

# DESIGN & ACCESS STATEMENT

NEW DWELLING

AT

49 HOPTON LANE, MIRFIELD

WF14 8JN



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## [1] Introduction

This application seeks approval for a bespoke home at 49 Hopton Lane, Mirfield, designed for Mr and Mrs Auty as they look to downsize into a house that's comfortable, sustainable, and ready for the future. The site sits within an established residential setting just outside the Green Belt, and the scheme has been shaped to fit naturally into its context while raising the bar for good design in the area.

This isn't simply about building another house; it's about creating a home that contributes positively to the local character, takes cues from the surrounding vernacular, and fully aligns with the ambitions of the Kirklees Local Plan, the Housebuilders Design Guide SPD, and the NPPF.

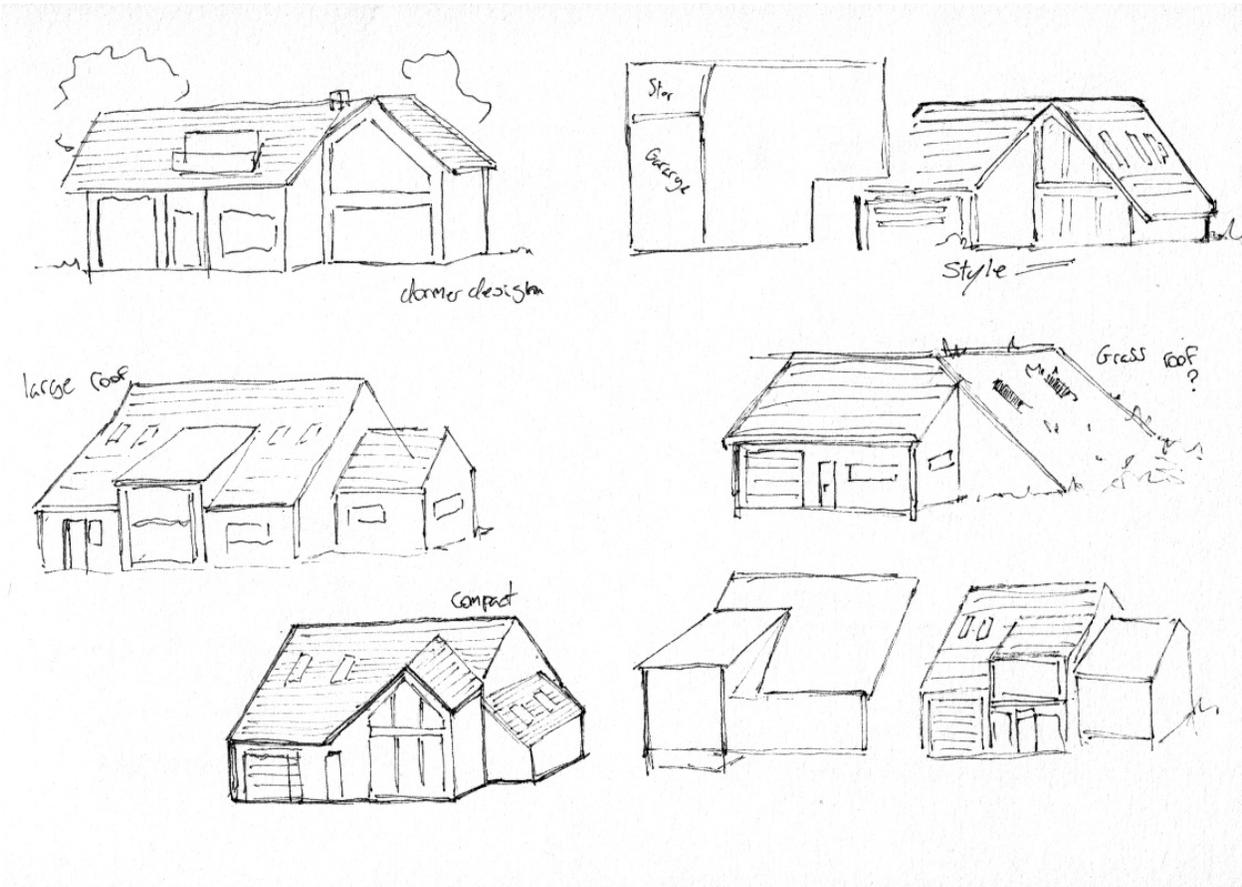


## [2] Use and Design Rationale

The proposal is for a detached two-bedroom bungalow with a first-floor studio. The layout has been designed around the lifestyle of an ageing couple, single-level living for day-to-day comfort, with flexible upstairs space for hobbies, guests, or future care support.

Architecturally, the design nods to Mirfield's character with red brick walls, stone detailing, and an artificial stone slate roof, echoing materials seen in nearby developments (including recent approvals on Hopton Lane and adjacent plots). At the same time, a timber-framed glazed gable gives the home a contemporary, light-filled quality that connects inside living spaces with the garden beyond.

