

**Date:** 20/05/2025

**Ref:** 24399-TN-002



*Site Address:*  
*Jewson*  
*St Andrew's Road*  
*Huddersfield*  
*HD1 6PT*

**Technical Note**  
**Response to Conditions 6 & 7**

The proposed works at the Jewson, Huddersfield, site is for a new single storey portal frame extension to the southern end of the existing building.

**Condition 6:**

Development shall not commence until a scheme, detailing temporary surface water drainage for the construction phase (after soil and vegetation/site strip) has been submitted to and approved in writing by the Local Planning Authority.

**TE Response:**

Temporary drainage will not be required as the existing on-site drainage will remain in place throughout construction of the extension. Surface water will be managed through the use of existing on-site drainage which passes through interceptors and sumps prior to outfall

**Condition 7:**

Development shall not commence until a scheme demonstrating surface water from vehicle parking and hard standing areas passing through an oil/petrol interceptor of adequate capacity prior to discharge to the surface water drainage system. Roof drainage should not be passed through any interceptor. The development shall not be brought into use until the approved scheme has been implemented and is fully operational. Thereafter the approved scheme shall be retained.

**TE Response:**

The proposed surface water drainage, shown in Appendix 1, is picking up roof drainage and a small area of the existing car park. The proposed FFL is set level or higher than existing yard level which means falls will drain as per existing. The ACO channel will pick up less than 500m<sup>2</sup> of car parking area to the west of the proposed extension. Therefore, we do not believe an interceptor is required.

As per the CCTV survey 'Drainage Map – Jewson Huddersfield' in Appendix 2 this shows the existing surface water drainage outfalls via a petrol interceptor.

**Appendix 1**  
**Proposed Drainage Plan**

This drawing is copyright of Topping Engineers LTD and must not be copied or reproduced in any way without written consent.  
**DO NOT SCALE OFF THIS DRAWING**

**Notes:**

1. This drawing is to be read in conjunction with all relevant Architects and Engineers Drawings.
2. It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement.

**Drainage Strategy**

**Surface Water**  
 The site is located within flood zone 2 with a medium risk of flooding from rivers or the sea. See separate Flood Risk Assessment.

The existing site is developed with two buildings together with hardstanding areas. The site is used as a builders merchant.

The site area is predominantly impermeable as shown in the aerial photograph and topographical survey. The site has a gentle fall in a northerly direction.

Investigations have been carried out on site to establish how the site currently drains.

The site drains to a 1650mm diam brick combined sewer that runs through the site.

The proposal is to demolish part of the exiting warehouse and the timber storage building and construct a new extension on the warehouse and a new canopy over part of the hardstanding area. The extension and canopy are to be formed on areas that are currently surfaced and drained hardstanding areas. So there will be no additional impermeable areas created.

NPPF guidelines require that surface water arising from a developed site should as far as practicable be managed in a sustainable manner to mimic the surface water flows arising from the site prior to development.

The national planning policy guidance sets out the hierarchy of drainage to promote the use of sustainable drainage systems. The aim of the hierarchy is to drain surface water run-off as high up the drainage hierarchy as reasonably practical.

1. Into the ground (infiltration).
2. A surface water body.
3. To a surface water sewer.
4. To a combined sewer.

Consideration needs to be given to the use of infiltration as a drainage solution. Site investigations have been carried out, which show made ground up to 1.0m deep over deposits of clayey silty sand and gravel with bands of stiff gravelly clay. Borehole percolation tests have been carried out. One of the tests was inconclusive, the other showed a low infiltration rate of 6.97 x10<sup>-6</sup> m/s. We consider infiltration is not viable on the site.

Access to the nearest watercourse is through third party land, and is not viable. Therefore the most suitable drainage option is to drain to Yorkshire Waters sewer in a similar manner to the current arrangement.

Where the drainage is being altered to cater for the demolition and construction of the retail unit, then opportunities to attenuate the flows should be incorporated into any new infrastructure. General guidance for the re-development of brownfield sites is that the post development flows should be reduced by 30% from the current flows, in all storms up to the 1in100 year storm event with an allowance for climate change.

The existing surfaced and drained catchment area within the areas that are being re-developed is 2280m<sup>2</sup>, see existing catchment area plan. Based on a run off rate of 140L/sec/Ha the existing run off rate in a 1in1 year storm event is 31.92L/sec. A 30% reduction would result in an allowable run off rate of 22.34L/sec.

The flows can be attenuated to this level using a Hydro-brake Optimum MD-SHE-0208-2230-1200-2230 control device (See microdrainage calculations) Underground storage would be provided using a cellular crate tank, measuring 10m x 4.5m x 1.2m deep to cater for the 1in100 year storm event with a 30% allowance for climate change.

