



**Land Adjacent to Chaplegate, Scholes, Holmfirth,
Construction Environment Management Plan**

Job Number
LKM 25 1009

Report Date
25th September 2025

Client
Ecoholmes Community Land Trust

 www.thelkgroup.com

Ground Investigation | Land Remediation | Project Management


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DOCUMENT QUALITY ASSURANCE

Site Address	Land Adjacent to Chapelgate, Scholes, Holmfirth HD9 1SX
Report Title	Construction Environment Management Plan
Job Number	LKM 25 1009
Client	Ecoholmes Community Land Trust

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Written By	Michaela Sheppard		
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Appendix 1 – Site Access and Deliveries Plan

Introduction

A summary of the site details is presented in Table 1-1. Figure 1 indicates the site location and boundary plan. Figure 2 indicates the proposed development. Figure 3 indicates access to and from the site.

Location	Site located south of Chaplegate, Scholes, Holmfirth. The site is bounded to the east by Dean Bridge Lane. Centred at National Grid Reference 415863E, 407161N.
Current Site Use	Vacant area, mostly covered by compacted gravel with a small area of soft landscaping to the north-east. The site is bound by a dry stone wall and a previously quarried rock face to the east.
Proposed Development	10no. new high quality residential affordable for rent properties with associated car parking, landscaping and boundary treatments.

Table 0-1: Summary of site details.

This document has been submitted as part of a planning application for the development and addresses the local planning authority's requirement for a Construction Environment Management Plan (CEMP). The contents address each of the requirements set out by the LPA as below;

- a) Timetable of all works;
- b) The construction access(es) and confirmation that adequate visibility splays shall be provided prior to the commencement of development including groundworks;
- c) Vehicle sizes and routes, times of vehicle movements, identify the location of any HGV waiting areas and include details of the management of said areas;
- d) The parking of vehicles of site operatives and visitors;
- e) Details and location of signage;
- f) Loading and unloading of plant and materials;
- g) Storage of plant and materials used in constructing the development;
- h) The erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;
- i) Measures to be taken to minimise the deposit of mud, grit and dirt on public highways by vehicles travelling to and from the site, including the provision of adequate wheel washing facilities within the site;
- j) Measures to control and monitor the emission of dust and dirt during construction;
- k) A Site Waste Management Plan, detailing recycling/disposing of waste resulting from demolition and construction works;
- l) Mitigation of noise and vibration arising from all construction related activities to (these details should also include suitable restrictions on the hours of working on the site including times of deliveries);
- m) Artificial lighting used in connection with all construction related activities and security of the construction site;
- n) Site manager and resident liaison officer contact details (including their remit and responsibilities); and
- o) Details of engagement with local residents and occupants or their representatives and include contact details of the site manager and/or a point of contact for residents in the event of any issues arising through the construction process.

1. Programming and Working Hours

Programme details are in the preliminary stages of development and are subject to change dependent on the main contractors' availability, mobilisation periods and the employer's requirements. The following phasing is intended as an outline only.

All subject to main contractor's detailed project programme:

Construction Works	-	Date to be confirmed
Working hours	-	07:00 – 18:00 Monday to Friday
	-	07:00 – 14:00 Saturday (intermittent)

2. Site Management, Visibility Splays and Access

During any earthworks, access will need careful consideration, and the contractor will liaise with the Local Authority over relevant access and permissions (eg section 80). Due to the fact the site is self-contained there will not be any need to affect the adjoining properties however consideration will need to be given to the boundary treatments and walls etc.

During the construction phase, access to the site will be via the front entrance off Chapplegate. The site will be fenced with a set of gates from Chapplegate to control access and security.

Access gates will be manned during site hours and locked shut out of hours.

The main contractor will be required to take full responsibility for controlling the highway sweeping operations, ensuring all the approaching footpaths and driveways are kept clean and clear at all times and ensure the site is kept in a clean and tidy condition throughout all phases of the construction works.

Throughout the project the main contractor will be required to enforce a "Good Housekeeping" regime. A strategy will be incorporated into the site induction to ensure that all operatives engaged on the works are familiar with the work in progress, skilled at their task, aware of their duties and responsibilities to others and knowledgeable of the site rules.

