



W06 Interior - photograph shows the current problem with excessive ingress of rain water penetrating through the existing ashlar mullions and failed pointing



Assessment of repair works required to chimney stack to stop current issue of water ingress down flue.



Due to failed areas of pointing to chimney stack, launching and water table, local repair and repointing is necessary. The extent of which should be reviewed once high level access is available to carry out repair works.

Existing roof window shown dotted, to be replaced with conservation rooflight CR11-3 to existing sloped roof



New boiler flue extract located to existing roof to serve relocated boiler to attic



Existing boiler flue to be removed and filled following re-location of boiler to attic

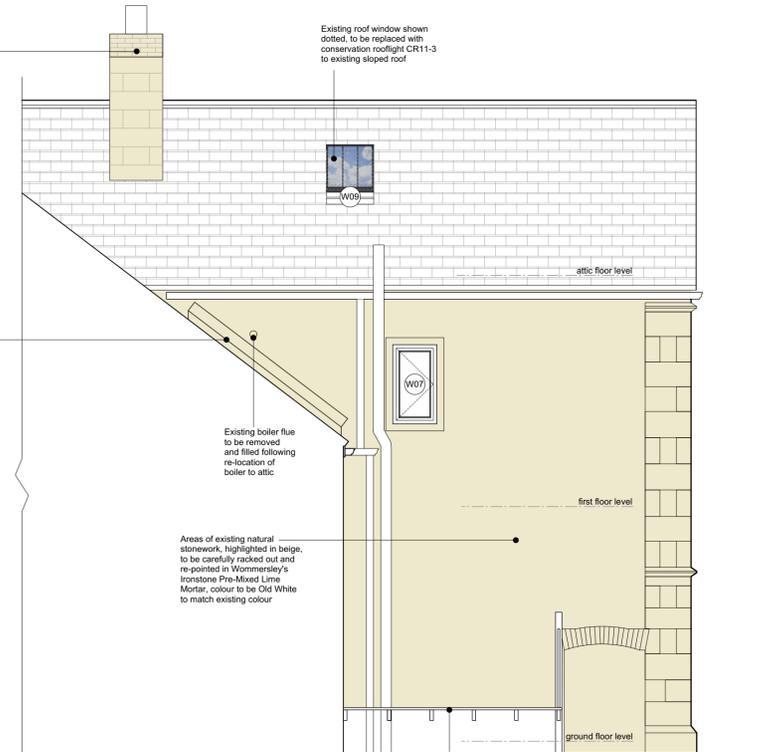
Areas of existing natural stonework, highlighted in beige, to be carefully raked out and re-pointed in Womersley's Ironstone Pre-Mixed Lime Mortar, colour to be Old White to match existing colour



front elevation - south



side elevation - west



rear elevation - north

Large areas of existing natural stonework to exterior walls show failed cement pointing. This is to be carefully raked out and re-pointed in Womersley's Ironstone Pre-Mixed Lime Mortar, colour to be Old White to match existing colour

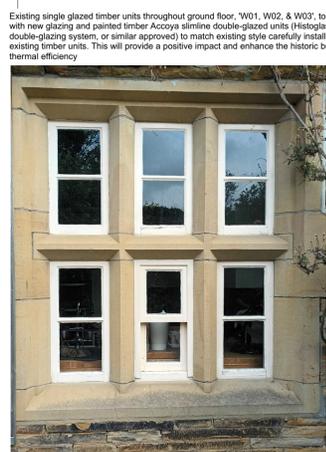
All existing stone mullions to be re-pointed in Womersley's Ironstone Pre-Mixed Lime Mortar, and treated with Stormdry Masonry Protection Cream to resist rain penetration



W02 Exterior

Window type: 9 fixed, 1 sash
Location: Lounge, front elevation - south

Condition: Existing windows are not original. They consist of single glazed painted timber windows that are, generally, in a good state of repair due to good upkeep practices. However, their integrity and performance has been degraded over time and the opening sashes are paint fast and currently do not open. The single glazing is thermally inefficient and gathers excessive condensation



W01

Window type: 5 fixed, 1 sash
Location: kitchen, front elevation - south

Condition: Existing windows are not original. They consist of single glazed painted timber windows that are, generally, in a good state of repair due to good upkeep practices. However, their integrity and performance has been degraded over time and the opening sashes are paint fast and currently do not open. The catch to the sash is broken. The single glazing is thermally inefficient and gathers excessive condensation



W03 Exterior

Window type: 9 fixed, 1 sash
Location: Lounge, front elevation - west

Condition: Existing windows are not original. They consist of single glazed painted timber windows that are, generally, in a good state of repair due to good upkeep practices. However, their integrity and performance has been degraded over time and the opening sashes are paint fast and currently do not open. The single glazing is thermally inefficient and gathers excessive condensation



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P01 Drawing originated 27.09.25 PM PM
rev. description date drawn appvd

project Repairs, renovations and alterations
at
Grange Cottage Kirkby Grange Farm,
Clough Rd, Flockton, WF4 4AQ
for
Miss P. McAllister

title As proposed elevations
number GC-04-P01
scale 1:50
size A1