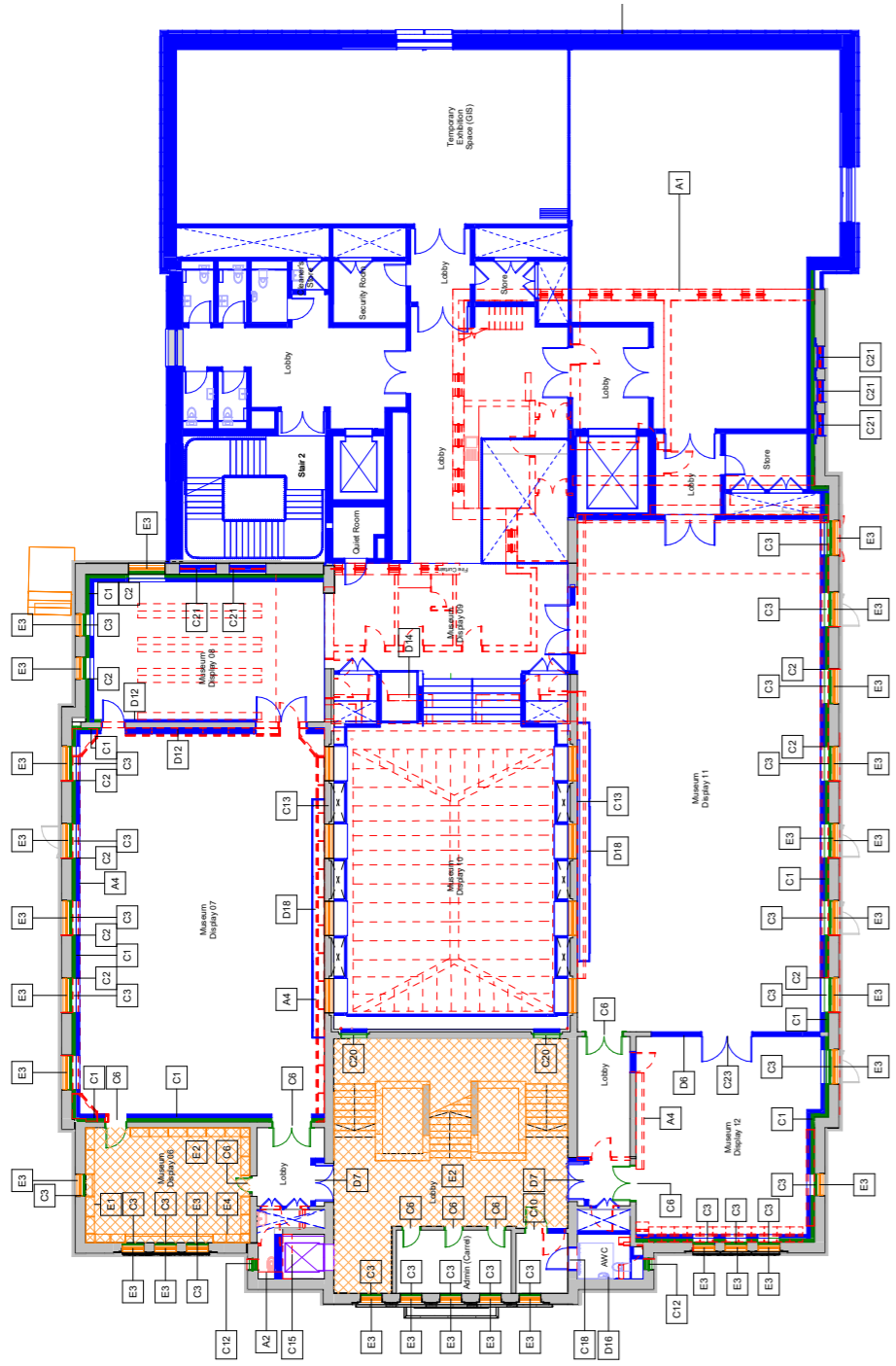
E - Conservation & Repair

- Orange hatched: Sympathetic repair and restoration of existing fabric
- Yellow hatched: Restorative approach to spaces of high significance
- E1 Original fixed furniture repaired and sensitively restored, reinstatement of elements where required to match existing
- E2 Original flooring to be inspected, overhauled and restored as finished surface where suitable or renewed to match original where retention unviable
- E3 Windows retained, overhauled, stripped, new protective coatings added and restored to full working order. Blackout film to be applied to rear of glass.
- E4 Remove modern surface-mounted services from original linings and sympathetically repair
- E5 Sympathetic repair and restoration of perimeter wall, stairs and external artwork. Railings to be replaced
- E6 Reinstatement of bronze grilles - This is now no longer part of the main contract works

3.2 Comparison with Consented Scheme



3.2.4 LEVEL 01



CONSERVATION STRATEGY KEY

A - Removal

- A1 Removal of existing rear building element
- A2 Removal of post - 1940 fabric
- A3 Removal of existing fabric
- A4 Existing shelving and fixed furniture removed
- A5 Existing finishes have been removed during asbestos strip

B - Renewal

- B1 Renewed roof lights and lanterns including steel trimming
- B2 New insulated roof deck and rainwater drainage
- B3 Modern accessible WC facilities
- B4 Renewed external landscaping
- B5 Removal of current secondary glazing
- B6 Lighting protection system renewed
- B7 Existing door replaced with new heritage replica doorset within existing opening. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)

C - Enhancement & Alteration

- C1 Thermal enhancement - Plastered stud lining and internal wall insulation
- C2 Thermal enhancements - Internal wall insulation with plastered finish to windows and reveals (jamb and head)
- C4 Tanking of existing wall below new external level, structural reinforcement beyond
- C5 Original furniture demounted, repaired, adapted for display use and reinstated. Adaptation and reuse not included in BAM scope
- C6 Existing pocket doors retained
- C11 Window removed and existing opening enlarged to form new door
- C12 Service zone to serve mechanical system
- C13 Sunken terrace refurbishment, stone re-laid where viable
- C16 Railing removed to allow for new accessible entrance ramp
- C17 Stone parapet and handrail partially removed to allow for new ramp landing
- C18 New door opening formed in existing wall
- C19 New handrail runs to suit revised entrance stair landing
- C21 Window removed, opening infilled (recessed facing stone to finish face)
- C22 Book lift shaft casings to be repaired sympathetically, restored & reinstated
- C23 Lending library wall clock demounted and reinstated at level 01
- C24 Repair and overhaul doors / ironmongery generally - Refer to Existing Doors for Retention Schedule (324250)

D - Intervention

- D1 New External Walls
- D2 New external gates to undercroft
- D3 Accessible entrance (ramp / slope)
- D4 Inserted stone perimeter wall to Victoria Lane
- D5 Subdivision of spaces with new partitions
- D6 Reinstatement of partitions as per original scheme
- D7 Creation of lobby using new partitions to achieve fire strategy
- D8 Framed and lined vertical services distribution zone
- D9 Glazed rooflight and upstand
- D11 Stone step to raise landing and form level threshold at entrance to match existing
- D12 Plastered and sheathed stud to level wall surface / enable wall mounted displays
- D13 Panelled riser door to match existing wall lining
- D14 Access to new floor above laylight via stair
- D16 New building services / facilities
- D17 New doors (non heritage). Refer Proposed Internal Door & Ironmongery Schedule (329101).
- D18 New heritage replica doors in existing, new or enlarged openings. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)
- D20 New replacement windows installed to achieve the building thermal performance and security requirements
- D21 Low level boxing out in plasterboard to house Fan Coil Units (FCUs)
- D22 New External Doors
- D23 Existing floor finishes removed and reinstated with new floor finishes to match existing floor finish levels

