

Revisions:

Rev A	11.12.2020	RB/SH
Plots 17-20 updated		
Rev B	15.12.2020	RB/SH
Plots 17-20 updated		
Rev C	17.12.2020	RB/SH Plots
17-20 paving updated		
Rev D	15.01.2021	WSM/SH
Bin position to plots 17-20 updated, section of 1.5m high fence added and EVC points updated following planning officer comments.		
Rev E	24.02.23	JNK/SH
Visitor parking bay added.		
Rev F	20.08.25	WSM/SH
Plots 9, 16 & 26 updated to detached dwellings. Private double pumping station indicated as client instruction.		
Rev G	02.09.25	MN/SH
Minor updates following internal review.		
Rev H	05/09/2025	BG/SH
Changed from double pump station and altered surrounding boundary		
Rev J	22/09/2025	WSM/SH
2nd path from rear of plot 15 removed following client request.		
Rev K	25/09/25	BG/SH
Updated client logo to Stonewater. Plot 14 made into detached unit. Plots 15 & 16 combined into semi detached plots.		
Rev L	13.10/25	WSM/SH
Pedestrian with cycle access path updated.		
Rev M	28.10/25	MN/SH
Sub-Station removed.		
Rev N	03.11/25	MN/SH
Pedestrian with cycle access path updated as requested by the client.		



Boundary Treatment

- 1.1m high black powder coated metal railing.
- 1.1m close-boarded timber fence.
- 1.5m close-boarded timber fence.
- 1.5m close-boarded timber fence with 300mm trellis on top.
- 1.8m close-boarded timber fence.
- 1.8m lockable timber gate.
- 2.5m Acoustic fence see acoustic report for details.
- 1.0m brickwork wall with piers and twice weathered artstone copings.

Retainment Key

- Proposed gravel board to engineers specification.
- Proposed flag on edge to engineers specification.
- Proposed retaining wall to engineers specification and design with edge protection.

Key

- Car parking space with access to electric vehicle charging
- Indicative car charging point (wall mounted)
- Indicative car charging point (on post-protected cables supply below ground)

Note:
The attached layout indicates the proposed locations of electric vehicle charging points comprising an external IP65 / IP66 rated domestic 3 pin socket with a 16/32amp cable suitable for Mode 2 electric vehicle charging (with the possibility of future upgrade to Mode 3 charging via a One Stop upgrade kit) directly wired to the consumer unit with an appropriated RCD. Each point to have internal isolation switch and lockable cover over the socket.

General Notes

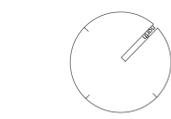
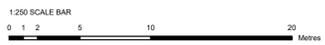
Schedule of Accommodation		
1B2P	@45m ²	-02no.
1B2P	@51m ²	-02no.
2B4P	@67m ²	-03no.
2B4P	@69m ²	-06no.
3B5P	@82m ²	-13no.
Total		-32no.
Site area	-01.04ha	-02.57acres
Density	-30.77units/ha	-12.45units/acre

Notes
Layout based on topographical survey by Eilam Land Surveys. Drawing number: (7512/1C).
Tree survey based upon Tree Survey by JCA. Reference 13778/TT
Redline Boundary interpolated from title plan YY118274 and WYK756881.
Layout dependant on Statutory Services Information & subject to Highway approval.
Drainage strategy subject to further detailed design, subject to Phase 1 & II Geo-technical Survey and Drainage Assessment.
Boundary Treatments & Finish floor levels subject to further detailed design.
Aspect distances subject to agreement with local authority.
Pumping station shown indicatively. Subject to engineers detailed design.

General Key

- Existing tree, refer to tree report for root protection zones.
- Existing trees to be removed.
- Indicative car charging point (wall mounted)
- Indicative car charging point (on post-protected cables supply below ground)

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STONEWATER

Scale	1:250 @ A1
Date	Nov. 2025
Drawn/Checked	WSM/SH
	3001.09.603
Status	S0 Rev N

ACANTHUS ARCHITECTS

Site Layout

Field Head Lane

Birstall