



DESIGN & ACCESS STATEMENT

Proposed housing development

at:

Land/barn adjacent to,
1A Field Head,
Shepley,
Huddersfield,
HD8 8DR

for:

Steve Sykes

job nr:

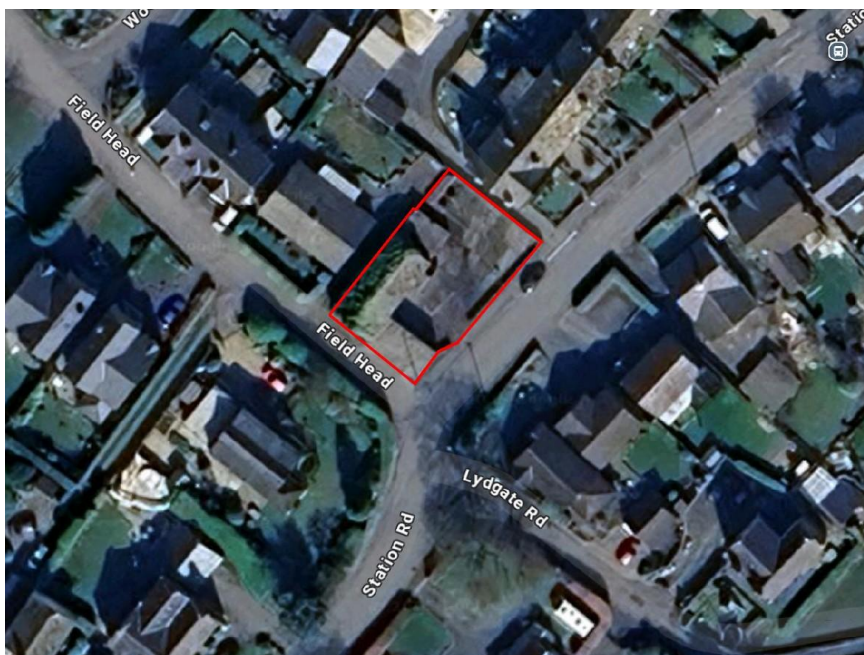
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date:

08 January 2026

Introduction

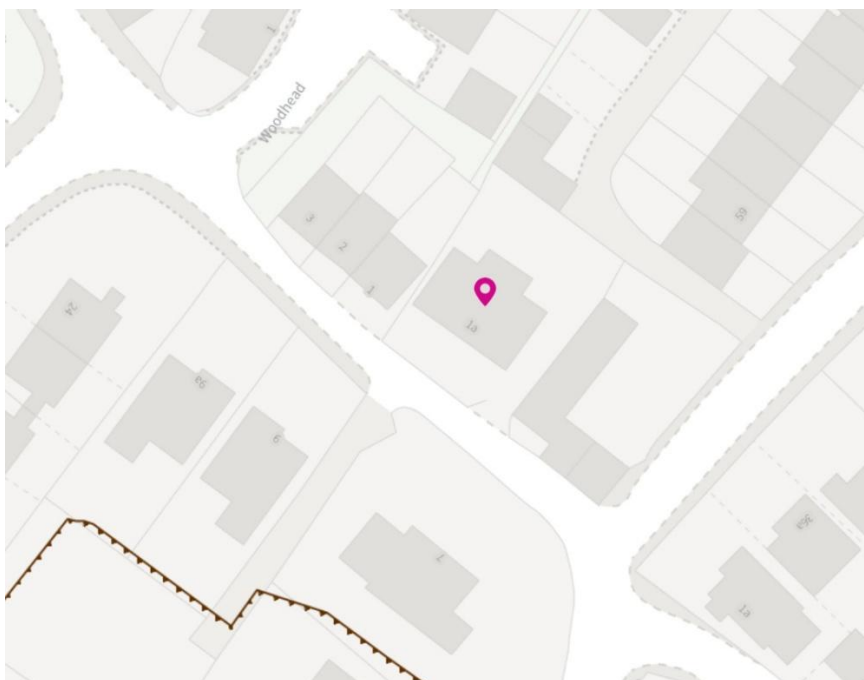
This Design and Access Statement has been prepared by **ADP Architecture and Design Ltd** on the instructions of Steve Skyes and provides sufficient information to accompany an application for a proposed housing development at land adjacent to 1A Field Head, Shepley, Huddersfield HD8 8DR.



The application site

The proposed application site is located at the junction of Field Head Road and Station Road in the Village of Shepley in West Yorkshire. The site is located just to the north of the village town centre.

The site is not located within the green belt or within the Shepley village Conservation Area as identified on the Kirklees Local Plan Map below.



Kirklees Local Plan Map

Site Context and Surroundings:

Shepley is a well-established village located in the Kirklees Metropolitan Borough of West Yorkshire, approximately 4 miles south-east of Huddersfield and 7 miles north-west of Barnsley. The village sits at the foothills of the Pennines and is characterised by a strong rural setting, with open countryside and agricultural land forming the immediate context to the north, east and south.