E - Conservation & Repair

- Orange hatched area: Sympathetic repair and restoration of existing fabric
- Yellow hatched area: Restorative approach to spaces of high significance
- E1 Original fixed furniture repaired and sensitively restored, reinstatement of elements where required to match existing
- E2 Original flooring to be inspected, overhauled and restored as finished surface where suitable or renewed to match original where retention unviable
- E3 Windows retained, overhauled, stripped, new protective coatings added and restored to full working order. Blackout film to be applied to rear of glass.
- E4 Remove modern surface-mounted services from original linings and sympathetically repair
- E5 Sympathetic repair and restoration of perimeter wall, stairs and external artwork. Railings to be replaced
- E6 Reinstatement of bronze grilles - This is now no longer part of the main contract works

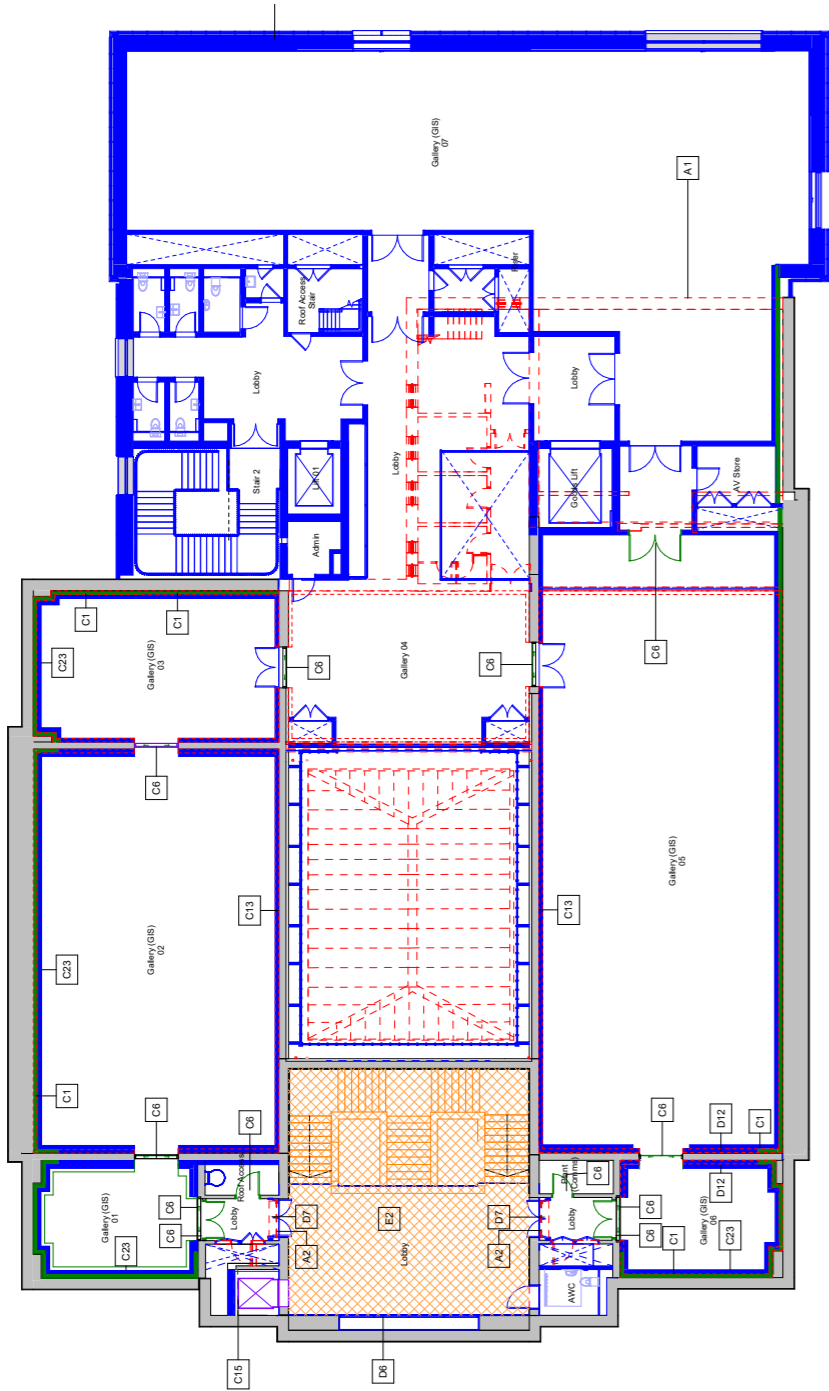
Conservation Strategy - Consented Level 01