Visibility splays will be provided and then maintained during the works at 33m to the east and 39m to the west of the entrance during the construction phase. These are shown on figure 1 in the appendix of the report.

3. Vehicle Deliveries and Locations for the Storage of Building Materials

All building materials and plant will be delivered and stored within the confines of the site boundary. To enable safe site operations, all unloading, storage and distribution of materials will be within the site boundary. This will ensure site staff, operatives and the general public's safety is maintained at all times.

The site supervisor will assist in the safe unloading of deliveries. Materials will be unloaded on the front of the site by means of mechanical lifting equipment where possible. Materials will then be manually transported by site operatives, along the designated paths.

The vehicle sizes for deliveries will range from articulated 16.5m wagons to transit sized vans which include building materials and plant deliveries.

Access to the site will be in accordance with the route plan as contained in the appendix of this document with a preference via Scholes Moor Road then Chapplegate and an alternative via White Wells Road then Chapplegate when necessary.

Vehicle movements will not be permitted until the site operating items within section 1 and deliveries will not be permitted to idle outside the site entrance. Deliveries to site will be scheduled not to overlap with just in time deliveries however on the rare occasion where HGV's will need to wait, a safe and legal parking area will be identified by the contractor and coordinated accordingly.

Please see Appendix 1 which details the proposed locations of materials storage, waste and loading/unloading areas within the site.

4. Parking and Signage Arrangements

There are a limited number of parking spaces available outside of the site therefore parking for the sites will be contained as much as possible on site. Information on public car parking facilities and parking restrictions will be distributed to all suppliers, contractors and visitors prior to their visit to site.

Site management will be provided to ensure site operatives and visitors vehicles are parked in accordance with the Highway Code when space is not available on site.

The main contractor will be encouraged to promote shared transport and public transport to limit vehicles arriving at site.

Signage will also be provided near the site entrances warning of hazards with construction traffic and also within the site to inform delivery drivers of agreed routes to exit the area.

5. Locations for Storage of Construction Debris

All construction debris will be transported directly to onsite skips and or wagons. The main contractor will be required to ensure that no debris, other than that stored in skips, is left on site at the end of the working day other than processed crush or spoil material for re-use or disposal.

Furthermore, a Site Waste Management Plan (SWMP) will be produced and maintained during the project.

6. Locations for the Storage of Contractors Offices

The main contractor will be required to allow for the set-up of Portakabin type contractors offices for the duration of the works within the site area including self-contained accommodation/welfare units.

Lighting will be positioned to provide safe access around the site in winter months but will be sensitively located so as not to cause disruption to neighbouring residents.

Appendix 1 details the proposed locations of the storage containers, however, this is subject to change throughout construction to allow the works to progress.

Consideration will be given to the location of nearby residential properties on Chaplegate.

7. Site Security

Security of the site will be applied through the application of physical and operational measures.

Physical measures are infrastructure designed and deployed to support security; the main contractor will be required to ensure the following physical measures are in place at suitable times of the day:

- a) Containment and Obstacles (fences, barriers, bollards, gates, secure storage etc.)
- b) Technical Systems (lighting, CCTV, access control systems, intruder detection, asset management and control systems etc.)
- c) Containment is applied to the perimeter of construction sites, to delineate the area under control, prevent accidents to non-site personnel and to deny access to unauthorised personnel.
- d) Gates and other perimeter openings will be designed in such a way as to permit control – and blocking – of inbound and outbound foot and vehicular traffic.
- e) Secure storage to be provided for high-value tools and equipment and for control and secure parking of high value plant.
- f) Site staff will be required to return plant and materials to the secure areas after use.
- g) Keys for vehicles and plant will be secured properly when not in use.
- h) Technical systems will be deployed, to include CCTV, alarm systems and adequate lighting

The main contractors' security measures will be reviewed on a weekly basis as the project progresses.

