

NOTES

All efforts have been made in measuring existing site. However the contractor / builder is responsible for checking & confirming all given dimensions on site prior to pricing & works.

Extent of boundary ownership confirmed by applicant.

Proposal -
 Planning Application for -
 Demolition of Existing Garage & Out-Buildings. Proposed Extension including First Floor to Existing Dwelling including Detached Stable and External Works to meet the applicants requirements and as shown on the planning drawings.

Materials As Proposed (Stable Block):

Walls - Shiplap cladding to outerleaf.

Doors/Window Openings - Timber framed doorsets/timber hatch to opening(s) to manufacturers specification.

Roof - Black tile effect steel roofing with anti-condensation lining.

Guttering - Black upvc guttering and downpipes.

1) GENERAL BUILDING NOTES

- All works to be in accordance with Building Regulations, current editions and amendments and to the satisfaction of the Building Control Authority.
- All works within the contract and by the contractor must be carried out in such a way that all requirements under the Health and Safety at Work Act are satisfied and maintained.
- All works by the Contractor must be carried out in compliance with the requirements of all British Standards, Codes of Practice etc. and with the requirements of all relevant and current Statutory Authority regulations.
- All structural calculations if required to be submitted by client appointed Structural Engineers and upgraded as necessary as works proceed to suit any clients requirements.
- The contractor must ensure and will be held responsible for the stability of the building structure at all stages of the contract.

2) APPROVED DOCUMENT A STRUCTURE

- All structural details and calculations if required to be submitted for approval to Building Control Authority by client appointed Structural Engineer.

PLANNING ISSUE

Rev	Description	Date	By	App'd
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tractus:dma
 architectural design

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 West Yorkshire, WF13 3SA
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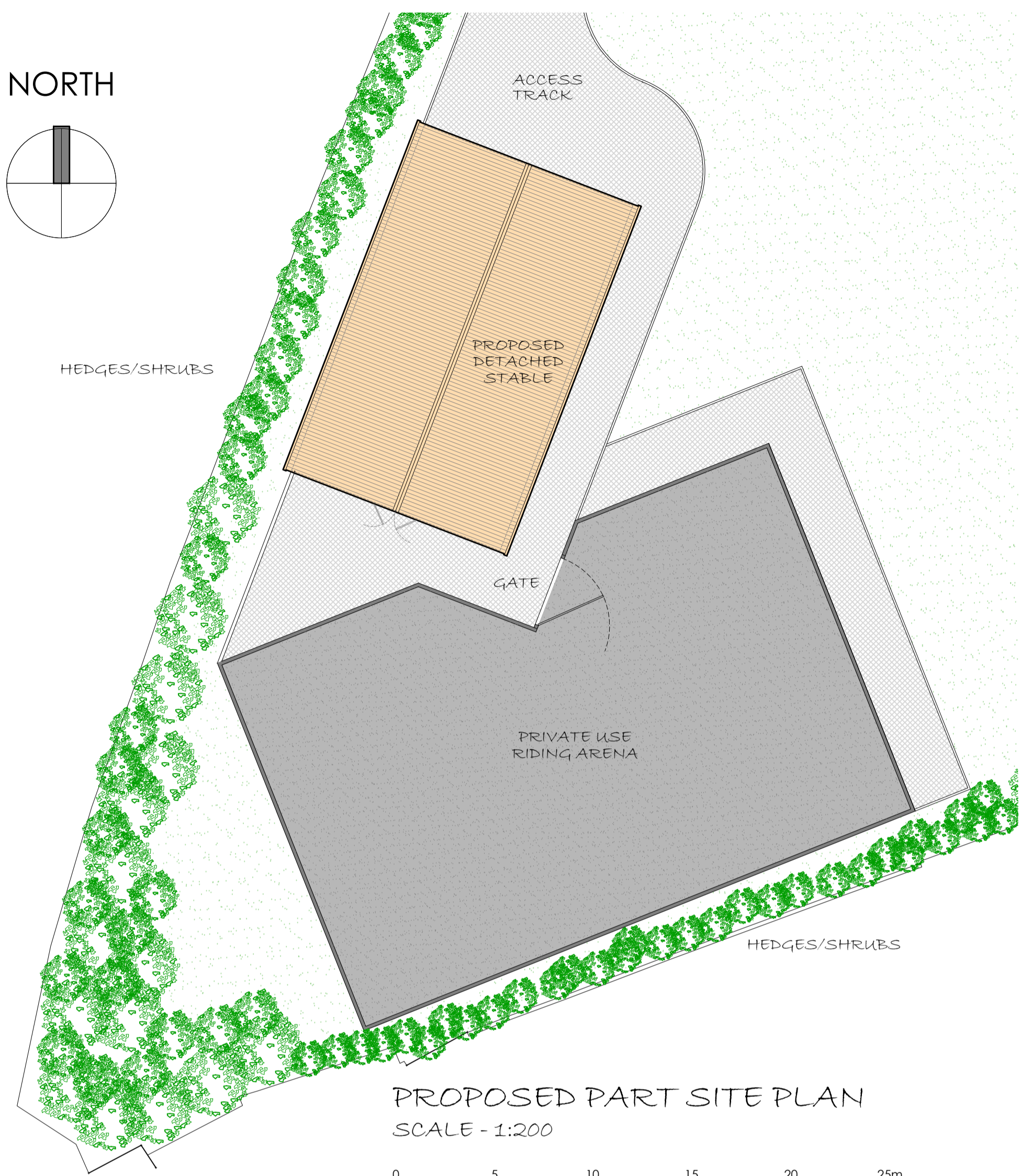
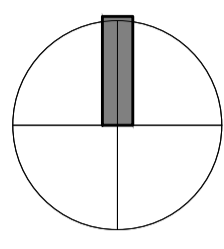
Client
 MRS. N. JAVEED