Conservation Strategy - Proposed Level 01

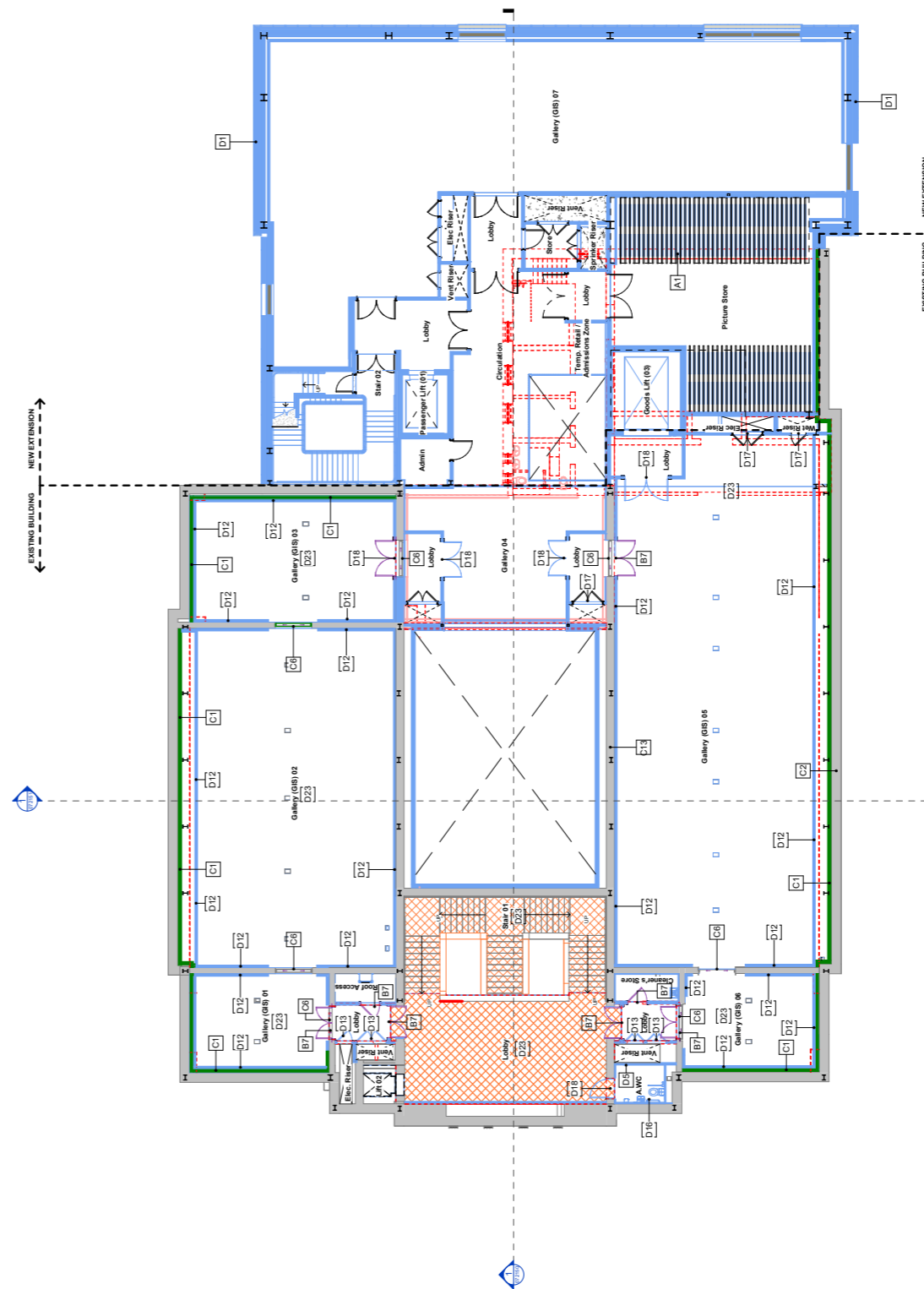
3.2 Comparison with Consented Scheme



3.2.5 LEVEL 02



Conservation Strategy - Consented Level 02



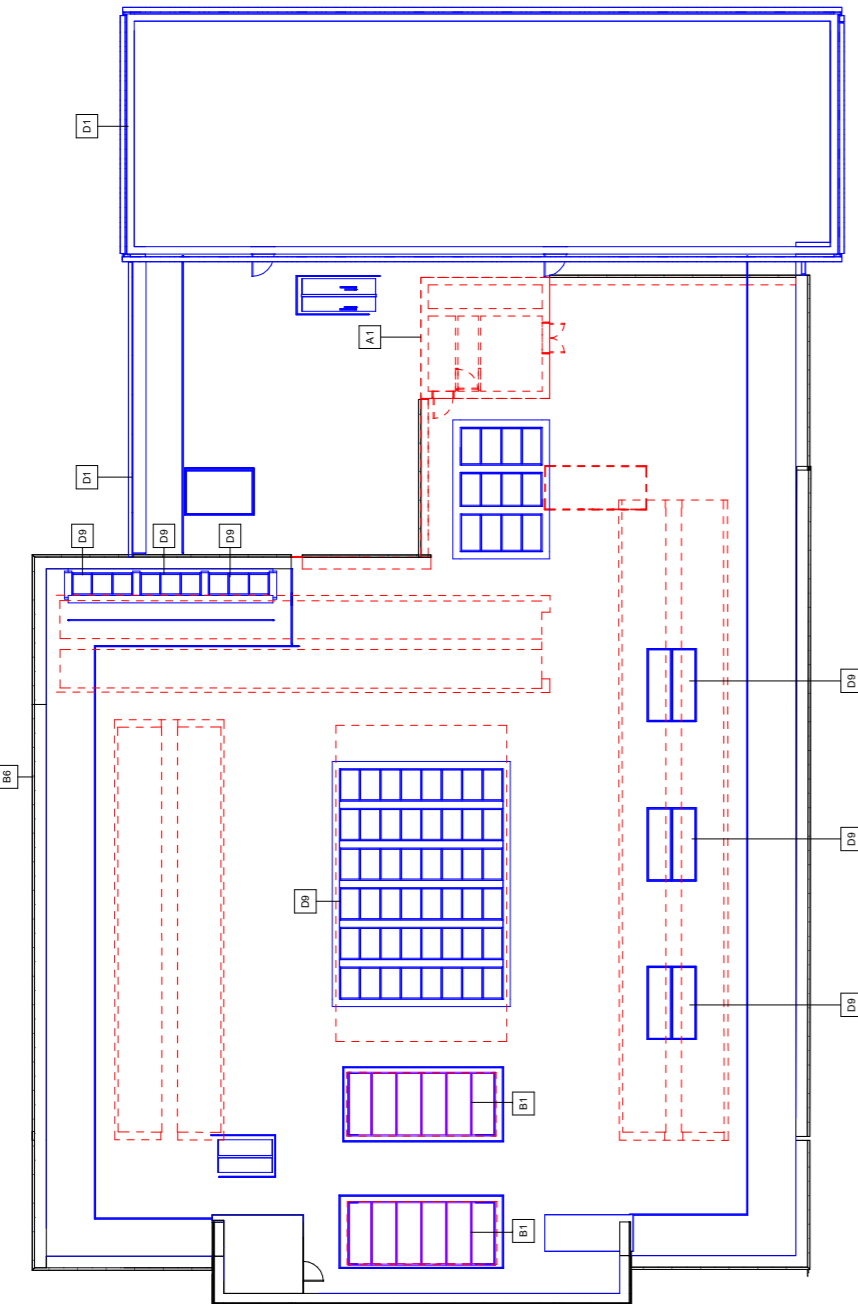
Conservation Strategy - Proposed Level 02