8. Dust Mitigation and Suppression Measures

The contractor will be required to implement the following measures to control the spread of dust, smell and other effluvia:

- a) Work in dusty areas to be fenced off with 1200 gauge membranes
- b) Locate machinery and dust generating activities away from receptors
- c) Create a physical distance and/or barrier between dust/emission generating activities and receptors
- d) Install solid screens or barriers around dust generating activities. These should be at least as high as any stockpiles onsite
- e) Cover stockpiles to prevent wind whipping
- f) Remove loose materials as soon as possible
- g) Hoardings, fencing, barriers and scaffolding should be regularly cleaned using wet methods
- h) Where possible cutting, grinding and sawing to be conducted off-site and prefabricated material and modules to be brought in.
- i) In cases where on site cutting and grinding must take place the main contractor will ensure that spraying water, from a water efficient spray pump, over the material as it is being cut will be implemented

- j) Skips, chutes and conveyors will be completely covered to ensure that dust does not escape.
- k) Similarly, drop heights will be minimised to control the fall of materials.
- l) During demolition, materials will be wetted with a water bowser and jet wash to keep dust down.
- m) Deliveries will be made on a clean area to minimise the need for wheel washing.

It is intended to review the effectiveness of the above dust mitigation measure as part of the weekly site meeting. As a minimum the mitigation measures will comply with S.72 of the Control of Pollution Act 1974 and BS5288.

Particular attention will be given to any remedial work to the former quarry face that may need specialist works taking place on.

9. Removal of soils / demolition arising from site

Soil waste will be mechanically transported to skips and of wagons located to the front of the site. The main contractor will be required to coordinate the removal and changeover of skips to ensure traffic flow is not adversely impacted. The roadside will be supervised by site operatives during the delivery and removal of skips.

The main contractor will be required to ensure the flow of traffic or use of footpaths is not restricted during the works.

The proposed locations of the main stockpiles of soils and demolition arisings will be located as per Appendix 1, however; there will be occasions where they will need to be moved to allow the works to progress.

10. Noise & Vibration Mitigation Measures

The main contractor will be required to ensure neighbouring properties are not adversely affected by unnecessary noise. Residential properties are located adjacent to the west of the site. The north and east of the site are bounded by Chaplegate and Dean Bridge Lane which also contain residential dwellings. Other residential properties are located to the north of the site and playing fields are located to the west of the site off Chaplegate.

Under section 60 of the Control of Pollution Act 1974 the Local Authority has powers to control noise and vibration from construction sites. The following mitigation measures are intended to create a proactive approach to noise and vibration and ensure the impact on neighbouring properties are minimised:

- a) The timing of noisy operations will be carried out between 9am and 5pm Monday to Friday. Noisy works required outside of these times will be carried out only with the prior agreement with the employer.
- b) Sub-contractors will be required to ensure that “best practical means” to minimize noise from their activities are put in place.
- c) The use of radios or music equipment on site will be prohibited
- d) The main contractor will be required to ensure the proper maintenance of plant and equipment.
- e) The sub-contractor will be expected to provide details on the choice of appropriate plant for a particular task. Poorly maintained plant and equipment can give rise to excessive

noise and the failure to use the built-in noise control shielding on plant can cause problems.

- f) The use of mains-powered electrical equipment will be encouraged (rather than using generators)
- g) All work to be carried out to British Standards Institution BS 5228: Noise and Vibration control on construction and open sites Part 1-4 1997 Code of practice.

11. Measures to prevent pollution to the local environment

The contractor shall use fuel tanks with double banded systems including a mobile drip tray to minimize the impact of any fuel or lubricant spillages. Furthermore, there shall be a fenced-off area signed and dedicated to refuelling that is easy to access for tankers and machines that require refuelling.

A spill kit shall be signed and located next to the refuelling area and will include as a minimum the following items;

- Protective clothing (gloves, overalls, overshoes, safety goggles)
- Absorbent materials (paper towels, spill pads, spill socks)
- Disposal bags with tape or twist ties
- Dustpan and polypropylene brush
- Container for waste
- Gully covers

Contact details shall also be located within the construction phase plan for Yorkshire Water.

There are no open watercourses in the immediate vicinity of the site with the nearest stream to the site being approximately 300m to the south on Dean Bridge Lane.

Vehicles will be checked prior to leaving the site to ensure mud or site waste is not deposited on the roadway. During early phases of the groundworks a jet wash cleaning area will be located at the exist to the site prior to base course tarmac being installed to the roads where the site will remain clean and free of mud.

