

**High Level Heritage Take-Down & Re-Build Philosophy**

**East elevation St John Williams Street, Huddersfield.**

REV 2

16/12/25



Henley Restoration and Remedials Limited, has been instructed by GMI to produce an initial high-level sequence of planned works intended to safeguard the façade during the planned take-down and rebuilding of the façade on the east elevation of St John Williams Street. This sequence will require further insight and development as we progress with the survey works currently instructed.

The sequence for the take-down and rebuild of the east elevation of the George Hotel, a listed building façade, involves several key phases to ensure the preservation of historical values and compliance with heritage regulations.



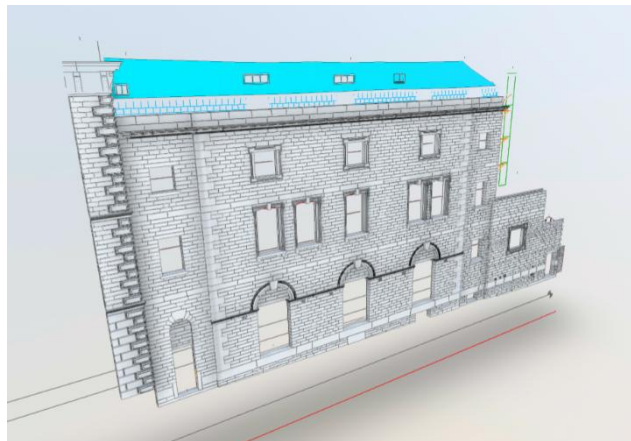
The sequence of works planned to facades is:

- 1) **Survey:** Conduct a thorough high resolution façade photogrammetry 3D survey. The survey of the building will document the existing condition of the facade and identify any areas requiring special attention, prior to any scaffolding or intervention works taking place, providing more time for all stakeholders to review the existing condition of the building. The survey will also provide a benchmark for its current condition. See QR code for example.

### [25021 The George Hotel-Reconstruction](#)

- 2) **Preparation:** Complete a survey to provide each stone with a unique reference recorded on bespoke stone take-down drawings. These drawings annotated with the following and will be developed during the take-down with the aim of having suitably developed drawings produced once the take-down works are completed:

- I. Unique stone reference number
- II. Stone sizes
- III. Repair plan
- IV. Alteration plan
- V. Opening dimensions
- VI. Setting out points
- VII. Running measurements
- VIII. Structural investigation requirements
- IX. Comments and notes for takedown and rebuild info
- X. Existing fixings
- XI. New intervention works i.e. restraints and new stone items
- XII. Arch formers



### 3) Planning

Produce a robust QA procedure and take-down stone schedule to record data and information to enable design development and rebuilding of the façade.

- I. Size of stone
- II. Condition of stone
- III. Photo of stone
- IV. Pallet number
- V. Status – spare, alteration, repaired or reused

### 4) Temporary works

Develop, design and produce a scaffolding access plan to accept loads from stone units on the building that need to be taken down, incorporating suitable lifting provisions, barriers, pit



lanes and logistical systems around the facade to ensure safety for workers, public and heritage assets. Secure the area to prevent damage to surrounding elements of the building.

Develop a temporary works strategy to safely transport stone, materials and equipment around the facade and in addition install supports and props to safely distribute facade loads ensuring suitable and effective removal and rebuilding of the stone facade. The control of the load paths during a facade take-down need careful and thorough planning and installation.

### 5) Investigations before take-down

- I. Inspect and understand the existing adhesive and mechanical qualities of the existing stones and jointing arrangements.
- II. Analyse the condition of the mortar and reproduce similar samples for reuse.
- III. Understand adhesive nature of existing stone and mortars.
- IV. To avoid excessive damage to the historical stone fabric of the building, a clear understanding of the jointing arrangement used during its original construction is essential.
- V. Typically joints of large historic stones are often grouted using at times a cementitious grout with an addition of a joggle joint arrangement to reduce lateral movement in the stone. Considerations around removal need to be developed before completing take-down starts and test take-downs should be considered and reviewed to avoid any uncontrolled or unnecessary damage.
- VI. Bronze dog cramps and or slate pegs are also used on heritage buildings to further strengthen the stone joints. Establishing suitable removal and reintroduction methods needs to be considered during the take down and rebuilding phases.



- 6) **Structural Assessment and Stabilisation** Before and during the facade take down, vigorously assess the structural integrity of the remaining framework. Make any necessary repairs or reinforcements to the underlying structure to support the rebuild is essential. Systematic planning will be needed with other trades involved in the scheme including demolition contractor, temporary works designers and installers thereby ensuring unison of working practices is understood and the works delivered to client satisfaction.

