

19 May 2025

FAO- Mr Mathias Franklin
Kirklees Metropolitan Borough Council
Planning Services
PO Box B93
Civic Centre III
Huddersfield
HD1 2JR

Planning Portal Ref: **PP-14024931**

Dear Mr Franklin,

Re: Town and Country Planning Act (as amended) 1990 Planning (Listed Buildings and Conservation Areas) Act 1990 Application for Listed Building Consent for the Demolition and Re-Building of Walls Within Lower Ground Floor, with Other Internal Changes to Room Layout; and Roof Access Safety Ladders and Associated Works. 4, Princess Alexandra Walk, Huddersfield, HD1 2RS.

The following information is hereby provided in support of this application:

- Application Forms
- Site Location Plan
- Covering Letter
- Method Statement
- IR430301 CTA ZZ LG DR A 071599 PO1 Previously Approved Lower Ground Floor Plan
- IR430301 CTA ZZ LG DR A 302099 CO2 Proposed Lower Ground Floor Plan
- IR430301 CTA ZZ L DR 071599 PO1 Proposed Lower Ground Floor Demolitions Plan
- IR430301 CTA ZZ O2 DR A 271102 CO2 Proposed Roof Plan
- 6098-KAY-ZZ-RF-DR-X-0009 Proposed Fixed Roof Access Ladder Design Plan
- 6098-KAY-ZZ-RF-DR-X-0001 Proposed Roof Mansafe Plan
- 6098-KAY-ZZ-RF-DR-X-0006 Proposed Mansafe Post Details

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The proposal

During the demolition phase of works in this area, it was found that some of the existing walls within the lower ground floor of the building had a number of structural defects alongside the presence of asbestos and could not be retained. These walls therefore need to be demolished following the conclusion of the intrusive structural survey and to also accommodate the new electrical equipment required within the sub-station rooms. The walls will be rebuilt with block work and finished accordingly, with some room spaces being rearranged to accommodate a better use of this floor.

Access will also be improved to the roof of the building as part of the scheme, as building maintenance need to be safe when accessing the roof (hence the addition of ladders) and they then clip onto the 'Mansafe' line, which is connected to the roof via these hooks – as can be seen from the submitted plans there are minimal points of connection. All of these works are necessary to ensure that the roof coverings and drainage remain in a good state of repair, improving the longevity of the building with only minimal change..

The following plans in the figures below outline the proposed works:

Figure 1- IR430301 CTA ZZ LG DR A 071599 P01 Previously Approved Lower Ground Floor Plan
from previous LBC application ref: 2024/65/90270/W

