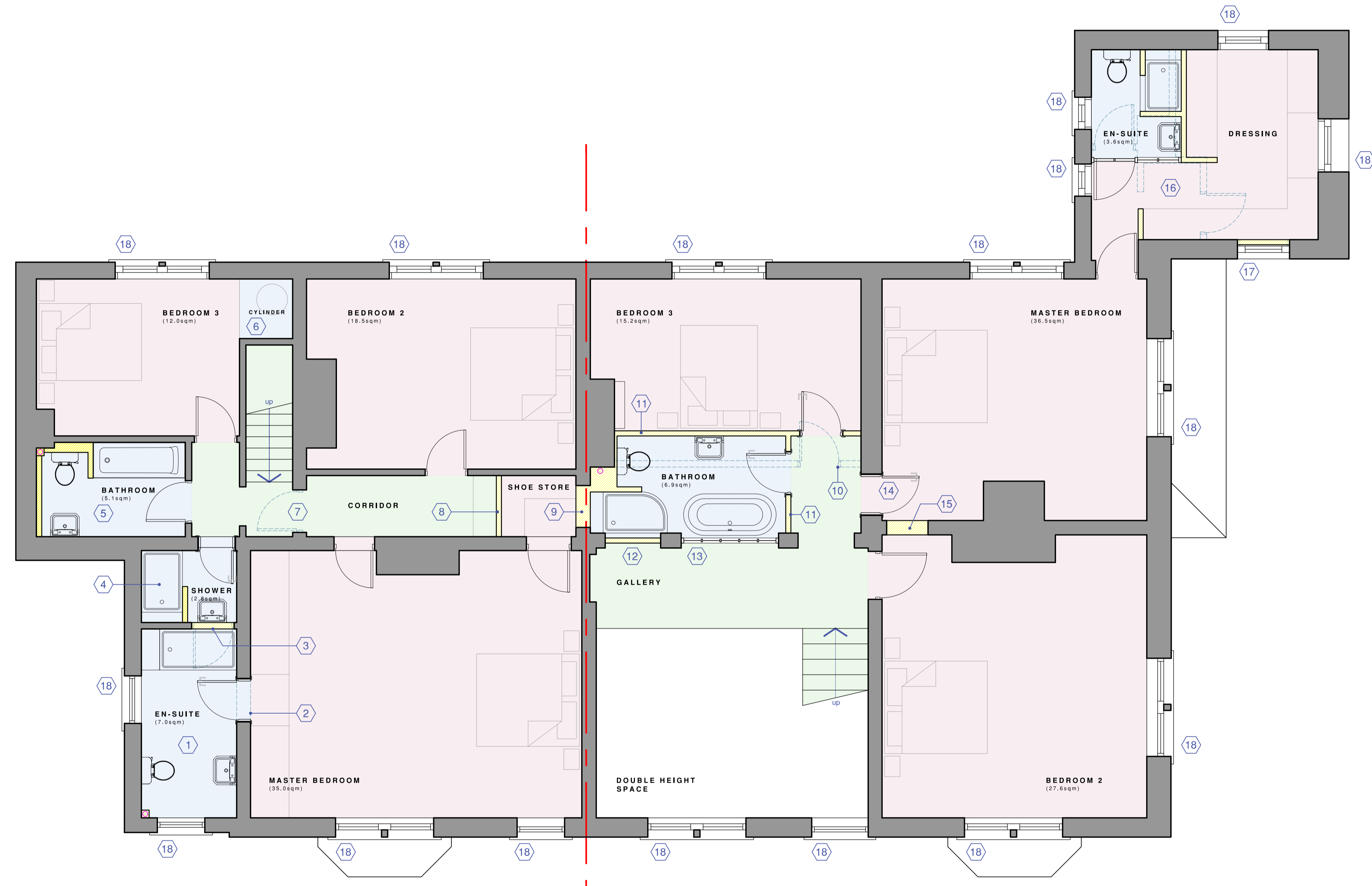


KEY/SCHEDULE OF WORKS

- NEW WALL/LINING
- EXISTING WALL/ FEATURE TO BE DEMOLISHED

1	Room to be fitted out with new sanitaryware, connected to new soil & vent pipe boxed out in plasterboard to corner of room.
2	New opening formed in existing wall with new timber doorset installed.
3	Existing doorset removed & opening blocked.
4	Room to be fitted out with new sanitaryware, connected to new soil & vent pipe in en-suite room adjacent.
5	Room to be fitted out with new sanitaryware, connected to new soil & vent pipe boxed out in plasterboard to corner of room.
6	New timber cupboard built into existing alcove to house hot water cylinder.
7	Existing door removed.
8	New plasterboard & stud internal partition with new timber doorset to separate corridor from store.
9	Existing doorset removed & opening blocked. New construction to provide fire/ sound protection between separate dwellings as required by the Building Regulations.
10	Existing stud partition wall & doorset separating bedroom and gallery removed.
11	New plasterboard & stud internal partition with new timber doorsets to form new bathroom. Room to be fitted out with new sanitaryware, connected to new soil & vent pipe boxed out in plasterboard to corner of room.
12	Existing arched opening infilled with new plasterboard & stud internal partition.
13	Existing arched opening infilled with new feature glazed screen.
14	New timber doorset to be inserted into existing opening.
15	Existing opening infilled with new plasterboard & stud internal partition.
16	Existing partitions, fixtures & fittings to be removed and new plasterboard & stud/ glazed internal partitions/ door constructed to form en-suite & dressing rooms. En-suite to be fitted out with new sanitaryware, connected to existing soil & vent pipe.
17	Existing timber window retained, refurbished and decorated (paint colour: off white) with glazing obscured with window film applied from the inside. Opening behind to be blocked up.
18	Existing timber windows retained, refurbished and decorated (paint colour: off white) with secondary glazing installed behind.



←
UNIT 2
(101.2 sqm G.I.A @ ground floor/ 99.6 sqm G.I.A @ first floor/ 200.8 sqm G.I.A overall)
UNIT 1
(120.0 sqm G.I.A @ ground floor/ 110.6 sqm G.I.A @ first floor/ 230.6 sqm G.I.A overall)
→

1 FIRST FLOOR PLAN AS PROPOSED
SCALE 1:50

Rev A -09/07/25- Design developed, notes added



Client
BP Land Ltd

Project
**Red House,
281 Oxford Road, Gomersal,
Cleckheaton, BD19 4JP**

Drawing title
**Red House
Ground Floor Plan as Proposed**

PLANNING APPLICATION

Scale @ A1
1:50

Drawn by
CG

Date
Feb '25

App'd
-

Drawing no.
24.034/ (AL)11

Rev
A