

## Procedural, Safety, and Design-Based Objection to Proposed Four-Storey Development

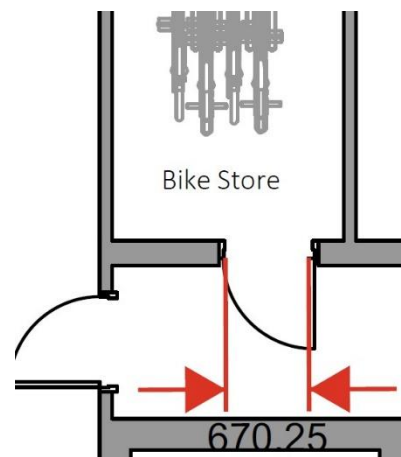
I write to formally object to planning application 2025/92156 for Plot 27, Lingards Road, on the basis of multiple unresolved safety, accessibility, and design concerns. The proposal introduces vertical intensification and multi-unit occupancy without demonstrating compliance with key regulatory standards, including Approved Documents B, K, and M, BS 9991, and inclusive design principles.

### Ground Floor – Communal Layout and Access Concerns

The proposed ground floor includes a communal gym, bike store, protected stair lobby, lift, and a private garage. While these amenities suggest thoughtful provision, the layout raises several procedural and practical issues:

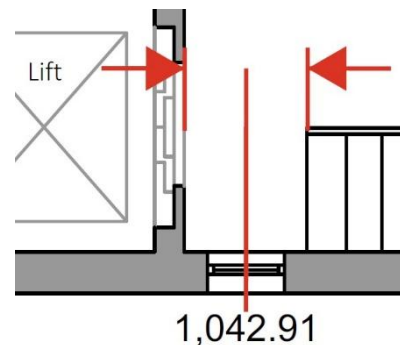
- **Bike Store:**

- The access door measures only **670.25mm**, well below the **900mm minimum** recommended for inclusive access.
- The door is hinged on the obstructive side, requiring awkward manoeuvring and increasing the risk of damage.
- The store accommodates only **4 bicycles** for up to **12 residents**, contradicting sustainable transport principles.
- No internal compartmentalisation or secure locking points are shown, leaving bikes vulnerable to tampering or theft.



- **Lift clearance:**

- The lift opens onto a landing with only **1.04m of clearance** measured before a descending stair flight—below the **1.5m minimum turning space** required under Approved Document M.



- **Garage (Apartment 1):**

- The garage is accessed via the protected stair lobby, but no fire-rated separation is shown between residential circulation and vehicle storage.
- The garage door dominates the front elevation, creating a visual void that disrupts the rhythm of the stone façade.



### **Bathroom and En-Suite Door Swing – Inconsistent Safety Rationale**

The main bathroom door opens outward—presumably for emergency access—while the en-suite opens inward. This inconsistency suggests that safety principles are not being applied uniformly. In compact multi-unit dwellings, all sanitary spaces should be assessed for emergency access viability.

### **Services – Absence of Meter Provision**

The plans show no provision for **electric, gas, or water meters**. In a multi-unit, four-storey building, this raises concerns about:

- Service access for utility providers
- Fire safety around service penetrations
- Compliance with Building Control requirements

The absence of meter locations indicates that certain technical details have not yet been clarified within the submitted drawings.

### **West Elevation – Proposed Elevation 2 (Stone Façade)**

The West Elevation is proposed in stone, yet the window arrangement appears **visually disjointed and architecturally unresolved**:

- The left column of windows is **isolated and under-scaled**, lacking horizontal alignment or framing.
- The right cluster is **compressed and misaligned**, with inconsistent spacing and poor relationship to the balconies.
- The elevation lacks a **visual hierarchy or datum line**, and the absence of expressive stone detailing undermines the design quality of the façade.
- This results in a less coherent appearance that does not fully reflect the architectural traditions of the area.