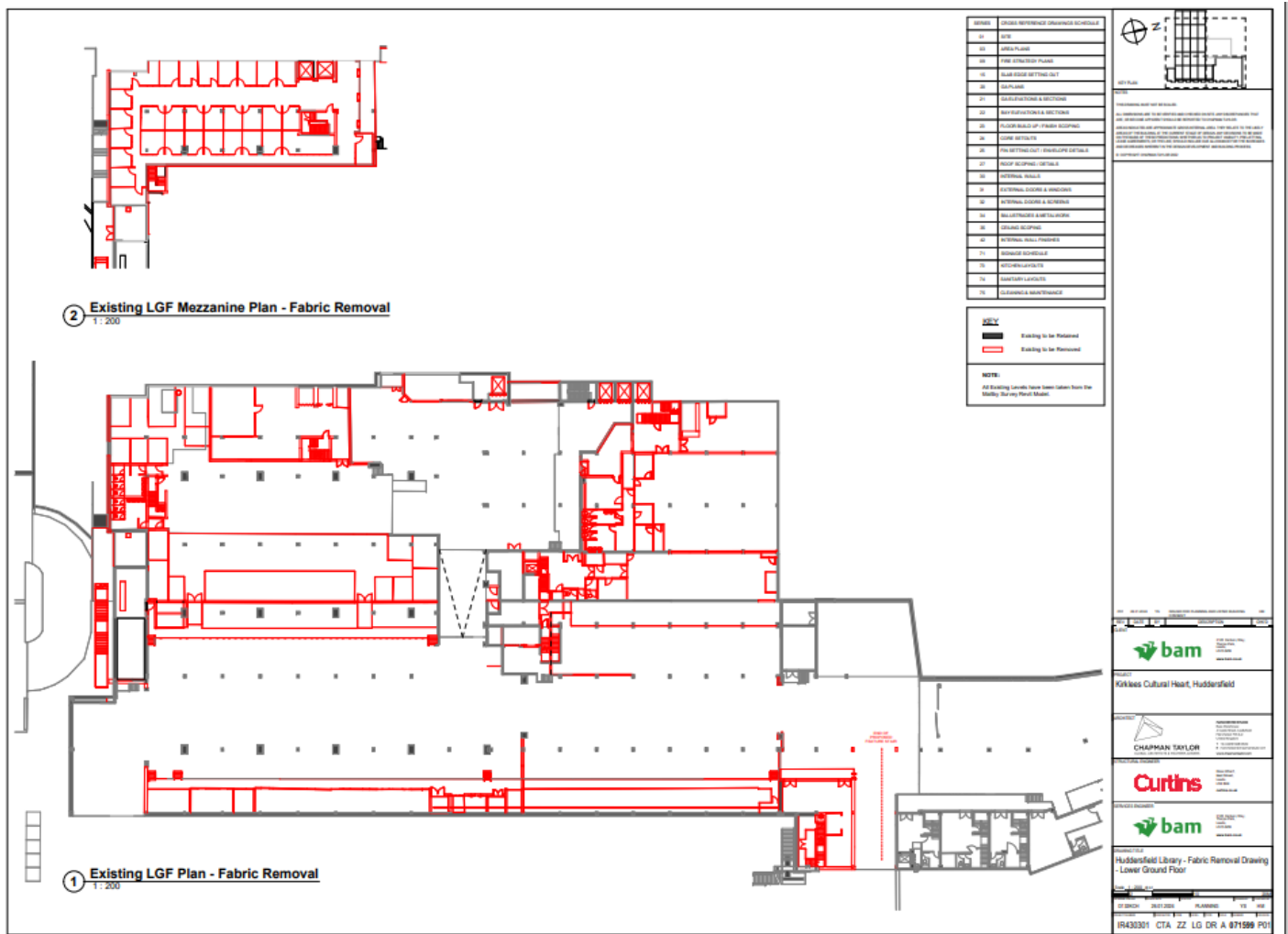




Figure 2- IR430301 CTA ZZ LG DR A 302099 C02 Proposed Lower Ground Floor Plan