CONSERVATION STRATEGY KEY

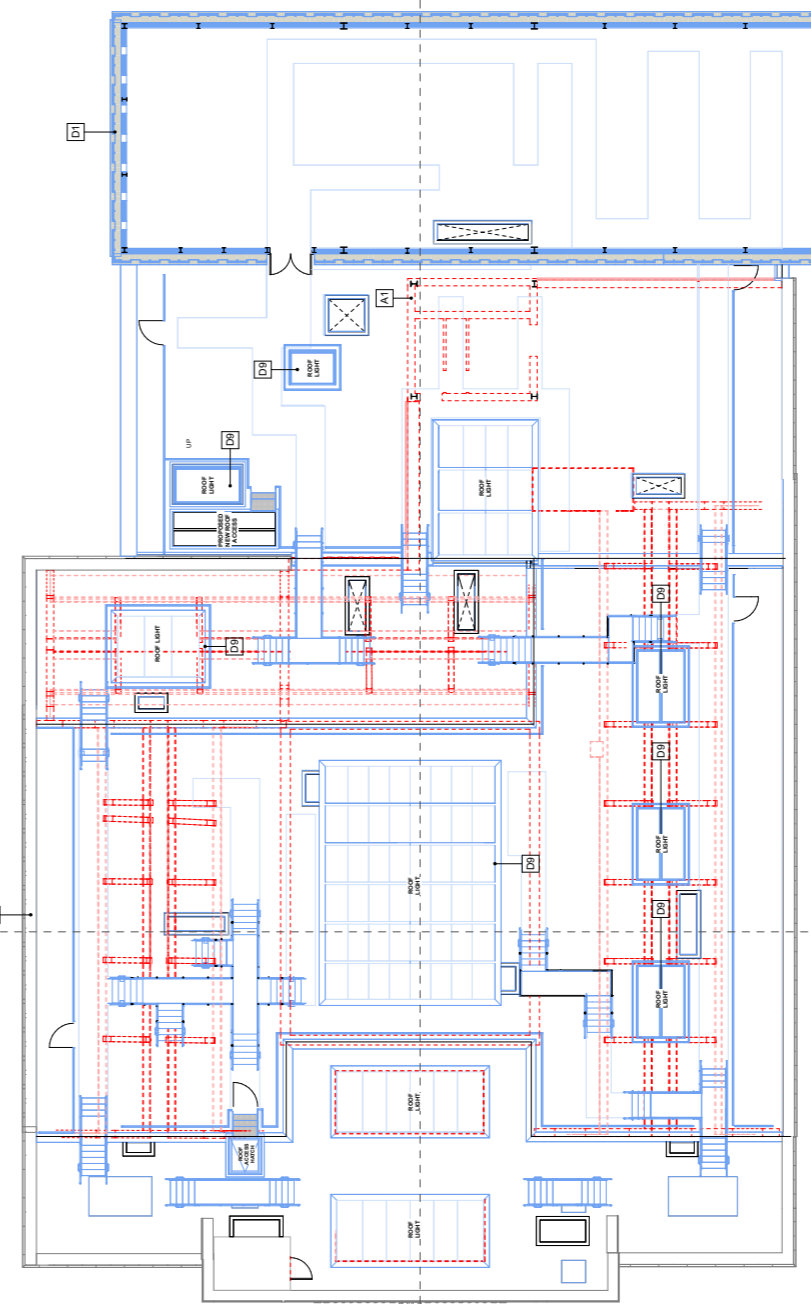
- A - Removal**
- A1 Removal of existing rear building element
- A2 Removal of post - 1940 fabric
- A3 Removal of existing fabric
- A4 Existing shelving and fixed furniture removed
- A5 Existing finishes have been removed during asbestos strip
- B - Renewal**
- B1 Renewed roof lights and lanterns including steel trimming
- B2 New insulated roof deck and rainwater drainage
- B3 Modern accessible WC facilities
- B4 Renewed external landscaping
- B5 Removal of current secondary glazing
- B6 Lighting protection system renewed
- B7 Existing door replaced with new heritage replica doorset within existing opening. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)
- C - Enhancement & Alteration**
- C1 Thermal enhancement - Plastered stud lining and internal wall insulation
- C2 Thermal enhancements - Internal wall insulation with plastered finish to windows and reveals (jamb and head)
- C4 Tanking of existing wall below new external level, structural reinforcement beyond
- C5 Original furniture demounted, repaired, adapted for display use and reinstated. Adaptation and reuse not included in BAM scope
- C6 Existing pocket doors retained
- C11 Window removed and existing opening enlarged to form new door
- C12 Service zone to serve mechanical system
- C13 Sunken terrace refurbishment, stone re-laid where viable
- C16 Railing removed to allow for new accessible entrance ramp
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- C18 New door opening formed in existing wall
- C19 New handrail runs to suit revised entrance stair landing
- C21 Window removed, opening infilled (recessed facing stone to finish face)
- C22 Book lift shaft casings to be repaired sympathetically, restored & reinstated
- C23 Lending library wall clock demounted and reinstalled at level 01
- C24 Repair and overhaul doors / ironmongery generally - Refer to Existing Doors for Retention Schedule (324250)
- D - Intervention**
- D1 New External Walls
- D2 New external gates to undercroft
- D3 Accessible entrance (ramp / slope)
- D4 Inserted stone perimeter wall to Victoria Lane
- D5 Subdivision of spaces with new partitions
- D6 Reinstatement of partitions as per original scheme
- D7 Creation of lobby using new partitions to achieve fire strategy
- D8 Framed and lined vertical services distribution zone
- D9 Glazed rooflight and upstand
- D11 Stone step to raise landing and form level threshold at entrance to match existing
- D12 Plastered and sheathed stud to level wall surface / enable wall mounted displays
- D13 Panelled riser door to match existing wall lining
- D14 Access to new floor above daylight via stair
- D16 New building services / facilities
- D17 New doors (non heritage). Refer Proposed Internal Door & Ironmongery Schedule (329101).
- D18 New heritage replica doors in existing, new or enlarged openings. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)
- D20 New replacement windows installed to achieve the building thermal performance and security requirements
- D21 Low level boxing out in plasterboard to house Fan Coil Units (FCUs)
- D22 New External Doors
- D23 Existing floor finishes removed and reinstated with new floor finishes to match existing floor finish levels
- E - Conservation & Repair**
- Orange hatched area Sympathetic repair and restoration of existing fabric
- Orange cross-hatched area Restorative approach to spaces of high significance
- E1 Original fixed furniture repaired and sensitively restored, reinstatement of elements where required to match existing
- E2 Original flooring to be inspected, overhauled and restored as finished surface where suitable or renewed to match original where retention unviable
- E3 Windows retained, overhauled, stripped, new protective coatings added and restored to full working order. Blackout film to be applied to rear of glass.
- E4 Remove modern surface-mounted services from original linings and sympathetically repair
- E5 Sympathetic repair and restoration of perimeter wall, stairs and external artwork. Railings to be replaced
- E6 Reinstatement of bronze grilles - This is now no longer part of the main contract works

3.2 Comparison with Consented Scheme

3.2.6 ROOF



Conservation Strategy - Consented Roof



Conservation Strategy - Proposed Roof

CONSERVATION STRATEGY KEY

- A - Removal**
- A1 Removal of existing rear building element
 - A2 Removal of post - 1940 fabric
 - A3 Removal of existing fabric
 - A4 Existing shelving and fixed furniture removed
 - A5 Existing finishes have been removed during asbestos strip

- B - Renewal**
- B1 Renewed roof lights and lanterns including steel trimming
 - B2 New insulated roof deck and rainwater drainage
 - B3 Modern accessible WC facilities
 - B4 Renewed external landscaping
 - B5 Removal of current secondary glazing
 - B6 Lighting protection system renewed
 - B7 Existing door replaced with new heritage replica doorset within existing opening. Refer Proposed Internal Heritage Door Strategy and Schedule (324100, 329101)

- C - Enhancement & Alteration**
- C1 Thermal enhancement - Plastered stud lining and internal wall insulation
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- D - Intervention**
- D1 New External Walls
 - D2 New external gates to undercroft
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 - D22 New External Doors
 - D23 Existing floor finishes removed and reinstated with new floor finishes to match existing floor finish levels

- E - Conservation & Repair**
- E0 Sympathetic repair and restoration of existing fabric
 - E0 Restorative approach to spaces of high significance
 - E1 Original fixed furniture repaired and sensitively restored, reinstatement of elements where required to match existing
 - E2 Original flooring to be inspected, overhauled and restored as finished surface where suitable or renewed to match original where retention unviable
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 - E6 Reinstatement of bronze grilles - This is now no longer part of the main contract works

04 Masterplan & Public Realm

04

4.1 Landscape Masterplan

Phase 2, as illustrated on the diagram to the right, is a key element of the OCH masterplan, creating permanent pedestrian links between phase 1 and King Street to the North, the private sunken terraces that flank Victoria Lane to west and the boundary to the Museum Gardens to the east, which is part of a later phase of the masterplan. Materials have been selected to tie in with Phase 1 or be sympathetic to the listed building and follow that of the consented scheme.