12. Community engagement and complaint procedure

The employer and the main contractor will liaise with local residents who may be affected by the works. It is intended to ensure local residents are informed of the nature of the works, proposed hours of work and their expected duration. Communications will include the name and telephone number of a main contact (site manager) which will also be displayed on the site hoardings, the contact for the project will be the site manager as follows - Josh Morris, email: mallinsonyorkshireltd@outlook.com Mobile: 07827 336 506.

The site manager will be able to provide further information to the caller and deal with any complaints or emergencies that may arise at any time.

The main contractor will be required to make their complaints procedure available to the employer and hold copies on site.

All complaints are to be investigated in accordance with the main contractors' complaints procedure in the first instance. If the complaint cannot be resolved to the satisfaction of the client, then the matter will be referred to the employer.

A record will be kept on site of any complaints that are logged along with details of subsequent investigations and any mitigation methods implemented or work practice that has been modified. Such records are to be made available to the employer and / or the local authority on request.

All site staff are to be regularly briefed regarding the complaint's procedure.

13. Construction methods

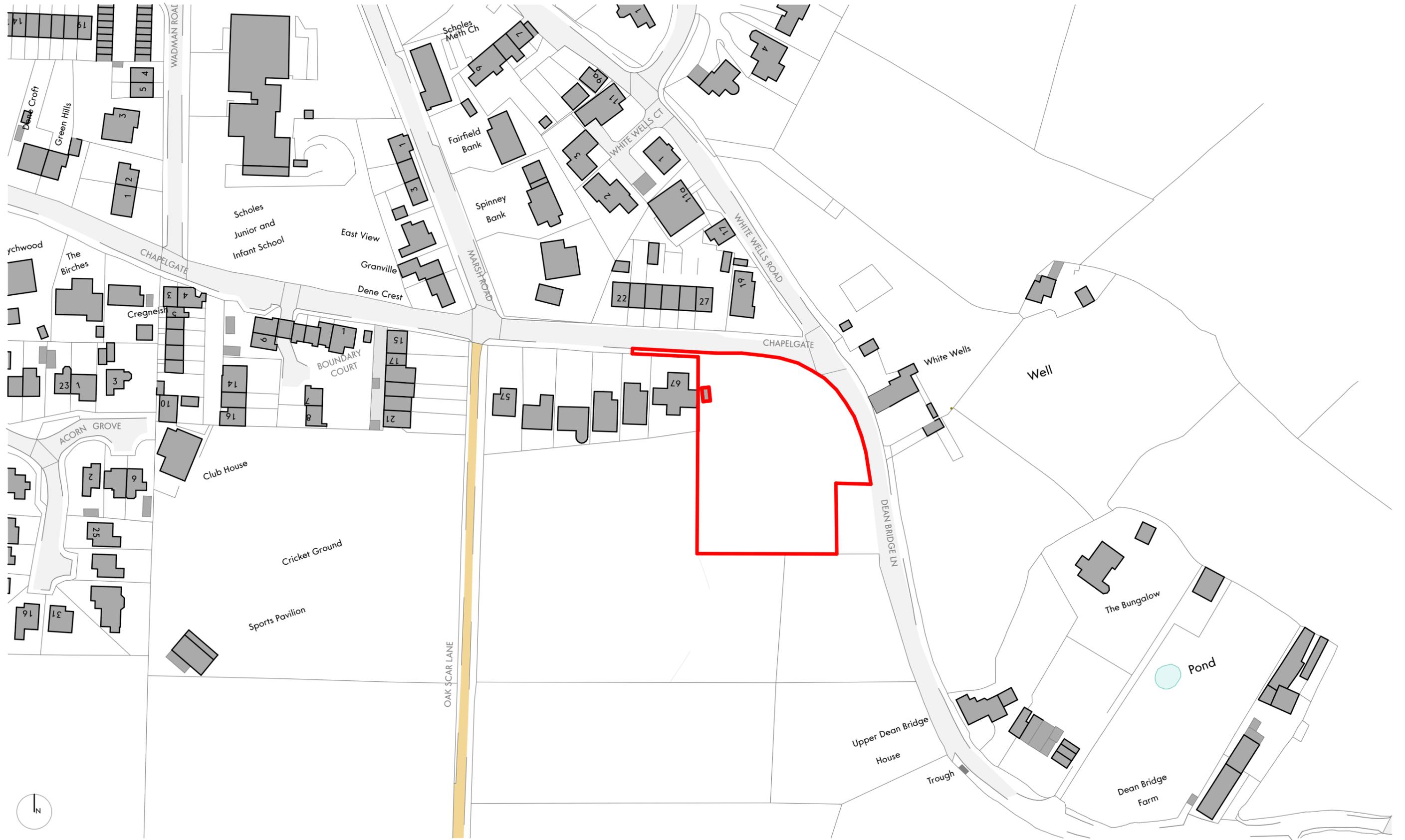
Special attention will be given to working adjacent to the neighbouring properties. Work package specific method statements will be received from the main contractor and each sub-contractor prior to work starting on site.

