

NOTES

All efforts have been made in measuring existing site. However the contractor / builder is responsible, for checking & confirming all given dimensions on site prior to pricing & works.

Extent of boundary ownership confirmed by applicant.

Proposal -

Householder Application for Planning Permission -

Proposed 3.0m Single-Storey Rear Extension as shown on the application drawings to meet the applicants requirements.

Existing Use Class -

Dwellinghouse - Use Class C3 (a)

Proposed Use Class -

Dwellinghouse - Use Class C3 (a)

1) GENERAL BUILDING NOTES

- a) All works to be in accordance with Building Regulations, current editions and amendments and to the satisfaction of the Building Control Authority.
- b) All works within the contract and by the contractor must be carried out in such a way that all requirements under the Health and Safety at Work Act are satisfied and maintained.
- c) All works by the Contractor must be carried out in compliance with the requirements of all British Standards, Codes of Practice etc. and with the requirements of all relevant and current Statutory Authority regulations.
- d) All structural calculations if required to be submitted by client appointed Structural Engineers and upgraded as necessary as works proceed to suit any clients requirements.
- e) The contractor must ensure and will be held responsible for the stability of the building structure at all stages of the contract.

2) APPROVED DOCUMENT A STRUCTURE

- a) All structural details and calculations if required to be submitted for approval to Building Control Authority by client appointed Structural Engineer.

PLANNING ISSUE

Rev	Description	Date	By	App'd

tractus:dma
architectural design

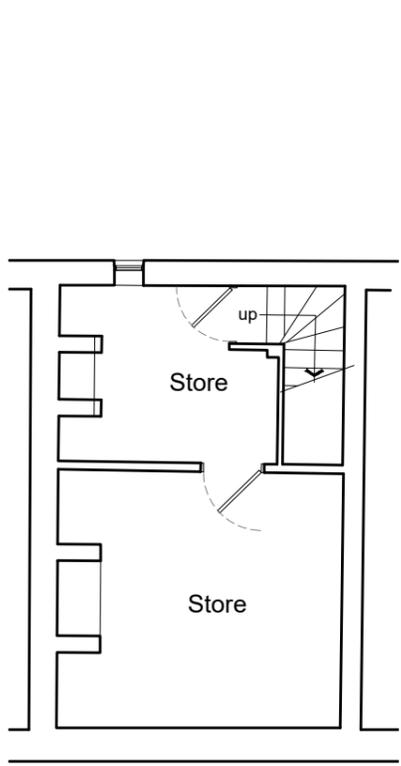
Stross House, Scout Hill Mills, Broad Street
Dewsbury, West Yorkshire, WF13 3SA
t: 01924 462 550 m: 07791 717 404
e: asif@tractusad.co.uk

Client
Mr. James Tyas

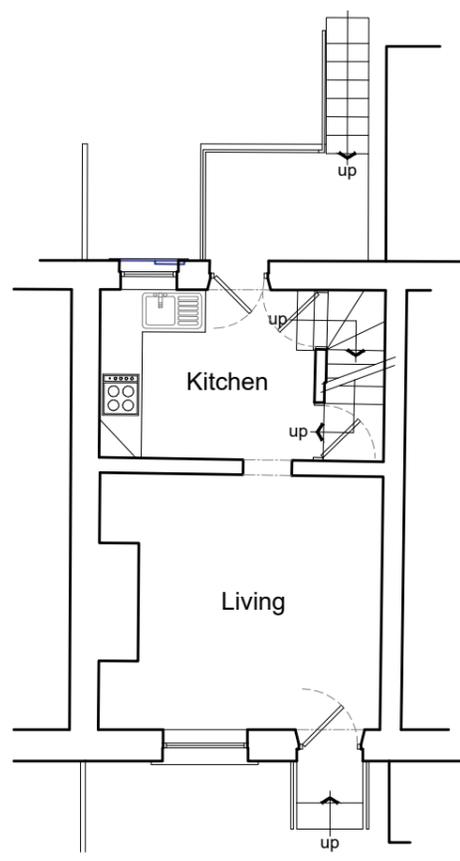
Project
3, Wood End, Lockwood
Huddersfield, HD4 6BJ