### **East Elevation – Proposed Elevation 2 (Stone Façade)**

While the East Elevation maintains a stone finish, the design fails to respect the material's architectural integrity:

- The narrow, repetitive windows are **under-scaled** and lack proportionality against the mass of stone.
- There is **no articulation**—no reveals, lintels, or sills—to express the structural logic of stone construction.
- The compressed window rhythm and blank flanking zones result in a **visually monotonous façade**.
- The elevation fails to respond to the **sloped ground line**, missing an opportunity for contextual integration.

### Front Elevation – Proposed Elevation 1 (Stone Façade)

The front elevation presents a symmetrical layout with consistent window design and visible stone detailing. However, it still falls short of the architectural quality expected of stone-built development:

- The **garage door dominates** the ground floor frontage, creating a visual void that disrupts the rhythm of the stonework.
- The **main entrance lacks emphasis**—no canopy, surround, or framing element to give it presence.
- The windows lack **hierarchical variation**, resulting in a flat elevation that misses opportunities for architectural nuance.
- The stone detailing, while present, **appears repetitive**, and does not fully exploit the design quality of the material.

### Rear Elevation – Proposed Elevation 3

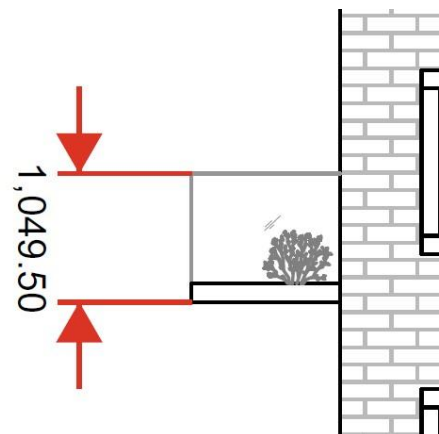
The rear elevation presents a symmetrical layout and active ground-level frontage, but fails to exploit the architectural potential of its stone façade:

- The repetition of identical windows across all storeys and lack of entrance emphasis result in a **flat and generic appearance**.
- The façade lacks vertical articulation and depth, despite the material choice.
- The elevation does not reflect the contextual integration or contextual sensitivity expected of stone-built development in this area.

### Proposed Elevation 4 – Balcony Detailing and Safety Concerns

Proposed Elevation 4 includes glass balustrades serving upper-storey balconies. While these elements add domestic character, the detailing raises serious safety and compliance concerns:

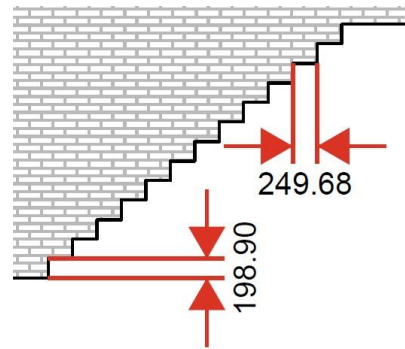
- The measured height from top of glass to balcony base is **1.0495m**. Once the floor finish is installed, the effective guarding height will fall **below the required 1.1m minimum** under Approved Document K and BS 6180.
- The drawings show **no visible handrails or structural supports**, and no confirmation of material specification or load-bearing compliance.
- The glass appears **visually disconnected** from the stone façade, with no anchoring elements or articulation to express structural integration.



### External Steps – Non-Compliant Dimensions

The proposed external steps show a **rise of 198.9mm** and a **going of 249.68mm** as measured—both outside the acceptable range set out in Approved Document K:

- The rise exceeds the **maximum 170mm**, making the steps excessively steep.
- The going falls short of the **minimum 280mm**, reducing tread surface and increasing trip risk.
- This steep pitch is especially hazardous in external conditions and for vulnerable users, rendering the steps non-compliant and unsafe.



### Request for Action

I respectfully request that:

- The applicant be required to submit a **full fire strategy**, including sectional drawings and compartmentation details
- The application not be determined until **accessibility, safety, and service provision** are demonstrably addressed
- The Council uphold the integrity of its planning process and ensure appropriate scrutiny of proposals introducing vertical intensification and multi-unit occupancy