- 7) **Careful Dismantling of Facade:** Using specialised equipment, hand tools, chain blocks, lewis pins and stone lifting straps begin the systematic removal of stone units and materials. Work in a top-down manner, ensuring that any reusable materials, such as bricks, stone, or architectural elements, are carefully catalogued with a permanent mark (on an unseen face) or tagged items to distinguish them, so following its storage time, it can be relocated in the same position for rebuilding.

During the take-down phase it is important to clean stone bed joints and jointing materials at this point, before they are placed into storage, to avoid double handling and possible damage. All stones will be palletised with suitable softening placed on strap locations, once secured the stones are checked to ensure number references are visible and correct coding noted. Then the pallet will be weatherproof shrink-wrapped and logged on the take-down schedule QA document.



Once all checks are completed the stone can then be sent to the designated storage facility. At this point the positioning of the stone should be ordered in a manner that enables the first stone is the last to be taken and vice versa for the last stone to be placed into storage. Stone should be stored on a hard surface and stillages to ensure good airflow around the unit and that they do not become overly saturated.

- 8) **Storage:** All stones will be placed into storage; at this point the stones that need reworking can be carefully resized to suit any new proposed plans. Alteration stone will be picked out from storage and reshaped in our masonry workshop. Once reshaping has been completed this will be logged on QA check sheet and the stone allocation schedule amended. Keeping good records is critical to any rebuilding project.
  
- 9) **Rebuilding Process:** Begin reconstructing the facade by using approved GA drawings and take-down information that have been developed during the take-down is highly important. Reusing original materials is the primary objective of all rebuilding of listed or historically significant buildings. If new materials are required, careful selection of compatible stone that match the historical stone is utilised.
  
- 10) **Restoration of Architectural Features:** Once the stonework element has been rebuilt it is important to survey the completed structure and restore or replicate any decorative features, including mouldings, cornices, windows, and doors, to match the original design. Provision of this must be completed sympathetically to ensure the historical qualities of the building are not lost.
  
- 11) **Finishing and Final Inspection:** Complete the facade rebuild by applying appropriate finishes, ensuring they blend with the building's historical appearance, along with selective cleaning methods. Perform a final inspection to verify that all work complies with preservation standards.



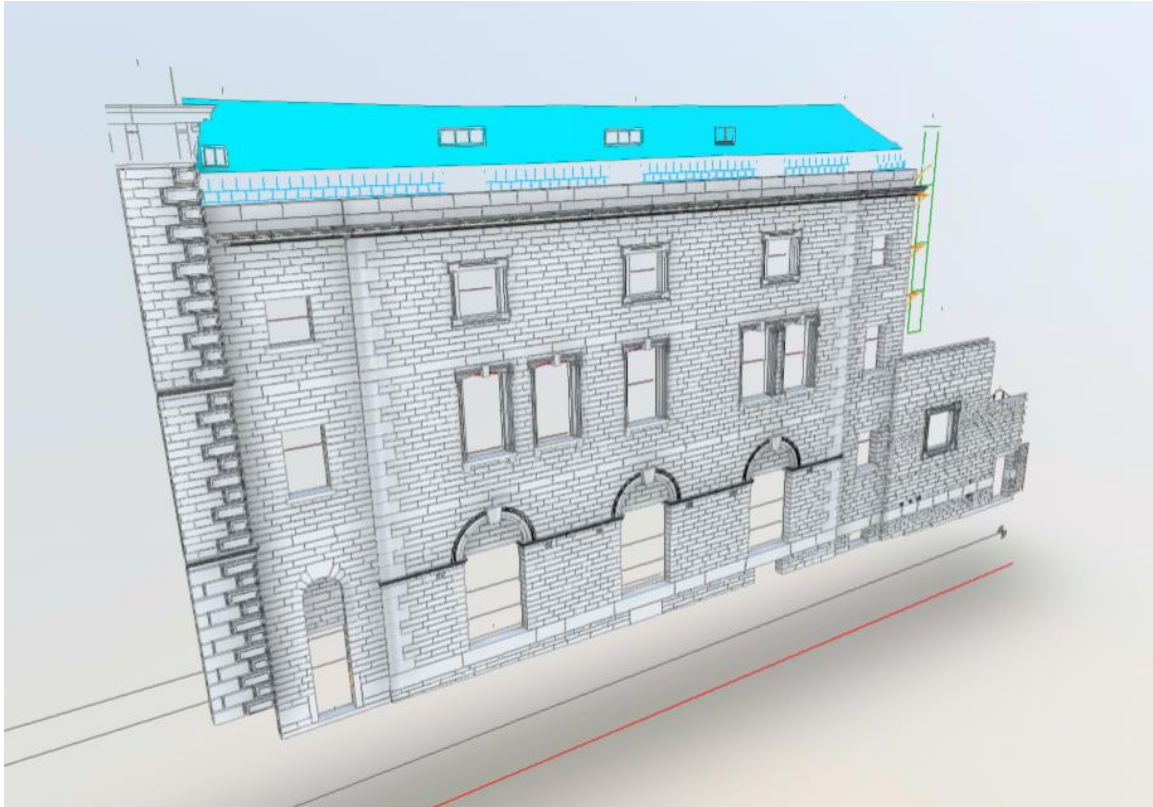


Figure 1: 3D model view of the east elevation (provided). To be used to coordinate the take down sequence.