Project
 49, CROSS BANK ROAD
 BATLEY, WF17 8PN

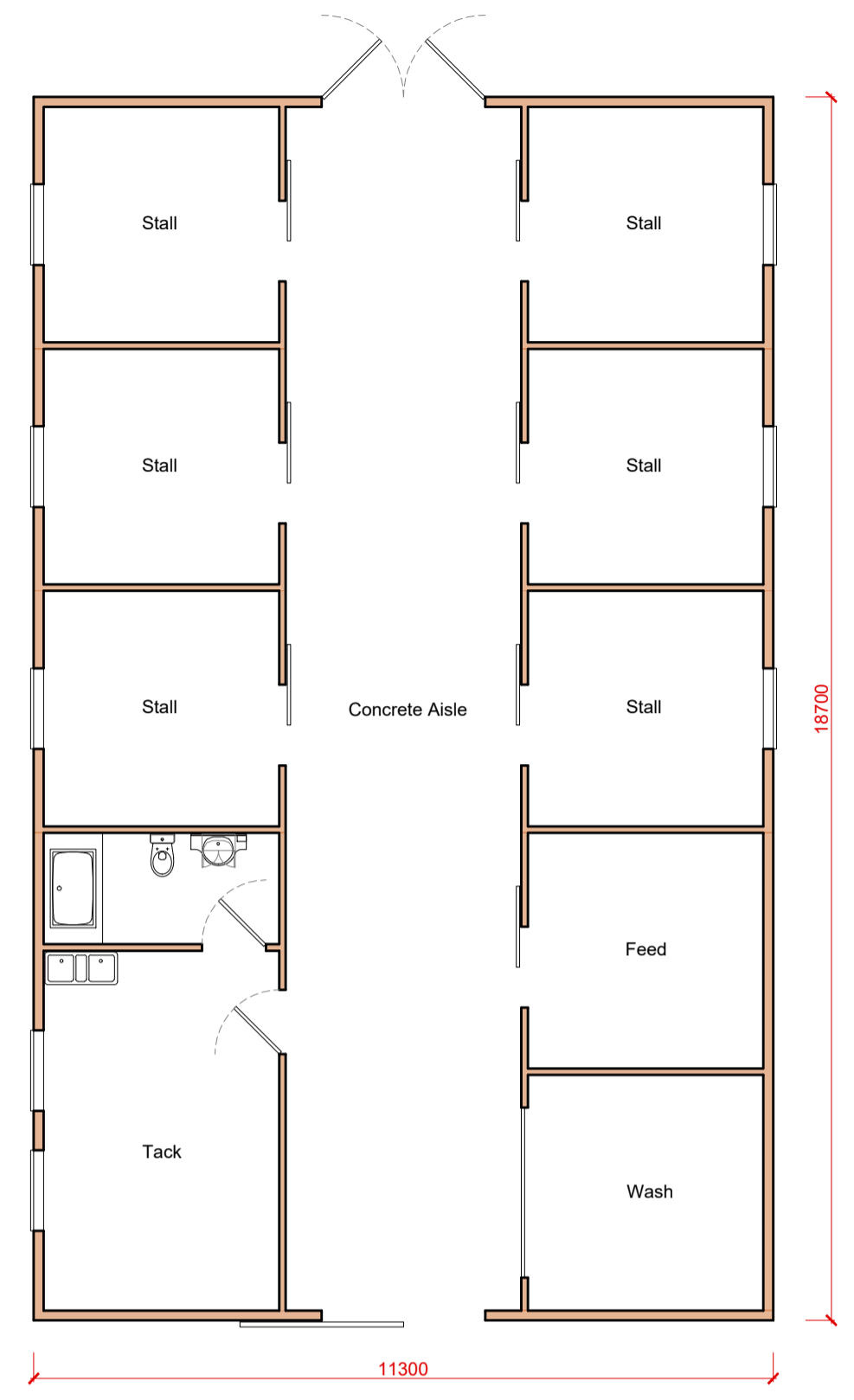
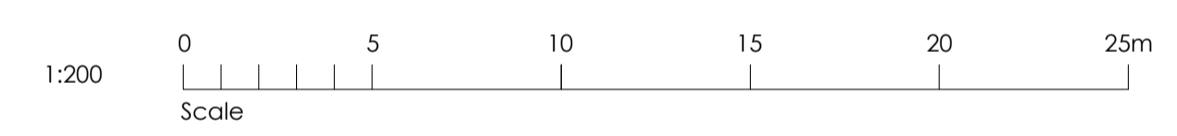
Drawing title
 PROPOSED STABLE FLOOR/ROOF
 PLAN & ELEVATIONS

Drawn by AM	Date 11/25	App'd -
Drawing no PL-05	Project no 25-986	Scale @ A1 A.S.
		Rev -