The chimney, a bold feature of the design, was retained and reimagined as both a visual anchor and a functional element, helping distribute warmth efficiently throughout the home. This balances tradition with innovation, grounding the house in local identity while adding a forward-looking twist.

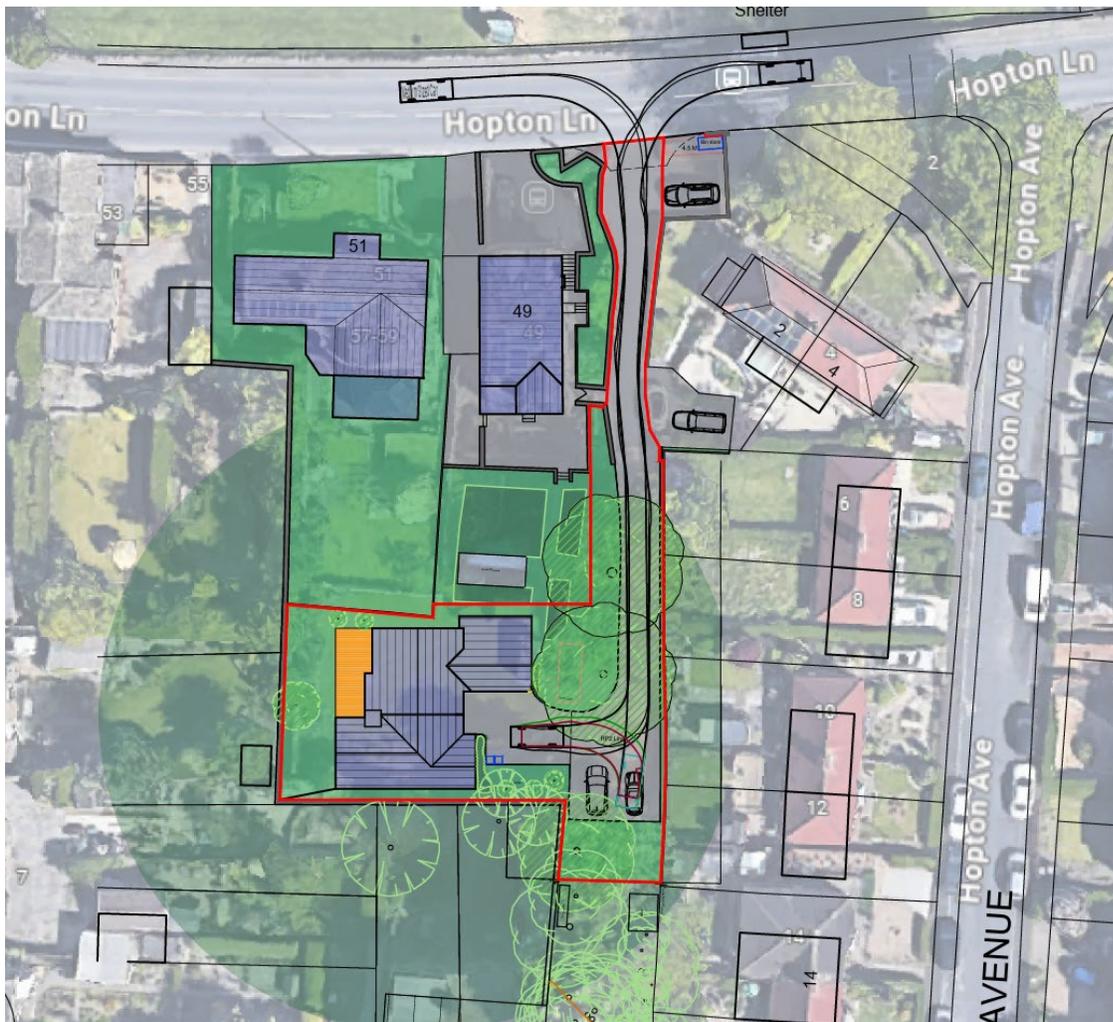


### [3] Access and Movement

Access is taken from the existing drive, utilising the existing green permeable surface (plastic grass pavers and crushed stone) that is both practical and environmentally sensitive.

The site comfortably accommodates off-road parking, a secure garage, and an EV charging point.

Paths and thresholds have been designed with accessibility in mind, wide, level, and ready for potential mobility aids, ensuring the dwelling performs as a “lifetime home”, compliant with Part M.



## [4] Sustainability and Energy Performance

Sustainability is at the core of this proposal. The building will be fully electric, with no gas connection, and powered primarily by solar panels and battery storage.

This ensures the home can function with minimal reliance on the grid and aligns with Kirklees' carbon reduction goals set out in Policy LP51.