- Sandstone paving will provide a high-quality treatment which sits harmoniously with the development and elevates the public realm.
- Proposed and existing retaining walls retain the large level changes on the site, with stone cladding to closely match the existing walls.
- Proposed cycle stands cater for different user groups and give people a safe and accessible cycle parking location.
- Cafe seating areas are proposed to the new extension, providing a bustling and enhanced frontage.
- New ornamental planting softens and enhances the building and harsh level changes.

Once completed, phase two will provide improved pedestrian connectivity between King Street and phase one of Our Cultural Heart. In addition, the environment surrounding the existing building will be improved with new surfacing, accessible routes and planting.

- 01** Temporary Lawn Embankment East
- 02** Temporary Lawn Embankment North
- 03** Cafe Terrace and Arrival
- 04** South Arrival Steps
- 05** Lower Terraces
- 06** Fence and Gates
- 07** Ornamental Planting
- 08** Cycle Stands
- 09** Seating Walls
- 10** Stone Clad Retaining Walls
- 11** Proposed Steps
- 12** Low Feature Walls



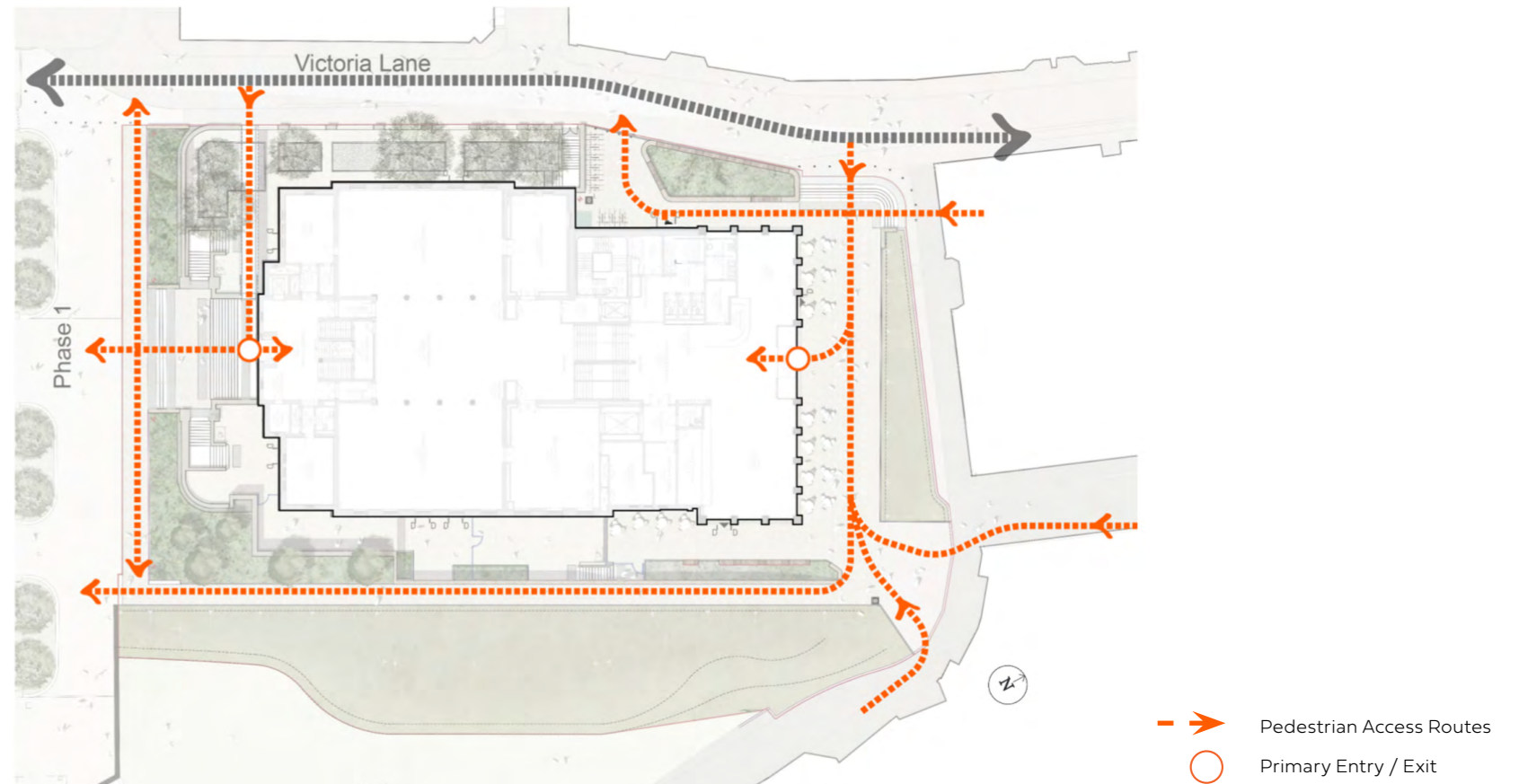
Landscape Masterplan

4.2 Phase 2 Design Considerations

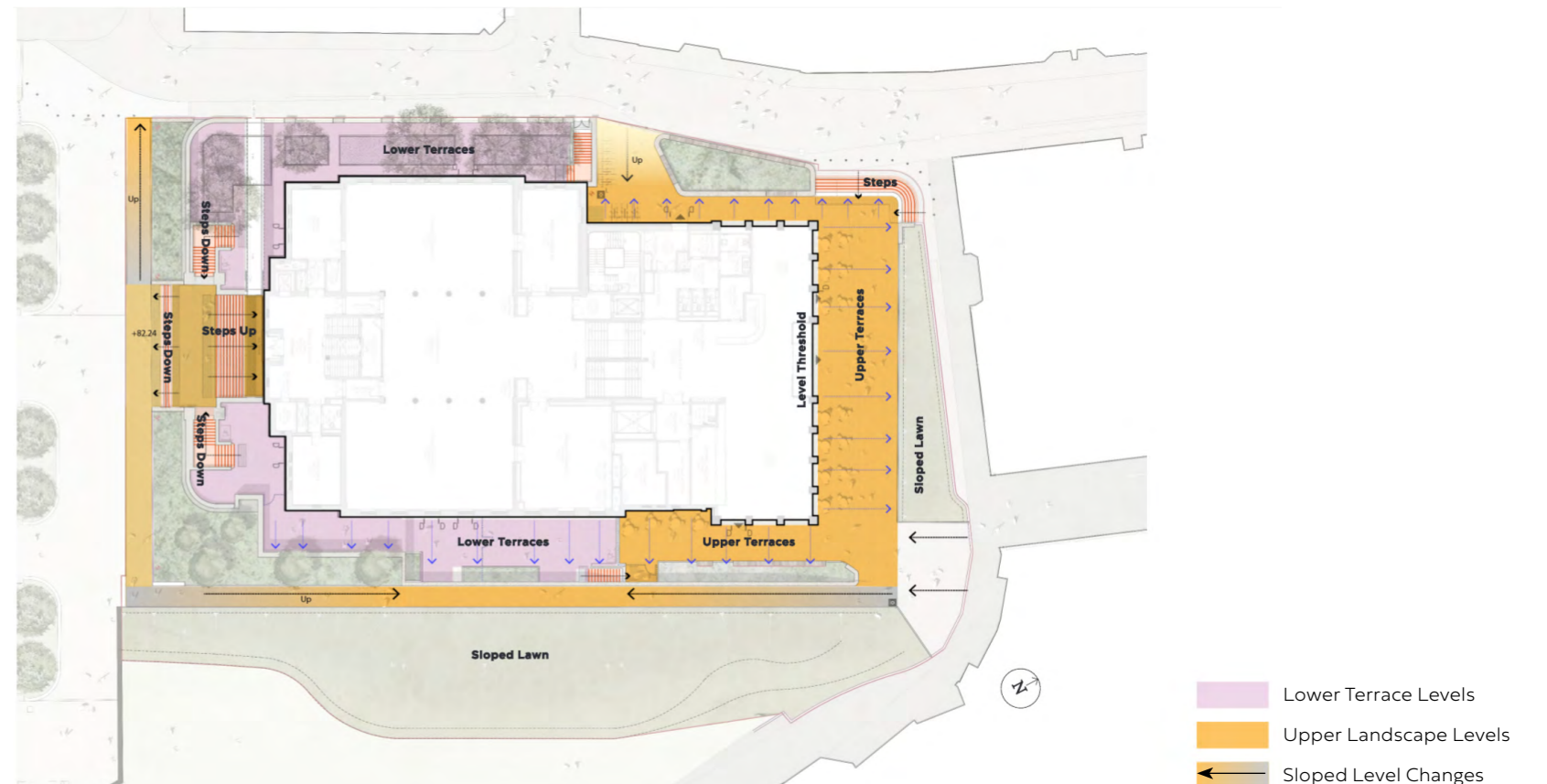
The landscape design creates new pedestrian routes linking the public realm between Phase 1 and Phase 2 and connections to the existing areas adjacent to the new development. The design considers access for all users and gradients have been designed to promote access for all.

The primary entry/exits to the building remain on the south and north of the building, where the existing entrance to the south is served by a new metal clad accessible ramp and to the north, the new entrance has step free access that is incorporated into the landscape design either side of the new raised terrace area in front of the main entrance.

The pedestrian footpaths are graded to link the new and existing levels and provide accessible routes around the building for all.



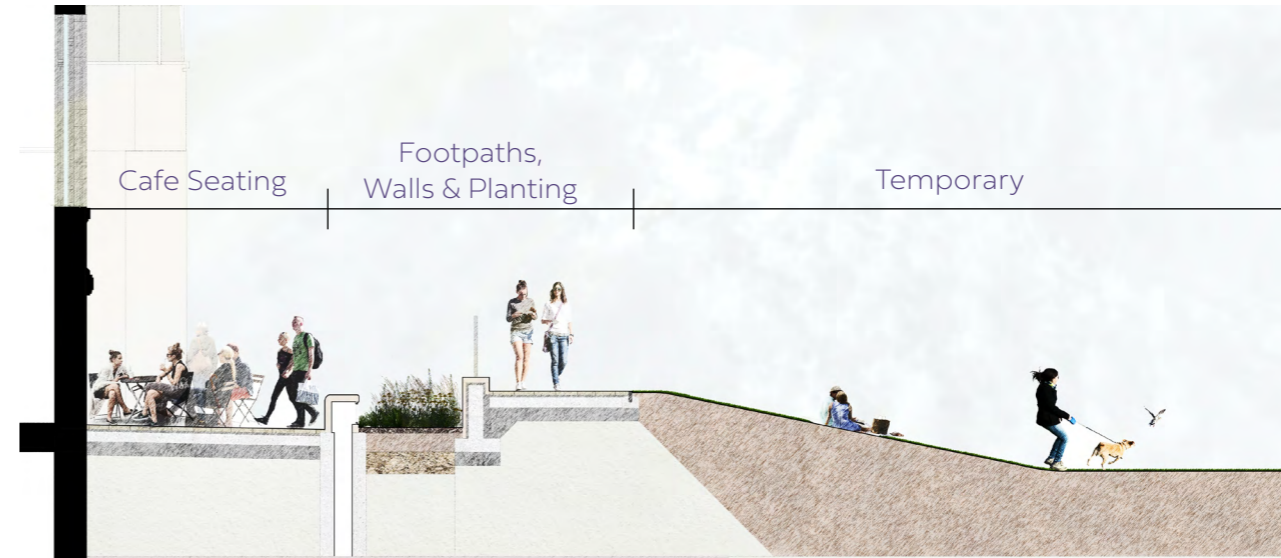
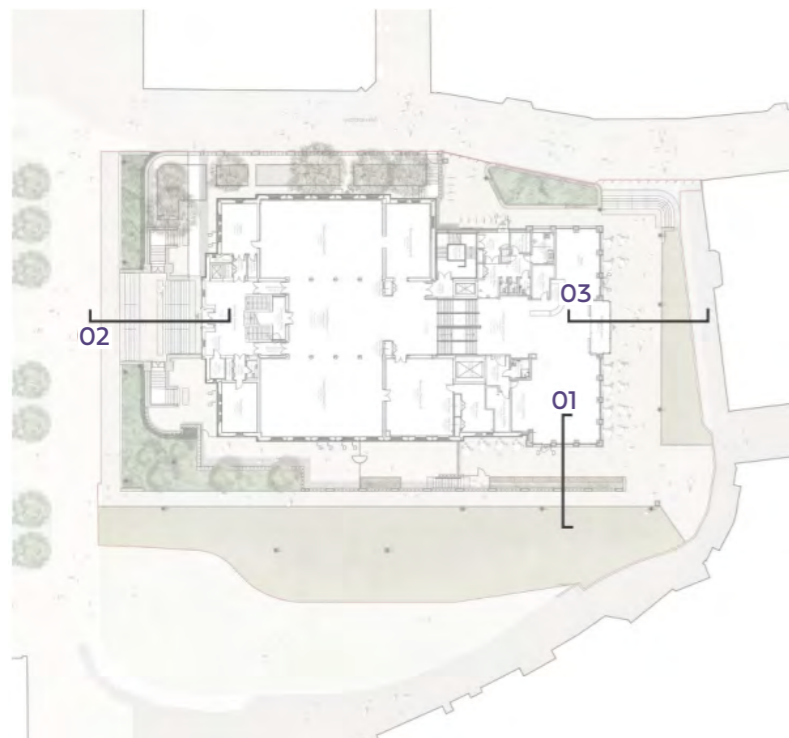
Pedestrian Connections