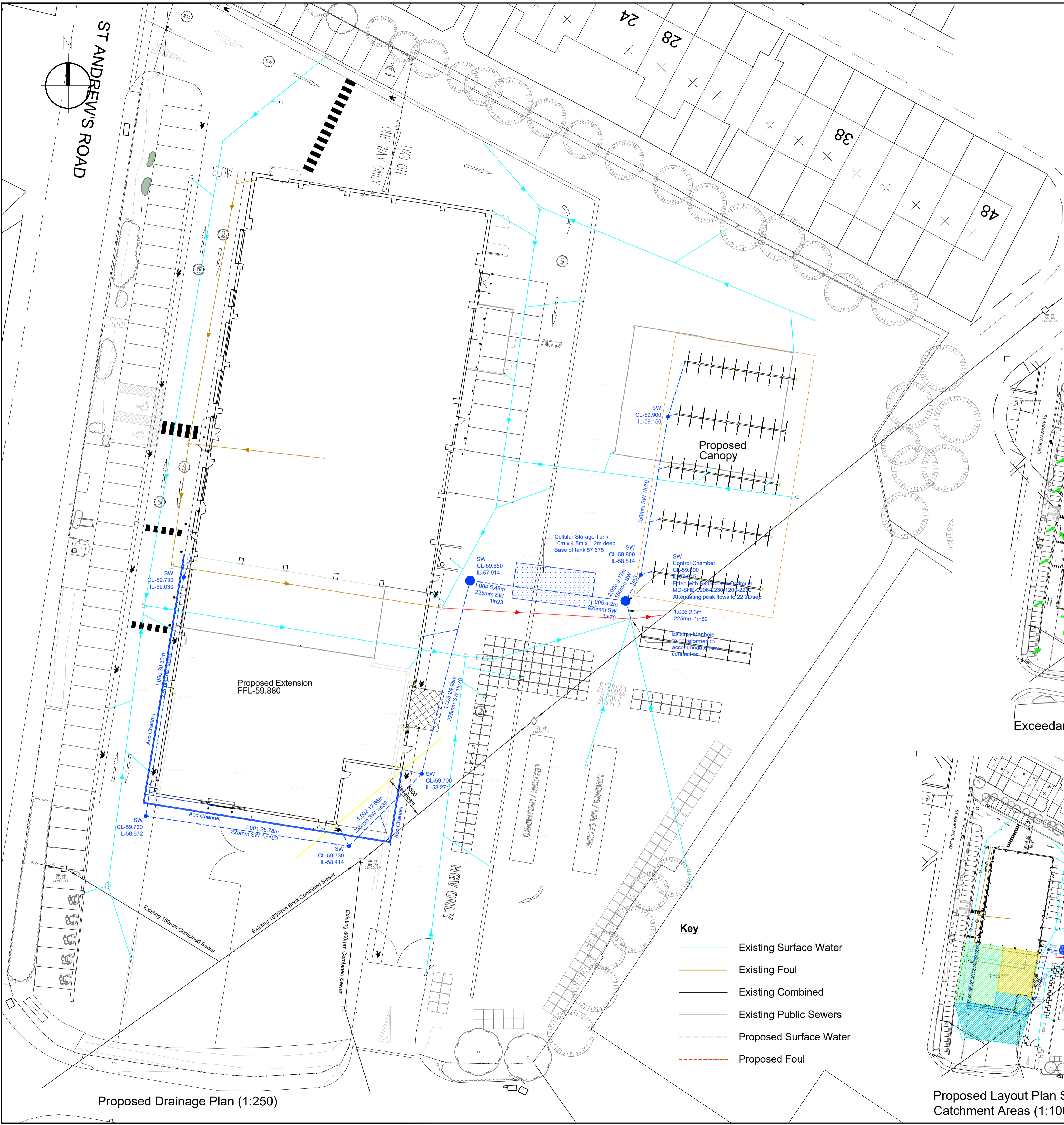
This will ensure the proposed development has a beneficial impact on the downstream infrastructure.

**Foul Drainage**

The foul drainage will run in a separate network and connect into the existing foul drainage on the site, which outfalls into Yorkshire Waters combined sewer.



Aerial View



- Key**
- Existing Surface Water
  - Existing Foul
  - Existing Combined
  - Existing Public Sewers
  - Proposed Surface Water
  - Proposed Foul



Exceedance Flow Routes (1:1000)



Proposed Layout Plan Showing Catchment Areas (1:1000)