**Stone Pier and Boundary Railings – Take-Down, Storage and Reinstatement**



Undertake a heritage-led record, careful dismantling, off-site storage and reinstatement of the existing stone boundary wall pier, coping stones and associated metal railings. Works will prioritise reuse of historic fabric, like-for-like repair where required, and a clear audit trail from survey through to rebuild. No dismantling will commence until required heritage approvals/consents and the recording methodology are agreed.

**1. Recording and pre-take-down survey**

- i. Prepare bespoke take-down drawings (elevations and plan) to enable stone-by-stone referencing and rebuild setting-out, similar to the existing Revit model completed above.
- ii. Mark each stone with a unique identifier on an unseen face.
- iii. Record for each unit: reference/location, dimensions, condition/defects, required repair/alteration, and existing fixings; photograph each unit and cross-reference to drawings and schedule.
- iv. Produce a take-down schedule linking stone references to photograph numbers and pallet numbers.
- v. Record key overall set-out information (levels, plumb, gauge, pier geometry) to enable accurate reinstatement.



## 2. Careful dismantling and removal sequence

- i. Establish protection/exclusion zone and protect adjacent surfaces; confirm temporary stability requirements prior to removal of railings/copings.
- ii. Remove railings in manageable sections (approx. 3 linear metres), retaining and labelling fixings where they are to be re-used.
- iii. Lift coping stones and pier/wall units using appropriate lifting straps/lewis pins/chain blocks suited to stone size and condition, avoiding edge loading.
- iv. Clean bed joints with hand tools and remove loose debris/mortar from stones prior to storage to reduce double-handling and risk of damage.
- v. Photograph and log each unit as it is removed and cross-reference to the take-down drawings and schedule.
- vi. Segregate any stones identified as beyond repair for heritage sign-off prior to replacement.

## 3. Handling, palletising, transport and off-site storage

- i. Palletise stones with protective packers at strap locations; strap carefully to avoid edge spalling; ensure stone references remain visible and legible.
- ii. Shrink-wrap or otherwise weatherproof pallets; log pallet ID, contents, and destination. Anticipated storage: approx. 6 pallets of stone and railings off-site.
- iii. Store on hard standing/stillages with airflow around units; avoid prolonged saturation and standing water; protect vulnerable arrises and carved/tooled faces.
- iv. Arrange storage sequence to support efficient rebuild (units required first stored for earliest retrieval).
- v. Maintain chain-of-custody records for all loads (collection, delivery, condition on arrival).

## 4. Rebuild and reinstatement

- i. Rebuild ashlar wall and pier using salvaged stones; replace only those assessed as beyond repair and signed off. Where new stone is required, select matching material (geology, colour, finish/tooling) and replicate original profiles.
- ii. Mortar to be matched for appearance and performance (colour/aggregate/joint profile) following sample analysis; joints to match original widths and finish; allow appropriate curing/protection.



- iii. Reinstall railings using retained fixings where serviceable; introduce discreet new compatible fixings only where required (non-ferrous/stainless as appropriate) and without damaging adjacent historic fabric.
- iv. Final alignment checks for levels, plumb, and railing line prior to full cure/close-out.

### 5. Metalwork repairs and decoration; QA and handover

- i. Inspect railings on removal and again prior to reinstatement; undertake localised repairs before decoration.
- ii. Prepare surfaces (cleaning/degreasing; remove loose paint/rust; spot-prime where required). Manage any hazardous coatings in accordance with regulations (e.g., lead-based paint precautions if present).
- iii. Apply two coats of Metalshield paint in black (or agreed equivalent heritage-compatible coating system). Protect newly decorated metalwork during remaining activities.
- iv. Maintain a QA schedule including: stone reference, photo record, condition, pallet number, and reuse/repair/replacement status.
- v. Hold-point inspections at: completion of recording; completion of dismantling; pre-rebuild setting-out; completion of rebuild and railings reinstatement.
- vi. Provide close-out pack including updated take-down drawings, pallet logs, photographs, mortar/stone match records, and final inspection notes.