Drawing title
Existing Floor Plans/Roof
Plan and Elevations

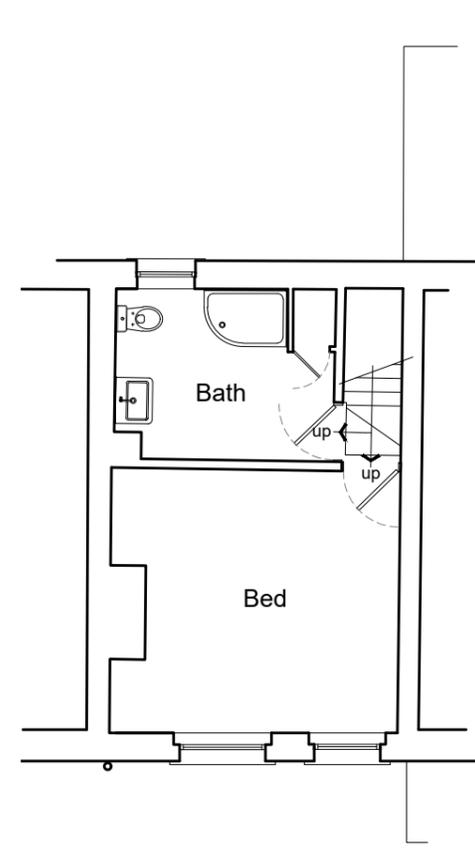
Drawn by AM	Date 07/25	App'd -
Drawing no EX-02	Project no 25-972	Scale @ A3 1:100
		Rev -



