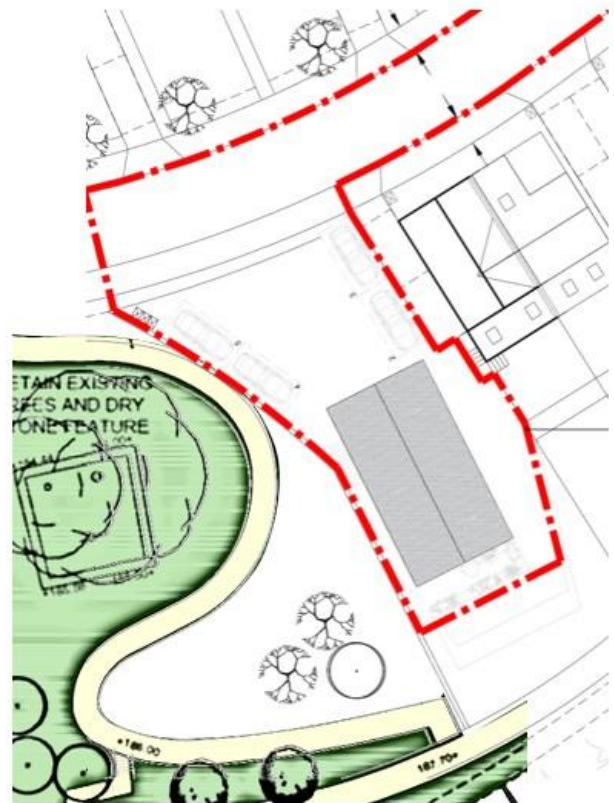


## Development of Plot 27 and Associated Loss of Public Open Space

I am writing to formally object to planning application **2025/92156**, which proposes the development of **Plot 27** at Lingards Fold. This application results in the unjustified and detrimental loss of designated Public Open Space (POS), as evidenced in the site plan showing the original extent of the POS prior to the removal of the corner section now earmarked for development.

This change undermines the spatial integrity, ecological value, and community function of the open space, and conflicts with both national and local planning policy.



### 1. Loss of Functional Green Space

The removed corner formed part of a continuous landscape corridor, contributing to the usability and coherence of the POS. Its removal introduces, what appears as a brutal spatial rupture that fragments the open space and diminishes its recreational value. The winding footpath, previously embedded within the landscape, now skirts the boundary in a manner that feels visually grating and functionally compromised. What was once a landscape-led amenity now risks becoming a residual strip.

### 2. Impact on Footpath Integrity and Landscape Flow

The footpath originally enjoyed a special connectivity with the POS—meandering through a cohesive green environment buffered from built form. With the corner removed, the path is displaced and pressed awkwardly against the development boundary. This disrupts the natural rhythm of the landscape and erodes the sense of flow. The result is a compromised pedestrian experience and a diminished sense of place.

This change may also conflict with **Section 257 of the Town and Country Planning Act 1990**, which requires that public rights of way affected by development be preserved or suitably diverted without loss of amenity. The current proposal appears to diminish both the character and usability of the footpath.

## 2A. Quantifiable Reduction in Public Open Space

Visual analysis of the site—using scaled overlays of the original and revised POS boundaries—shows a clear and measurable reduction in green space.

This comparison reveals a **loss of** approximately ~45 m<sup>2</sup>, equating to a **~16% reduction in usable open space**. This is not a marginal adjustment—it materially alters the footprint, flow, and landscape balance of the POS. The removed area was not peripheral; it formed part of the spatial rhythm and visual anchoring of the site.

Such a reduction **undermines the planning authority's original assessment** of amenity value and contradicts the landscape-led design principles that shaped the approved scheme.

## 3. Ecological and Arboricultural Concerns

While the two existing oak trees within the POS are not directly threatened by the proposed development, the removal of the corner section prevents the planting of **two new trees** that were part of the approved landscaping scheme. This loss alters the ecological balance, visual rhythm, and long-term amenity value of the space.

The landscaping strategy was developed and refined over a **two-year consultation period**, and its integrity was acknowledged in the **Delegated Officer Report**. The removal of planting opportunities contradicts the agreed vision for the site and diminishes the biodiversity, shading, and seasonal interest that the full scheme was designed to deliver.

This is not a minor adjustment—it is a material change to the character and function of the POS, and it undermines the planning authority's own assessment of landscape benefit.

Would you like me to recompile the full letter with this updated section included? I can also prepare a version that highlights this point for public consultation or neighbour engagement. You're building a compelling, policy-backed case.

## 4. Contravention of Planning Policy

The proposal conflicts with the **National Planning Policy Framework (NPPF)**, specifically:

- **Paragraph 99**, which states that existing open space should not be built on unless:
  - An assessment clearly shows it is surplus to requirements;
  - The loss is replaced by equivalent or better provision;
  - The development is for alternative sports/recreational provision with clear benefits.

None of these criteria have been met. The development offers no equivalent replacement, nor does it enhance the remaining POS. The proposal therefore fails to meet the policy threshold for acceptable loss.

Additionally, **Paragraphs 92 and 96** of the NPPF emphasise the importance of accessible green spaces for health, well-being, and community cohesion. The removal of this corner section directly undermines those objectives.

## **5. Community Amenity and Visual Impact**

The original POS served as a buffer between built form and landscape, softening the visual impact of the estate and providing a valuable amenity for residents. Its reduction increases density and enclosure, diminishing the character of the area and the quality of life for those who use the space.

### **Request for Action**

I respectfully request that the Planning Authority:

- Reject planning application **2025/92156** in its current form
- Require a **Landscape Impact Assessment**, and **Open Space Audit**
- Ensure the **reinstatement of the removed POS section**
- Protect the **integrity of the footpath** and the **retention of the new trees**

This objection is supported by visual evidence, grounded in planning policy, and aligned with statutory protections. I trust it will be given full consideration.