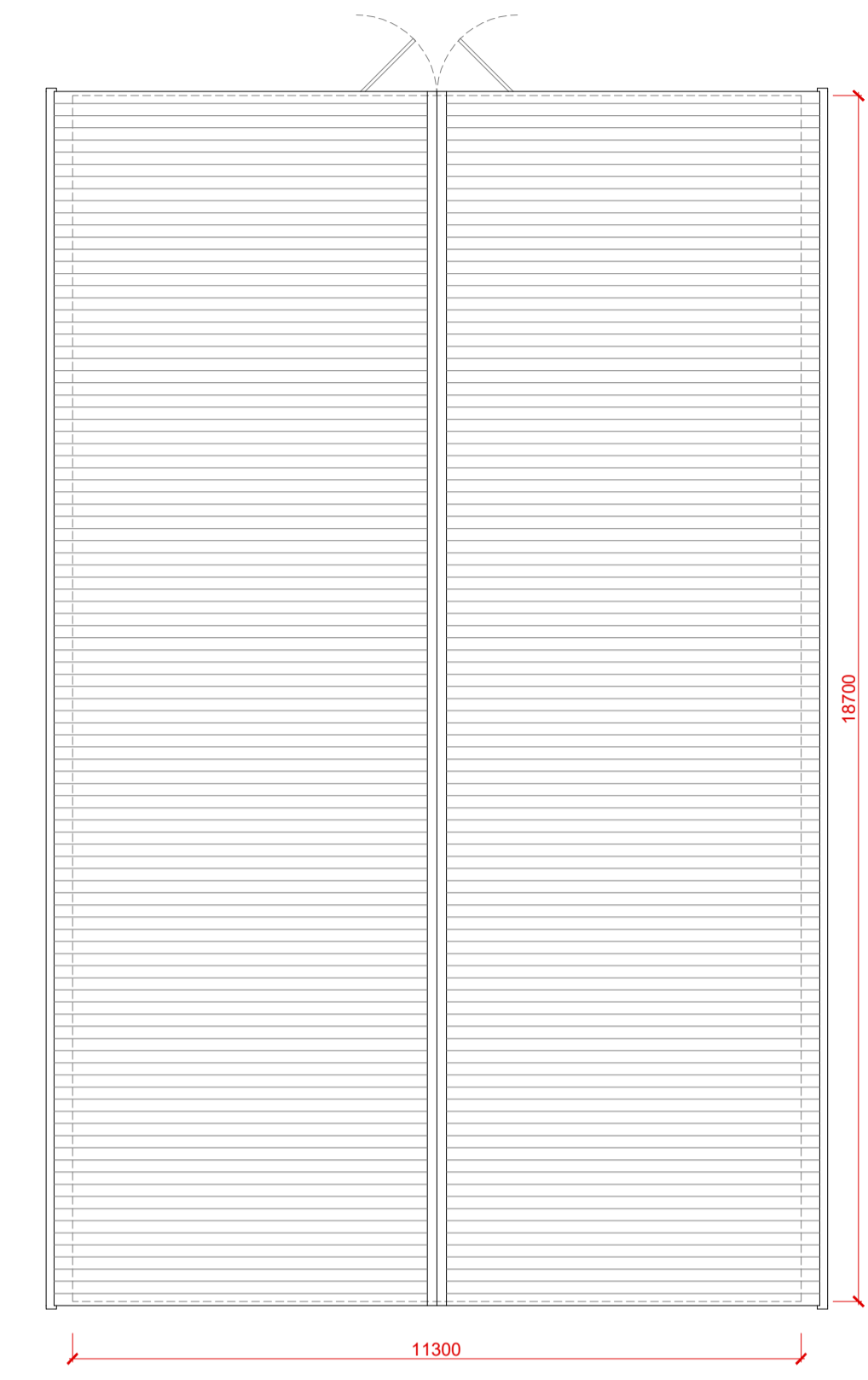
NORTH



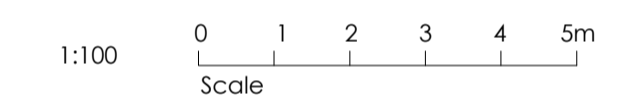
PROPOSED PART SITE PLAN
 SCALE - 1:200



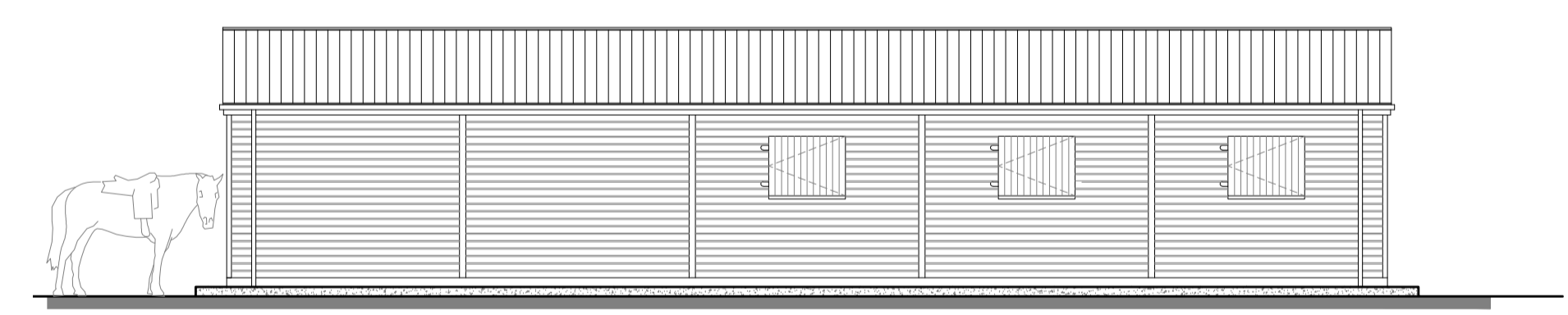
PROPOSED FLOOR PLAN
 SCALE - 1:100



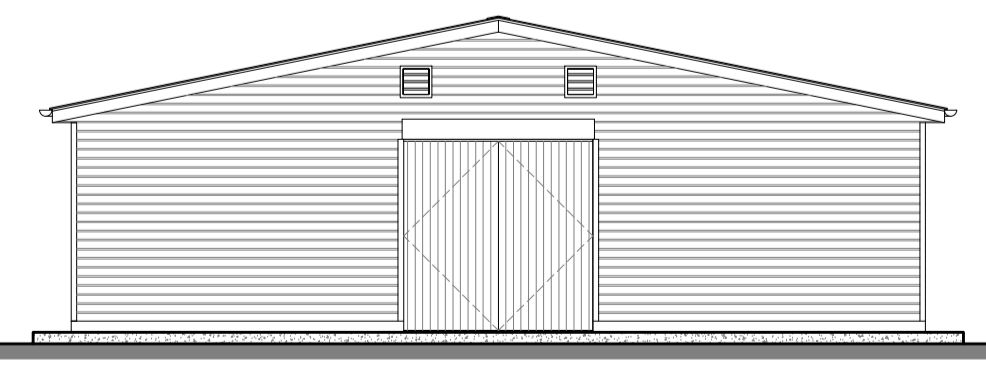
PROPOSED ROOF PLAN
 SCALE - 1:100



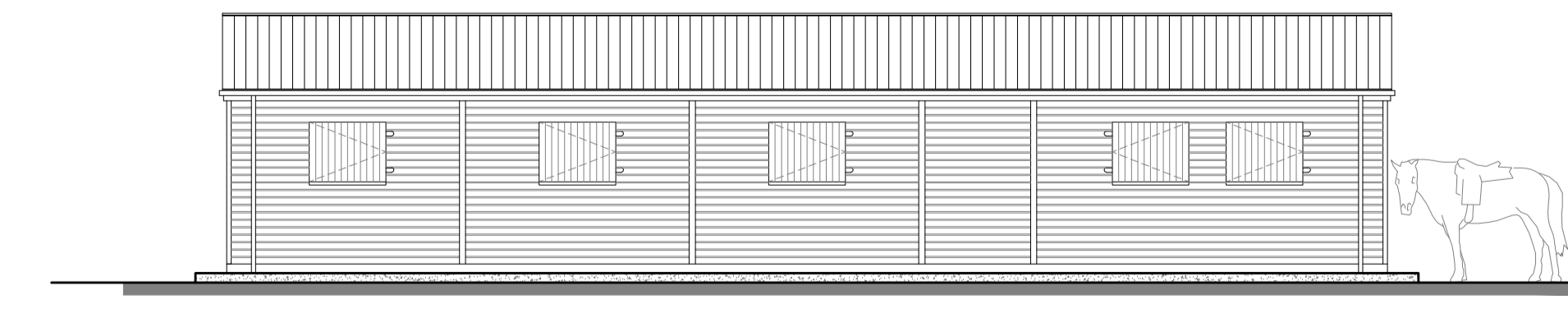
PROPOSED NORTH ELEVATION
 SCALE - 1:100



PROPOSED WEST ELEVATION
 SCALE - 1:100



PROPOSED SOUTH ELEVATION
 SCALE - 1:100



PROPOSED EAST ELEVATION
 SCALE - 1:100

CDM 2015

RISKS

- RESTRICTED ACCESS TO SITE.
- SITE WELFARE REQUIREMENTS.
- SITE CLEARANCE.
- EXCAVATIONS/CONCRETE WORKS.
- TEMPORARY SUPPORT.
- WORKING AT HEIGHT.
- INSTALLATION OF TEMPORARY AND RE-ROUTED SERVICES.
- HANDLING LOADS.