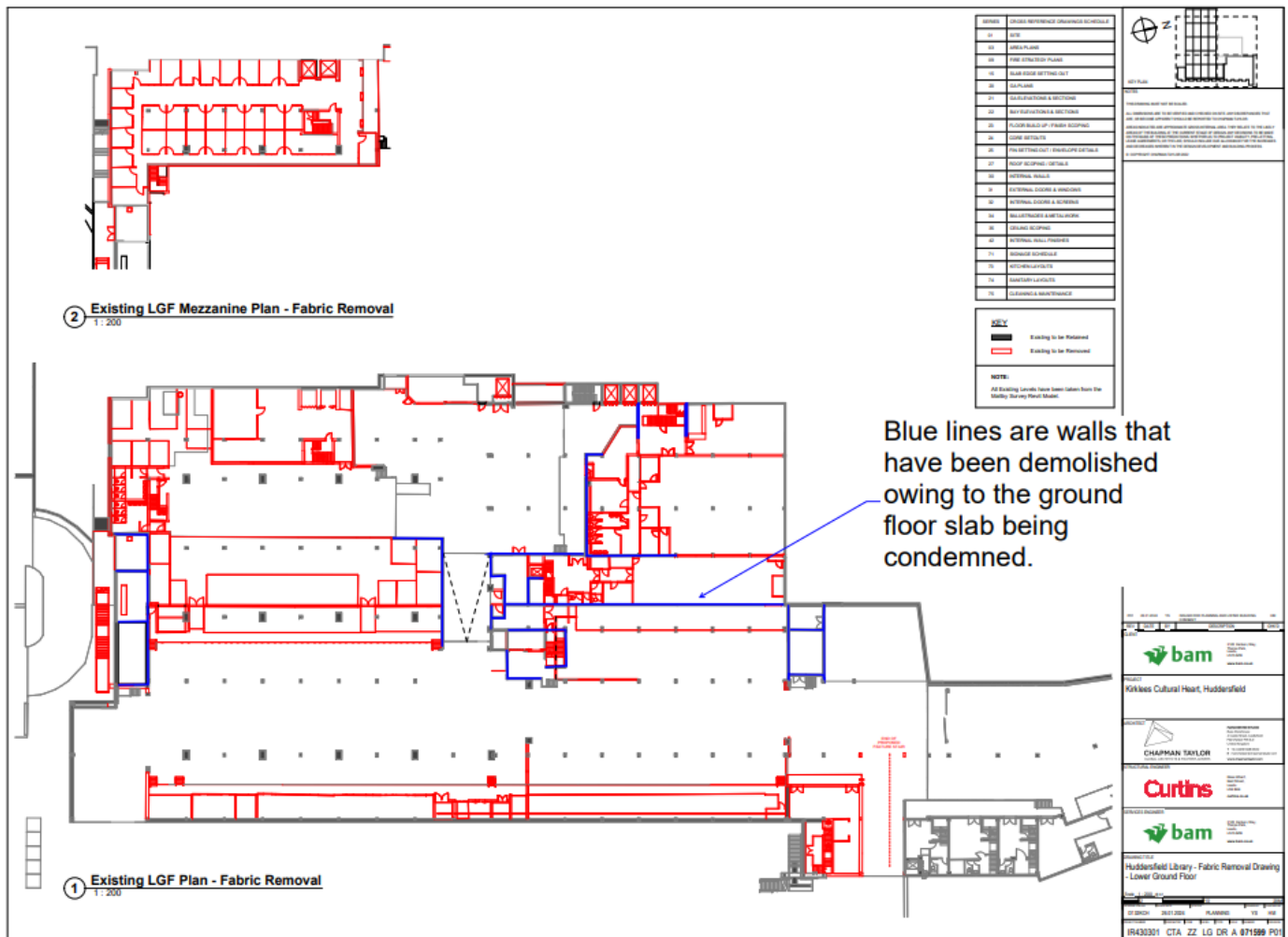


Figure 3- IR430301 CTA ZZ L DR 071599 P01 Proposed Lower Ground Floor Demolitions Plan