All excavations and work areas will be adequately fenced and signposted.

All personnel on site will wear full Personnel Protective Equipment at all times and all operations will be carried out in accordance with approved risk assessments and method statements and in accordance with the Construction (Design & Management) Regulations 2015.

Figures

Appendix A – Site Location Plan



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All drawings and specifications should be read in conjunction with the project health and safety plan, any possible conflicts should be presented to the Planning Coordinator.

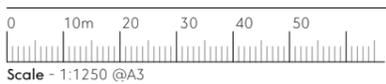
All work to be carried out in accordance with current Building Regulations.

Contractors must verify all dimensions at the job before commencing any work or making shop drawings.

Written dimensions should be taken. Do not scale off drawing. Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.

KEY
 Site Development Boundary



P02	17.08.22	Site Boundary Updated	CT	DT
P01	12.04.22	First Issue	CT	DT
Rev	Date	Comment	Dr	Ch
<small> P:\Projects\1202\CA02\146212112_EcoHolmes_Chippings Dump Site\A_Architects\GWP\146212112_BK_Chippings Dump Site - (462)2112-GW@P-01-DR-A-Huddersfield_EcoHomes_P04.pln </small>				

GWP Job Reference (462)2112

Job Title **Chippings Site, Scholes**

Client  EcoHolmes Community Land Trust
 AFFORDABLE LOW ENERGY HOUSING FOR THE HOLME VALLEY

Site Location	
Name	(462)-GWP-01-01-D-A-(PA)-0001
Scale	1:1250@A3
Revision	P02
Drawn/Checked	CT / RT
First Issue	12.04.22
Drawing Status	S2 - WIP



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Appendix B – Proposed Development Plan