The design has been modelled for strong U-values, using high-performance insulation, triple-sealed doors, and argon filled double-glazed windows, which further contribute to energy efficiency and user comfort. The orientation and window layout optimise solar gain and natural ventilation, reducing the need for artificial heating and cooling.



## [5] Materials and Appearance

The material palette is both familiar and fresh:

Traditional red facing brick a staple of Mirfield's character. Artificial stone slate roofing for durability and consistency with nearby houses. Timber-effect frames to soften the impact of glazing and some detailing to tie into Kirklees' architectural heritage.



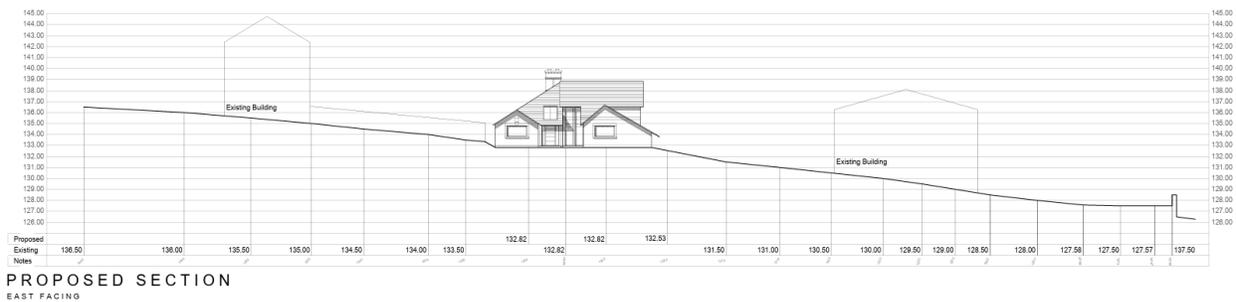
This careful balance of materials respects the guidance in Policy LP24 and the Housebuilders SPD (Principles 13 & 14), ensuring the home blends seamlessly into its context while having its own identity.

## [6] Context and Site Integration

The site is tucked away within a generous green setting, so the dwelling won't dominate the street scene.

By working with the natural slope, the house is partly embedded into the landscape, reducing its visibility from long-range views.

The area already has a varied mix of homes, and this proposal sits comfortably within that context, enhancing rather than competing with the existing character. Separation distances are generous, maintaining privacy and neighbour amenity in line with Policy LP24.



## [7] Landscaping and Ecology

The proposal will make use of the existing geo-grid driveway, retain the existing trees and provide additional planting and landscaping to the site frontage. Gardens will receive a patio and grassed area with planting to the clients preference.

Boundary treatments include defensible planting, 1.8m timber fencing with lattice tops, and lockable side gates, all of which contribute to security and privacy without visual intrusion.

A bin storage area will be incorporated away from windows and screened from view. Habitat enhancement measures such as bird boxes, bat-sensitive lighting, and native species planting will be included to support local ecology in accordance with Policy LP30.



The existing trees have been considered within the proposal, ensuring that the build form is situated outside of the root protection area.

## [8] Crime Prevention and Security

Following guidance in Part Q of the Building Regulations and Secured by Design principles, the dwelling has been designed with security in mind.

Features include:

- High-security door sets with TS007 3-star euro-profile locks
- Vandal-resistant PIR and dusk-to-dawn LED lighting
- Secure window fixings compliant with PAS 24:2022
- Natural surveillance across the frontage and rear garden areas

These features are outlined in the accompanying Crime Prevention Report.



## [9] Policy Support

The proposal aligns strongly with both local and national policy objectives.

### Kirklees Local Plan

- **LP1:** Promotes sustainable development and proactive planning
- **LP2 & LP24:** Encourages design that respects local character and responds positively to context
- **LP22 & LP21:** Provides safe and accessible parking and highway arrangements
- **LP30:** Ensures protection and enhancement of local biodiversity
- **LP51 & LP52:** Supports energy efficiency and high-quality environments

### National Planning Policy Framework (NPPF)

- **Chapter 2:** Promotes sustainable development
- **Chapter 5:** Supports housing delivery and diversification
- **Chapter 11 & 12:** Encourages the effective use of land and well-designed places
- **Paragraph 134:** Places high value on well-designed buildings
- **Paragraph 11 (d):** Applies a presumption in favour of sustainable development, particularly relevant given Kirklees' current under-delivery of housing

The current proposal delivers an appropriately scaled and contextual home that meets the ambitions of both the Local Plan and national guidance.

## [10] Conclusion

This proposal represents a rare opportunity: a bespoke, sustainable home that lets the Autys downsize without compromise, while at the same time strengthening local character and supporting Kirklees' housing and climate ambitions.

It is thoughtful in design, grounded in precedent, and aligned with policy. In short, it's the right house, in the right place, at the right time.