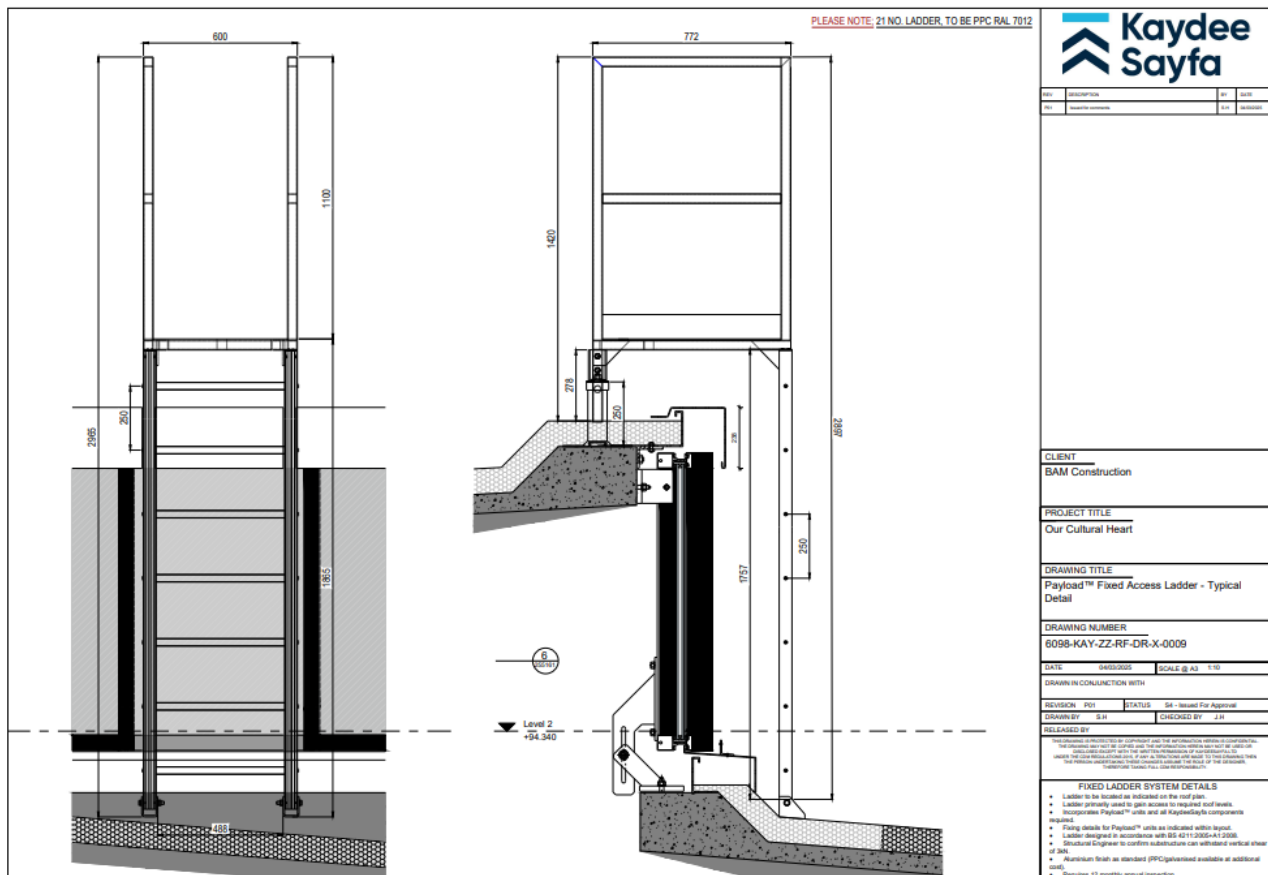


Figure 5- 6098-KAY-ZZ-RF-DR-X-0009 Proposed Fixed Roof Access Ladder Design Plan



Kaydee Sayfa	
REV	DESCRIPTION
REV	DATE
REV	BY
REV	DATE
CLIENT	
BAM Construction	
PROJECT TITLE	
Our Cultural Heart	
DRAWING TITLE	
FallSecure™ Restraint System - Parabolic & Library Roofs - GA	
DRAWING NUMBER	
6098-KAY-ZZ-RF-DR-X-0001	
DATE	07/02/2025
SCALE	@ A3 1:400
DRAWN IN CONJUNCTION WITH	
REVISION	REV
STATUS	S4 - Issued For Approval
DRAWN BY	S.H.
CHECKED BY	L.T.
RELEASED BY	
This drawing is provided by Kaydee Sayfa and the information herein is confidential. The drawings are not to be copied, reproduced, or used in any way without the written consent of Kaydee Sayfa. The drawings are not to be used for any other project without the written consent of Kaydee Sayfa. The drawings are not to be used for any other project without the written consent of Kaydee Sayfa.	
1.75m AVIATOR™ SYSTEM DETAILS - Line to be located as indicated on the roof plan. - Line primarily used to gain access to exposed roof edges. - Incorporates Aviator™ units and all KaydeeSayfa components required. - Facing details for Aviator™ units as indicated within layout. - System to be used in conjunction with 1.75m retaining lanyard unless stated otherwise. - Structural Engineer to confirm substructure can withstand LSD (Limit State Design) 12.13kN, SLD (Serviceability Limit Design) 4.49kN of point.	