Levels Overview

4.3 Topography & Layout

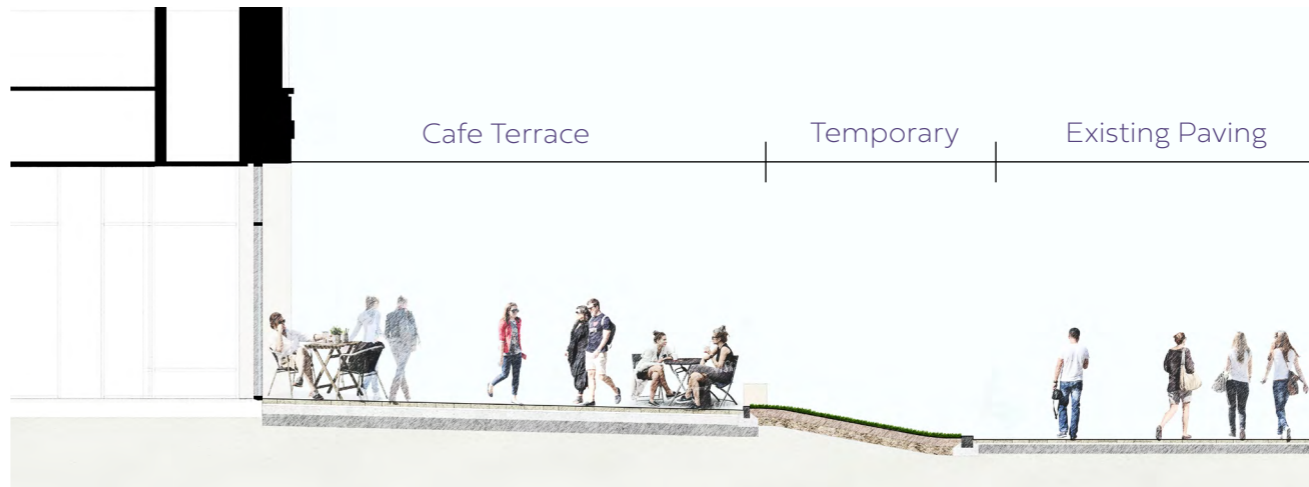
These illustrative landscape sections show the proposed level changes at key points around the building, demonstrating how levels work to achieve necessary thresholds and the interface between permanent and temporary landscape.



Section 01



Section 02



Section 03

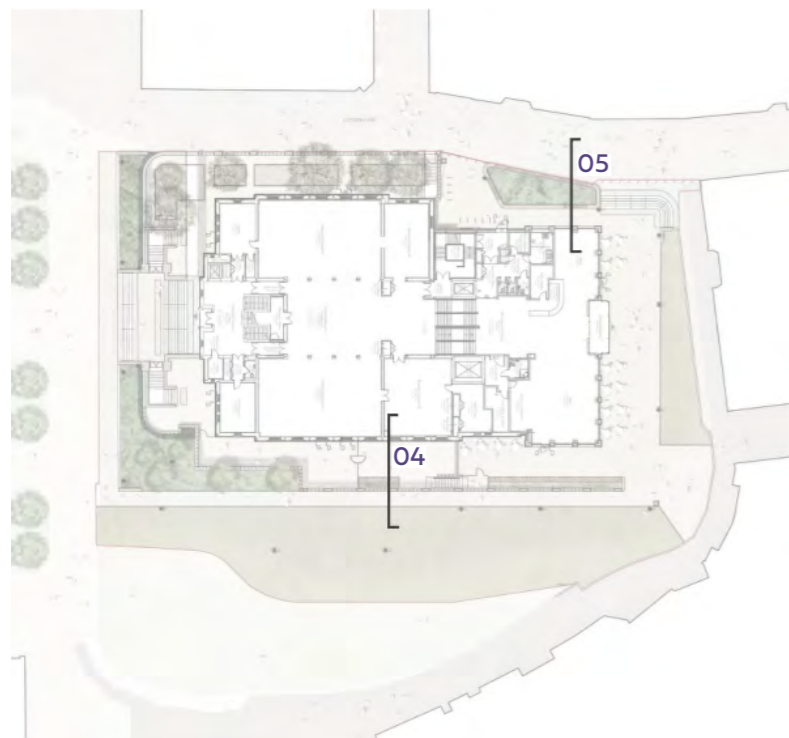
4.3 Topography & Layout

Where there are significant level differences between the landscaped areas and the lower ground terrace areas, there is an increased height handrail to create a safe barrier between the two. There is clear visibility through the railings to ensure that the level change can be clearly seen and the vertical rails serve to make it difficult to climb meaning it creates a safe barrier between the two areas.

The landscape design also utilises soft planting beds and integrated seating to overcome small level differences and to blend into the existing street levels.



Section 04



Section 05

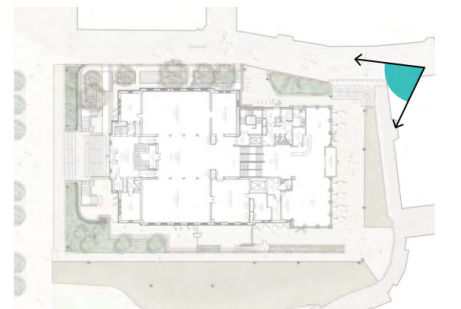
4.4 Eastern Terrace

An illustrative visualisation of the existing southern entrance and the proposed new landscaping and pedestrian routes around the building.