- Key:
- Site Development Boundary
 - Retained Trees
 - Proposed Trees

- 2b 4p Home 7
- 2b 4p Home Part M4(3) 1
- 3b 4p Home 2
- Total Dwellings 10

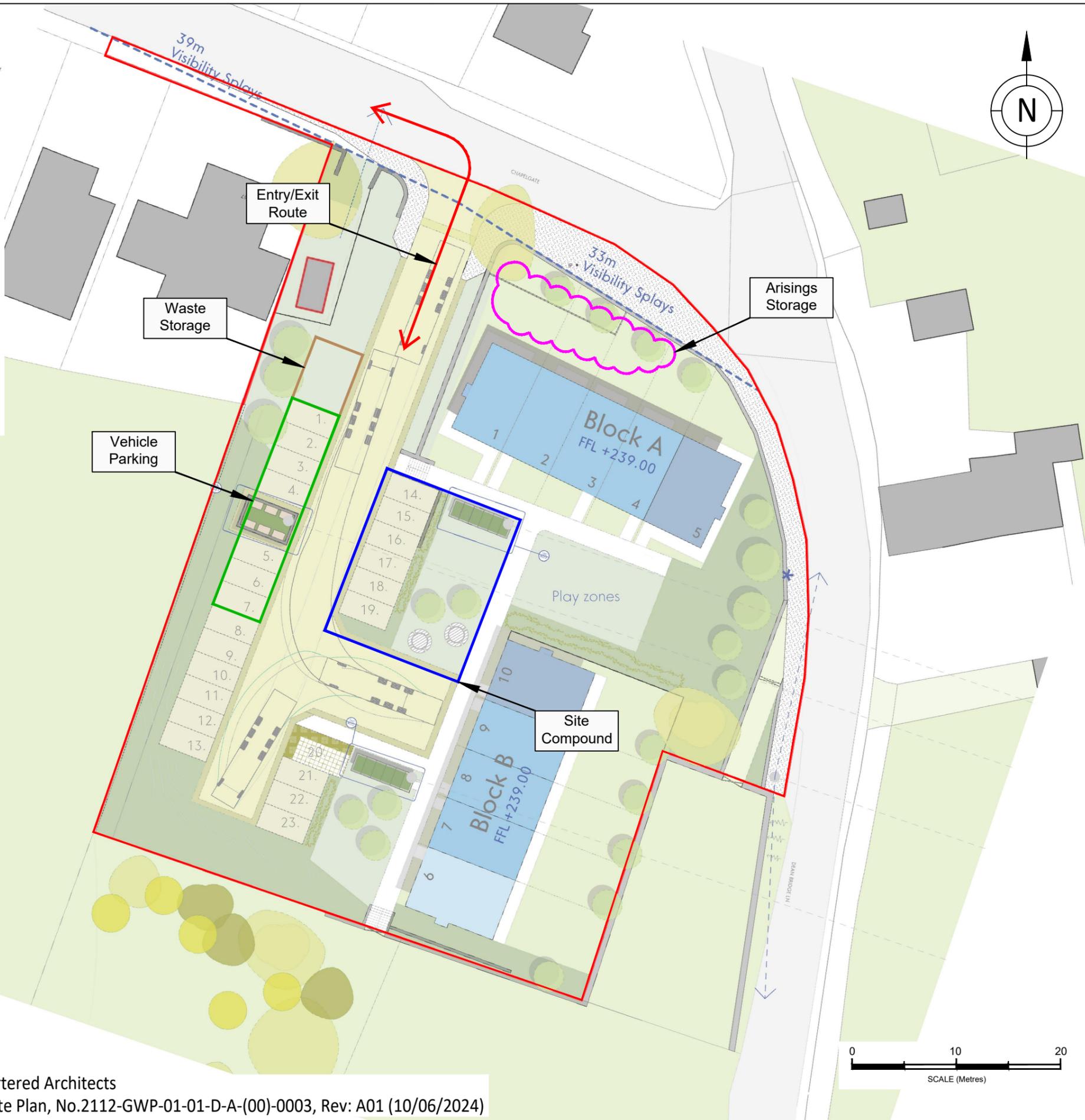
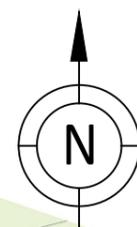
Kirkees Refuse Vehicle Dimensions
 Length: 10.22m
 Width: 2.53m
 Height: 3.21m
 Turning Radius: 9.45m

Tree layout outside site ownership boundary indicative. Confirmation subject to tree survey

* New Village Welcome Sign. Exact location TBC

KEY

- Site Boundary
- Vehicle Entry & Exit
- Arisings Storage
- Waste Storage
- Site Compound
- Vehicle Parking



Sampling Locations and features annotated by LK Management Ltd are approximate and are based upon observed measurements unless otherwise stated. Do not scale from this drawing and work from marked dimensions only. All dimensions and features should be confirmed on site by the Contractor. Where this drawing includes information provided to LK Management Ltd by others, LK Management Ltd gives no warranty, representation or assurance as to the accuracy of such information.



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Client: Ecoholmes CLT			
Site: Land Adjacent to Chapelgate			
Title: Construction Environment Management Plan			
Job No.:	Scale (See Scale Bar):	Figure:	Revision:
LKM251009	See Scale Bar	2	
Drawn By:	Checked By:	Drawn:	
AC	CL	Sep 2025	