The settlement has a distinct village character, with development largely focused along the main routes of Abbey Road, Marsh Lane and Station Road. The built form is predominantly low-rise and residential in nature, comprising a mix of traditional stone cottages, Victorian and Edwardian terraces, and more modern detached and semi-detached dwellings. Local vernacular architecture is typically defined by coursed natural stone, pitched slate roofs and simple, robust detailing, which together create a cohesive and attractive streetscape.

Shepley benefits from a range of local amenities including a primary school, village shops, public houses, places of worship and a village hall, all of which contribute to a strong sense of community. The village is also served by Shepley railway station, providing regular connections to Huddersfield, Barnsley and Sheffield, and is well connected by local bus services. Footways and public rights of way link residential areas with the surrounding countryside, reinforcing the village's semi-rural character and accessibility.

Existing Use

The site is currently occupied by an existing stone barn formed in 3 sections. There is the original main stone barn with a dual pitched stone slate roof and which has the primary elevation facing Station Road, a later barn which abuts this which has a single pitched corrugated roof which faces Field Head, and a stone garage which is formed off the northeast gable of the main barn. The barn buildings constrain the site to the southwest and northwest boundaries, and a drystone wall forms the remaining boundaries to the southeast and northeast forming a largely rectangular site. The yard is all hardstanding.

The barn is no longer in use as a barn and is used currently as a domestic workshop/store.

Proposed Use

The proposals seek permission to demolish the existing redundant barn buildings and to provide a pair of semi-detached family homes. The proposed dwellings will have 3 bedrooms with accommodation over 2.5 floors.

Relevant Planning History

There have been no applications submitted with regard to this application site.

Site Photographs



Design, Appearance and Layout

Design and layout:

The proposals are for a pair of semi-detached dwellings with accommodation over 2.5 floors. The dwellings have been designed to provide well-proportioned family homes with 3 bedrooms. All spaces have been designed in accordance with the Technical Housing Standards – nationally described space standard.

The ground floor comprises the living room and an open plan dining/kitchen and ground floor WC. The first floor provides 2 bedrooms, a small study and a family bathroom. The attic floor utilises the roof space and provides a good-sized bedroom with en-suite and dressing room.

Detailed layouts showing the proposed plans have been submitted as part of the application.

Appearance:

There are a variety of styles in the immediately surrounding area, with dormer bungalows (assumed 1980's) to the southwest, 2 -storey detached stone dwellings (assumed 1990's) to the southeast, and stone 2.5 storey Victorian stone terraces to the northeast. Immediately adjacent the site to the northwest there is a stone-built bungalow.

The proposals are for a pair of traditional stone-built dwellings which will utilise traditional materials. The accommodation will be over 2.5 floors with the upper floor utilising the roof space.

The walls will be formed in locally sourced natural Yorkshire stone and detailing will be provided in the form of ashlar quoins and corbels. Window details will be enhanced with ashlar heads, cills and jambs.

The roof will be finished in stone slate, and the dormers will be finished with dark metal.

The entrance canopy will provide additional interest and will be formed in oak.

The windows will be flush sash casement windows in a light grey uPVC.

Scale

The dwellings provide 130m² GIA of accommodation over the 3 floors.

Landscaping and trees

The existing site is essentially fully hard landscaped and comprises of a mixture of tarmac, concrete, stone flags and gravel surfaces. There is an existing planter within the existing drystone wall to Field Head Road which is to be removed but this is less than 5 linear metres.

The proposals show well-proportioned rear gardens which will be turfed. There will also be a new hedgerow along the full boundary to the northeast. To the front of the property, boxed planters will be utilised to separate the driveways from the paved area in front of the dwellings.

Site Levels

The existing site levels are essentially flat. The dwellings work with the existing site levels, and any grading works will be minimal.

Access

The access to the dwellings will be from the Field Head Road. Each dwelling will have a driveway with sufficient space for parking 2 vehicles.

Level access will be provided at the principal entrance to the dwelling. At ground floor level there is WC.

Sustainability

The proposed development has been designed with sustainability and energy efficiency at its core. The new dwellings will incorporate air source heat pumps and underfloor heating to provide efficient, low-carbon space heating. Photovoltaic solar panels will be installed to generate renewable electricity on site, reducing reliance on fossil fuels and lowering operational carbon emissions. High-quality, thermally broken uPVC windows will be used throughout to enhance insulation performance and minimise heat loss. Together, these measures will contribute to reduced energy consumption, lower running costs for occupants, and a more environmentally responsible development.

Summary

ADP Architecture and Design Ltd believe that based on a careful and considered study of the area, a design has been proposed which provides two well-proportioned and sustainable family homes in this desirable village location.

ADP Architecture and Design Ltd