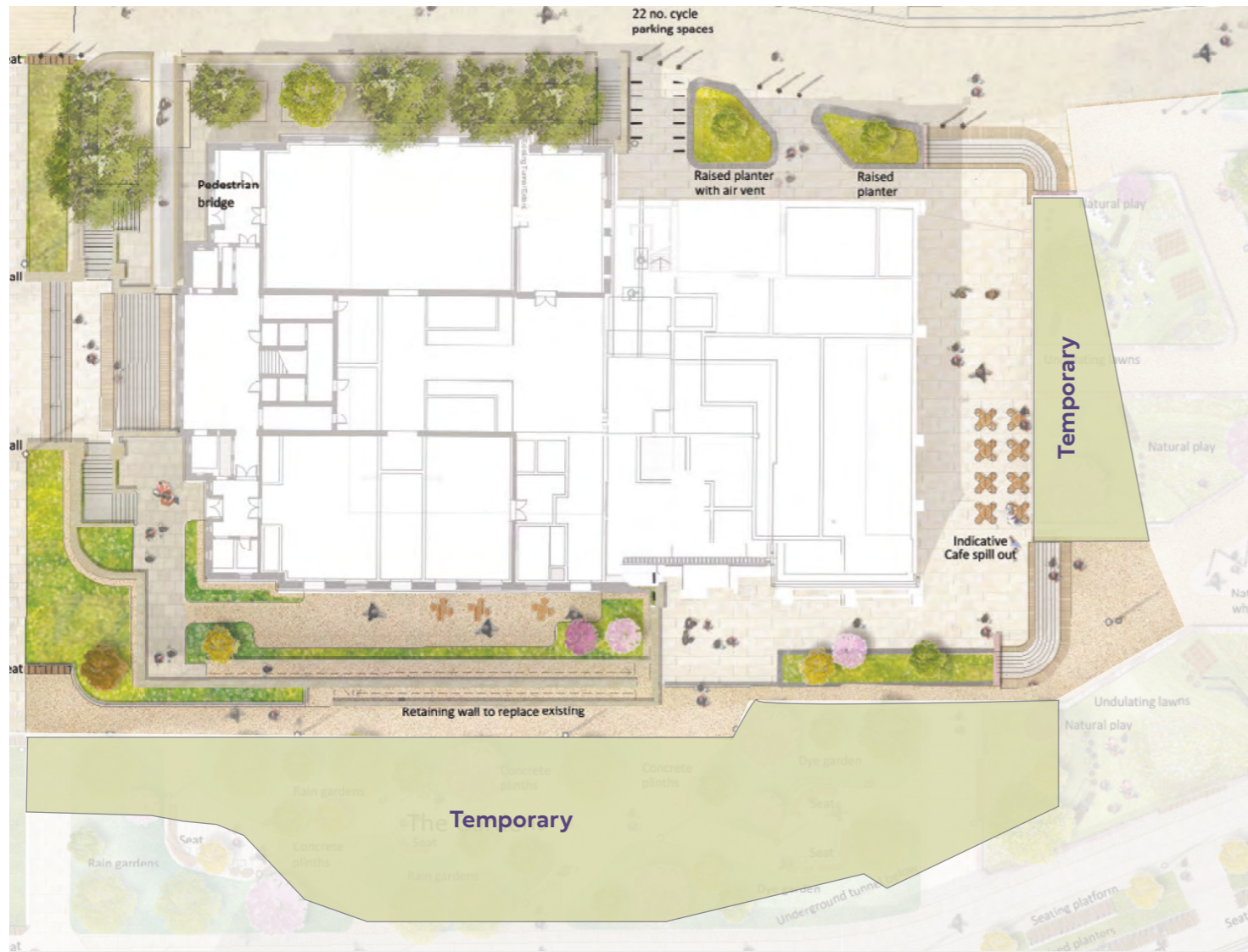
4.5 Western Terrace

The illustrative visualisation showcases the main arrival proposals and how these tie in with the existing stone retaining walling and steps. Also in view is the new ornamental planting, railings and walling.

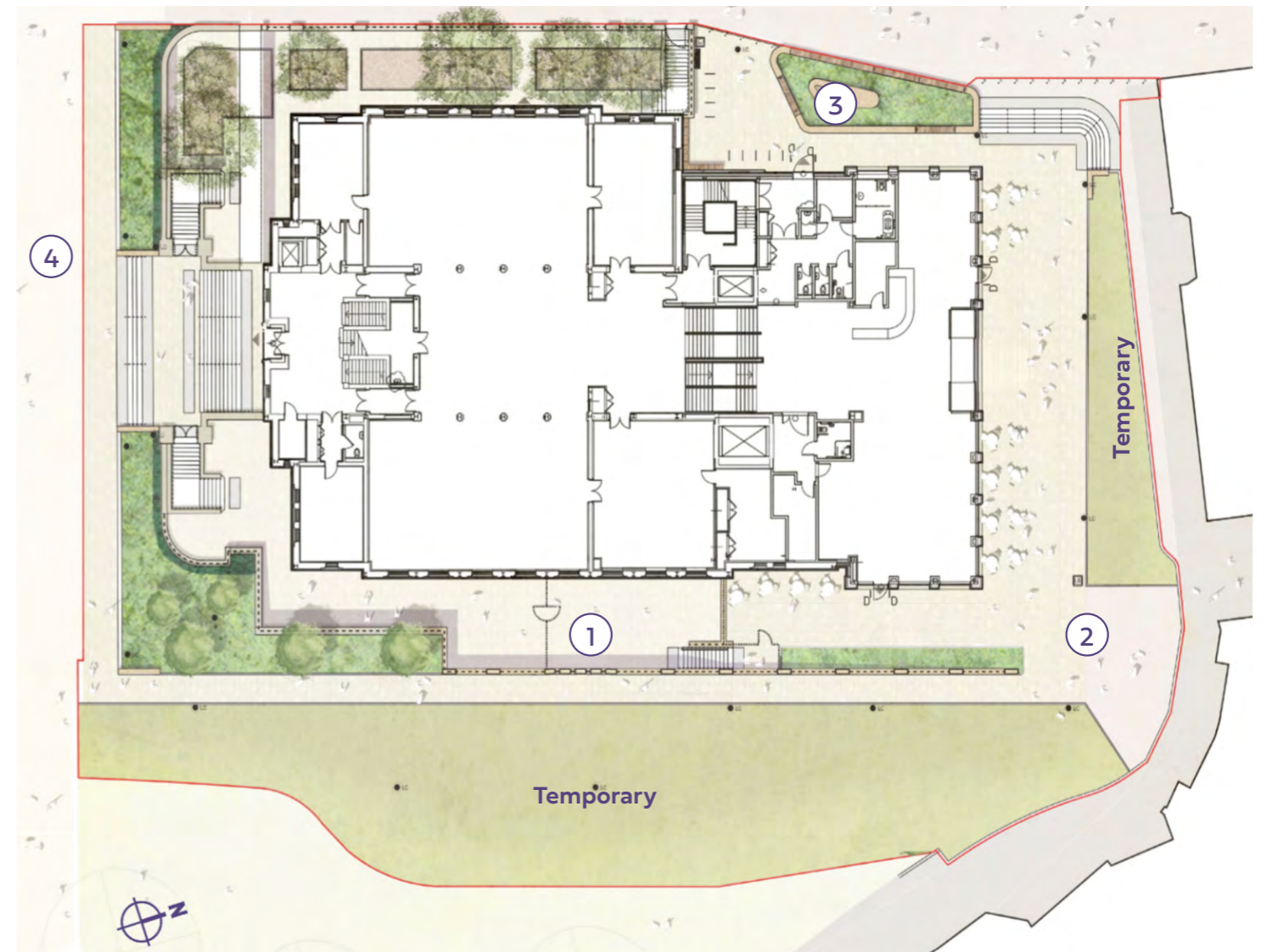


4.6 Summary of Changes

- ① The lower ground courtyard is now a private area for education use and also provides external back of house areas for staff access to cycle storage and workshops. Secure stepped access is provided from the upper level.
- ② Step free access is provided to the north east corner of the new extension, improving access to the building. New feature bench seating and planters incorporated into the upper terrace design.
- ③ Planter design has been developed to accommodate step free access from Victoria Lane and appropriate gradients to improve access.
- ④ Minor modifications to the Phase 2 boundary following detailed design coordination between Phase 1 and Phase 2 boundaries.



Consented Phase 2 Landscape Design



Proposed Phase 2 Landscape Design

05 Sustainability

05

5.1 **Overview**

Our sustainability consultant, Mainer Associates have continued to work closely with the design team throughout the design process. They have contributed to the design development process to maintain the key principles of the consented masterplan and to regularly evaluate the proposals against the key sustainable criteria that was included in the vision for the masterplan.

The project continues to target BREEAM Excellent certification for both new build and refurbishment areas. The design process has included full consideration of all Sustainability KPIs, with progress made in all areas to the potential of the design and information available. The completion of the asbestos strip-out works and condition surveys have allowed greater clarity in the project scope and design and therefore allows a more detailed review of the project performance against key embodied carbon KPIs.

The development of project thermal and energy modelling has helped to inform the performance of the design against the operational energy targets set for the building, as well as internal environmental conditions for both current and future weather conditions. The design also includes the the specification of efficient water consuming equipment, the development of drainage designs, and the incorporation of ecological enhancement to meet project potential and client requirements.