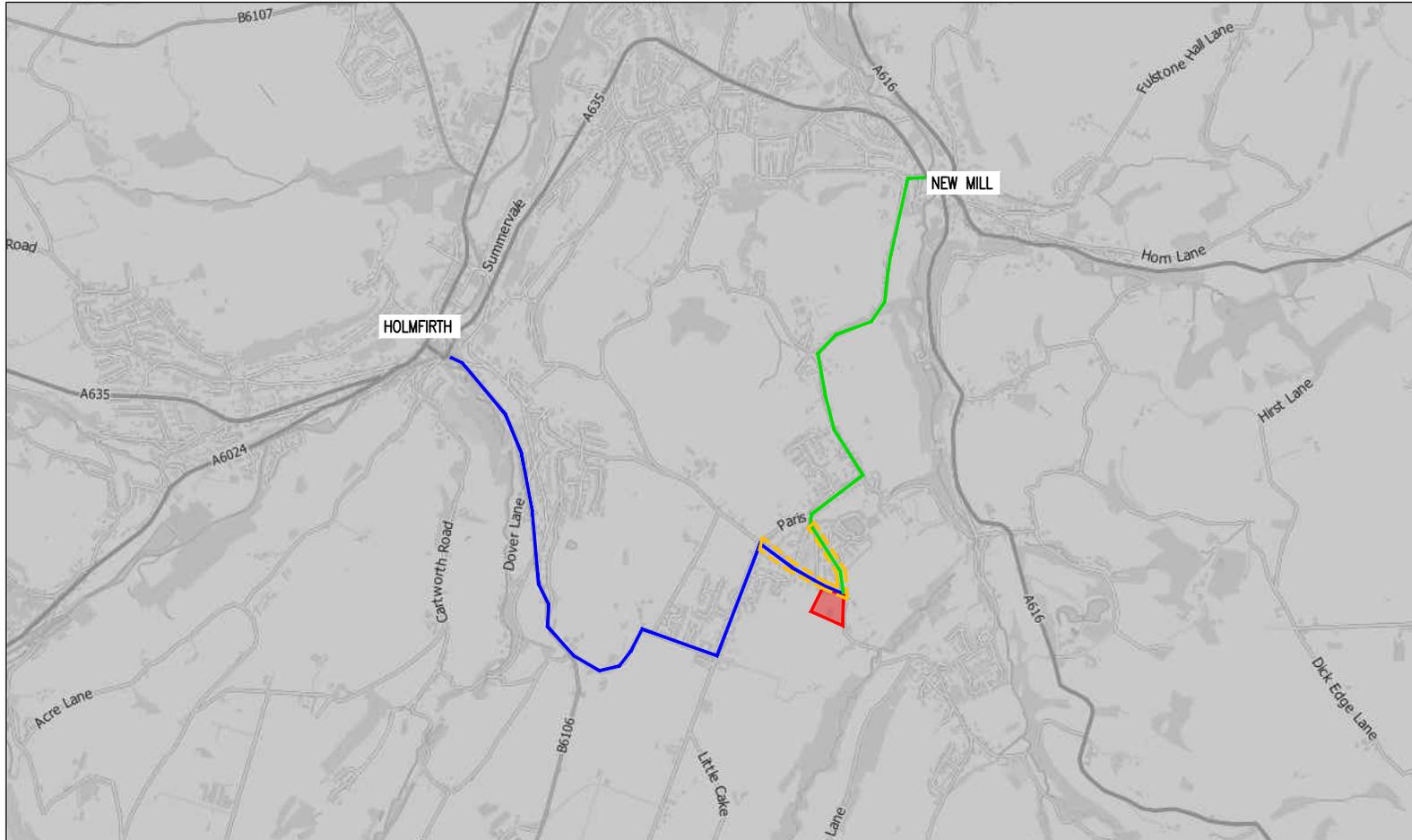
Appendix C – Site Access Plan



DO NOT SCALE

KEY

-  SITE BOUNDARY
-  CONSTRUCTION ROUTE A
-  CONSTRUCTION ROUTE B
-  SURVEY EXTENTS



REV	DATE	BY	DESCRIPTION	APP
P01	01/01/01	XX	FIRST ISSUE	XX

DRAWING STATUS: SO - WORK IN PROGRESS



PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT
CHIPPINGS, HEPWORTH

TITLE:
CONSTRUCTION ROUTE PLAN

DRAWN:	AS	APPROVED:	CY
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SCALE @ A4:	1:200	DATE:	August 25
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DRAWING No:	21093 - ROUTE PLAN	REV:	P01
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