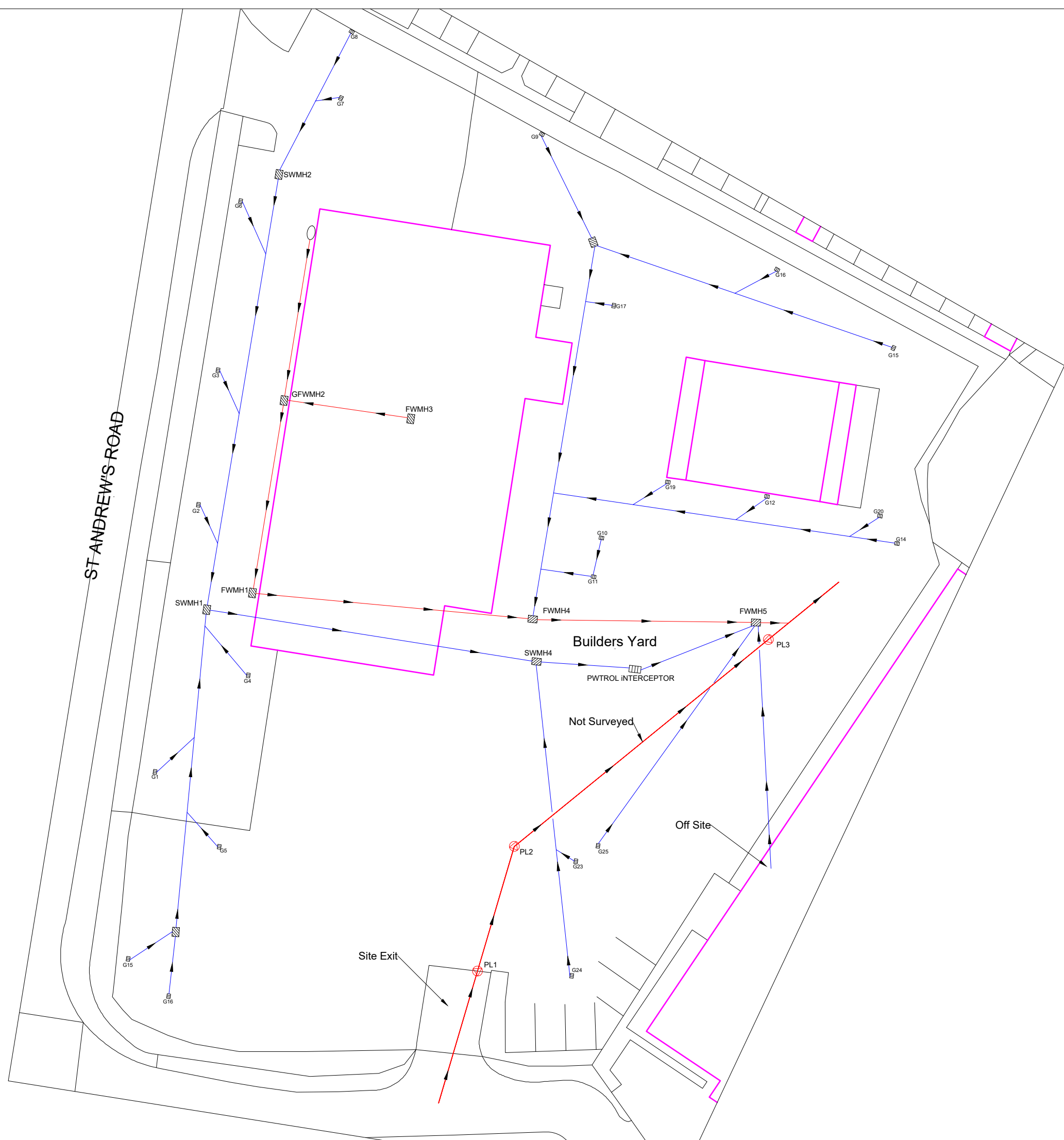
- Catchment Area Pipe 1.000  
609m<sup>2</sup>
- Catchment Area Pipe 1.002  
691m<sup>2</sup>
- Catchment Area Pipe 1.003  
396m<sup>2</sup>
- Catchment Area Pipe 2.000  
586m<sup>2</sup>

Proposed Drainage Plan (1:250)

T1	Issued for Tender	28.02.25	CG
P1	Initial Issue	23.12.25	PB
No.	Revision	Date	Drawn
Status <b>Tender</b>			

Client <b>Stark Building Materials Ltd</b>			
Project <b>Jewsons, St Andrews Road Huddersfield</b>			
Drawing title <b>Proposed Drainage Plan</b>			
Drawn	Chkd	Date	Scale
PB		Dec 2024	Varies
Sheet Size	Drawing No.	Revision	
A1	24399-DR-C-0102		T1

**Appendix 2**  
**CCTV Survey**



ST ANDREW'S ROAD

Builders Yard

Not Surveyed

Off Site

Site Exit

Symbols Key	
	Block Name
	Pump Line
	Foul Drain
	Storm/ Grey Water Drain
	Gully
	Manhole
	Pump
	Petrol Interceptor
	Rodding Eye
	Direction of Flow

DATE	REVISIONS

**LONDON FLOOD PREVENTION**  
 Headquarters  
 Unit 5, Marston Business Park, Lower Hazledines,  
 Marston Mortaine, Bedfordshire MK43 0XT  
 Tel: 0208 8197710

**CLIENT** Saint-Gobain  
 The Eiland Hub, 1st Floor  
 100 Dewsbury Road  
 Eiland, Hx5 9BG

**PROJECT**  
 Jewson Huddersfield  
 St Andrew's Rd  
 Huddersfield  
 HD1 6PT

**TITLE**  
 Drainage Survey

**SCALE** Indicative Only - Not To Scale

**DATE** 04/06/2024 **DRAWN** SHP

**DRG No.** Jewson Huddersfield **REV.** 0