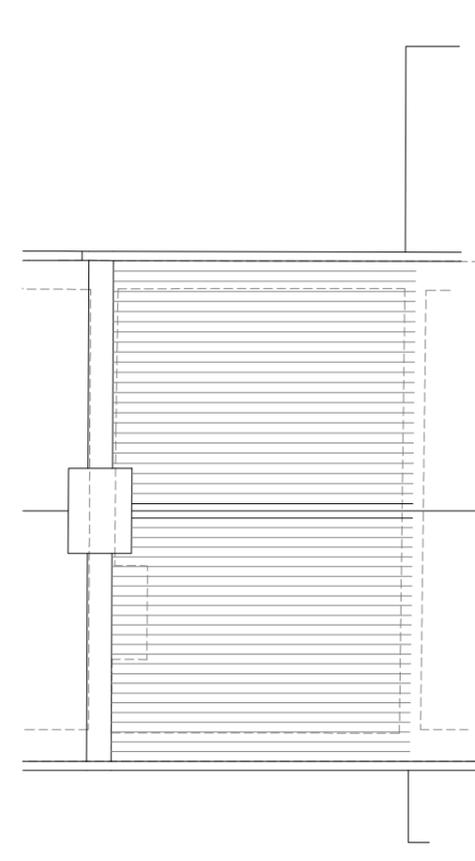
EXISTING
BASEMENT PLAN
SCALE - 1:100



EXISTING GROUND
FLOOR PLAN
SCALE - 1:100



EXISTING FIRST
FLOOR PLAN
SCALE - 1:100

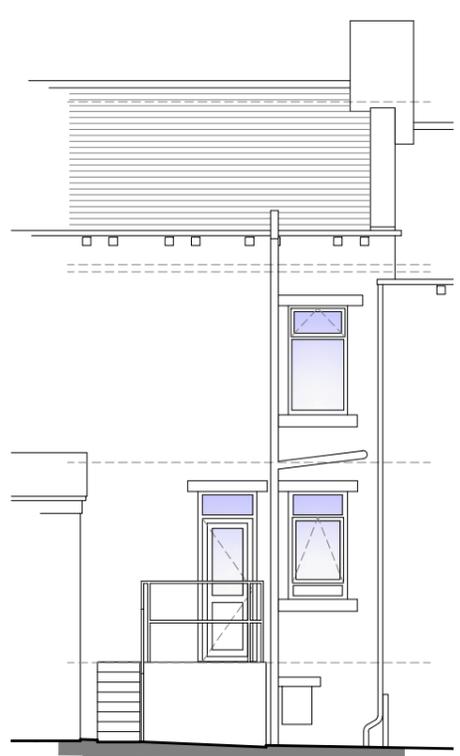


EXISTING ROOF PLAN
SCALE - 1:100

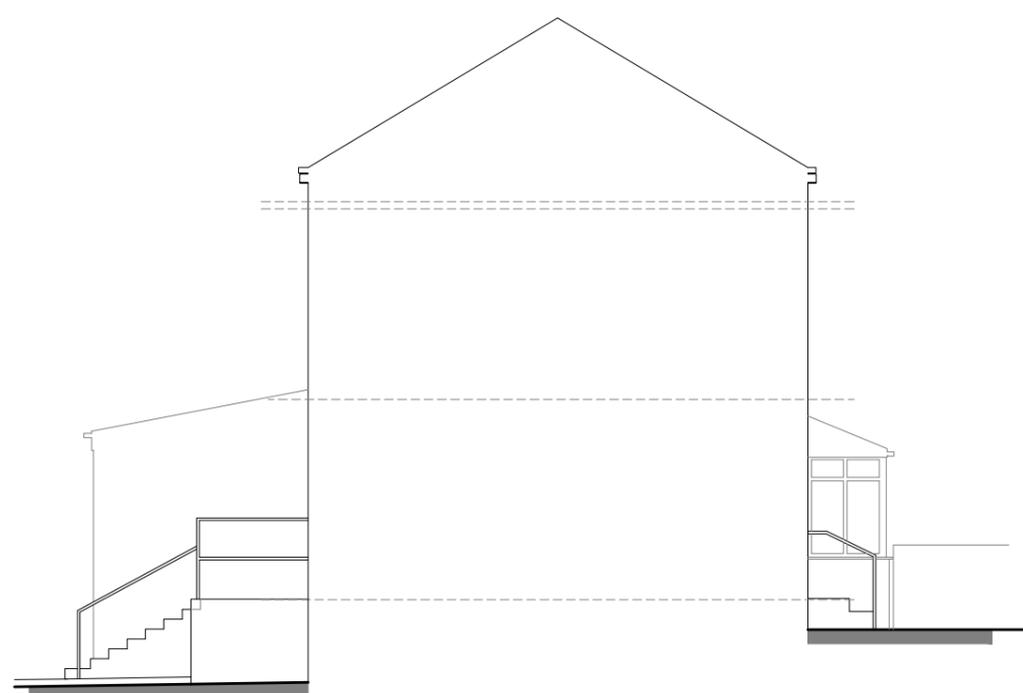
- Materials As Existing -
- Walls - Stonework finish to outerleaf.
 - Doors - Upvc framed doorsets.
 - Windows - Upvc framed double glazed units.
 - Roof - Slate finish to pitch roof.



EXISTING
(SOUTH-WEST)
FRONT ELEVATION
SCALE - 1:100



EXISTING
(NORTH-EAST)
REAR ELEVATION
SCALE - 1:100



EXISTING
(SOUTH-EAST)
SIDE ELEVATION
SCALE - 1:100

CDM 2015

RISKS

1. RESTRICTED ACCESS TO SITE
2. SITE WELFARE REQUIREMENTS
3. SITE CLEARANCE
4. INSTALLATION OF TEMPORARY AND RE-ROUTED SERVICES
5. WORKING AT HEIGHT