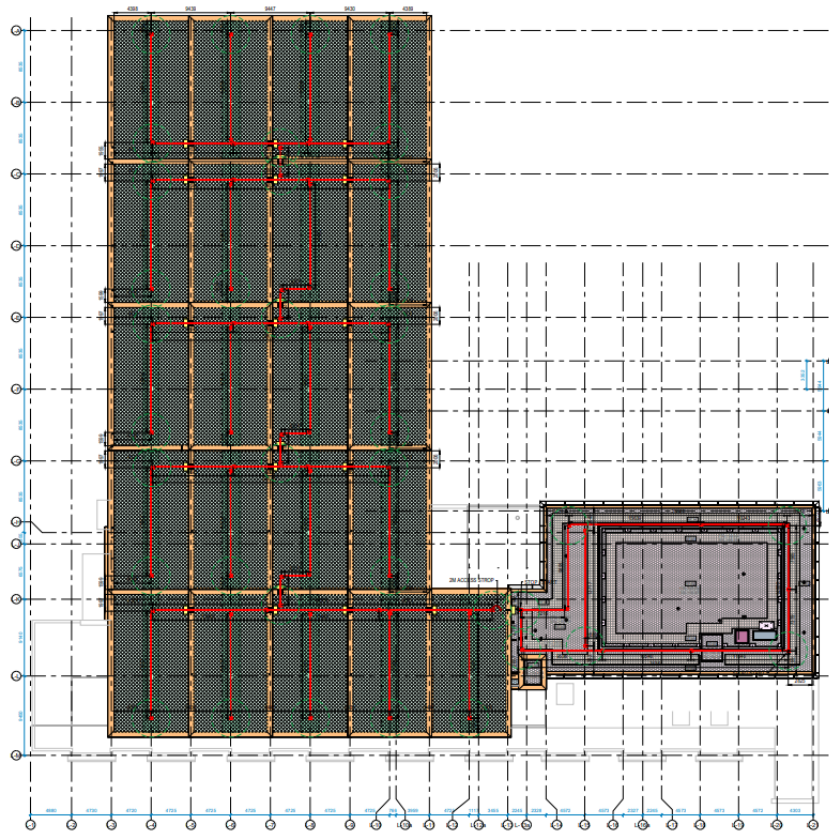


Figure 6– 6098-KAY-ZZ-RF-DR-X-0001 Proposed Roof Mansafe Plan

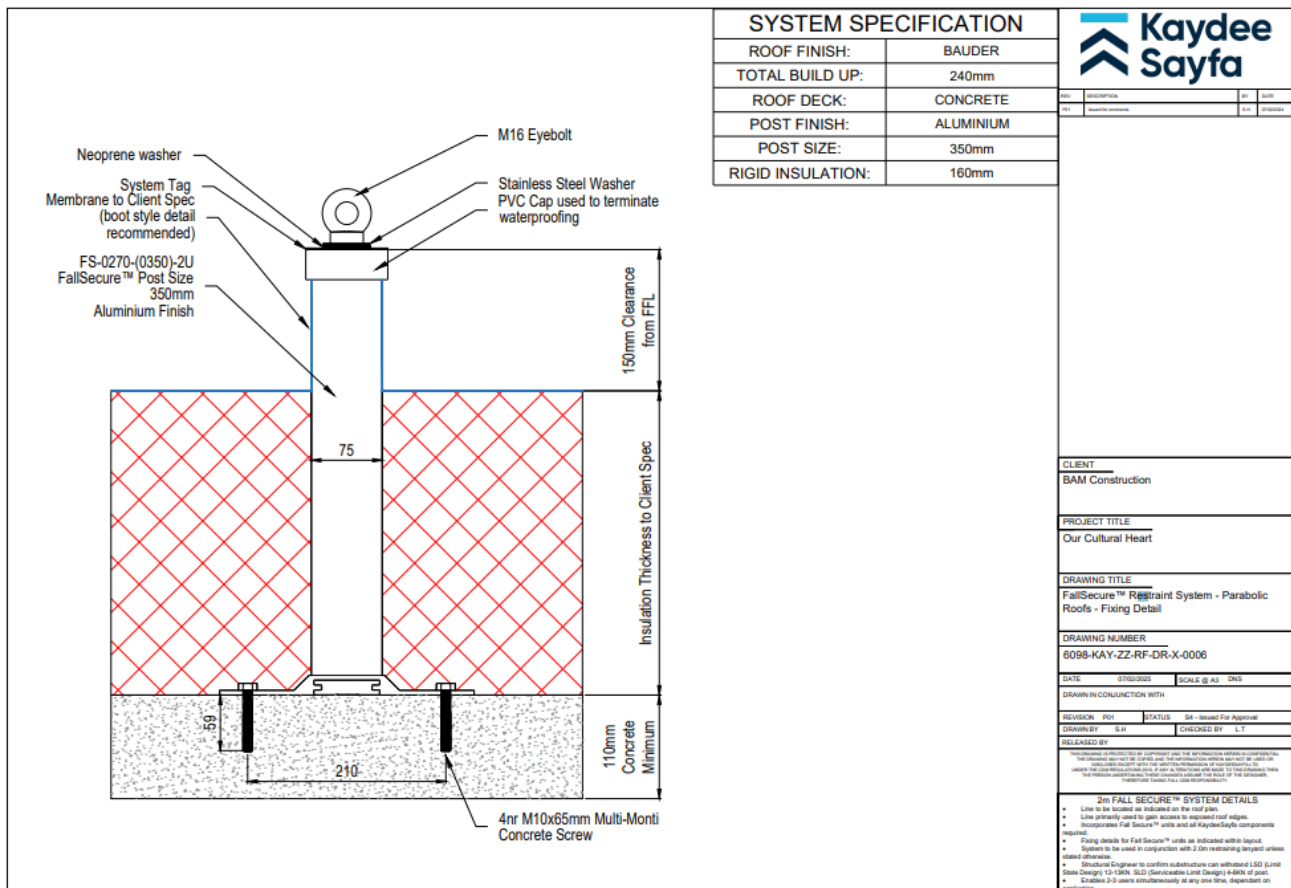


Figure 7- 6098-KAY-ZZ-RF-DR-X-0006 Proposed Mansafe Post Details Plan

Heritage Impact

Queensgate Market Hall is a Grade II Listed Building and has recently obtained Listed Building Consent “for demolition, alteration, refurbishment and extension to create library, Food Hall and public realm” under application 2022/65/93235/W. Work has commenced on the building under this Listed Building Consent and the subsequent amendment to the Consent under Listed Building Consent 2024/65/90270. Another LBC consent application for another section of wall located on Princess Street is currently under review ref: 2025/65/90274/W.

As a Grade II Listed Building the market is a designated heritage asset . The heritage significance of this Listed Building is principally embodied in its architectural interest through its innovative design, especially the use of then cutting-edge technology in its application of freestanding asymmetric hyperbolic paraboloid shells in its construction and its patent glazing method to create a building that is visually pleasing with a dramatic roofscape. The building also incorporates very high quality decorative ceramic sculptures by a noted sculptor, Fritz Steller, both externally and internally and are integrated into the overall design and form and provide the building with a degree of artistic interest also.

The re-building process will be via replacement walls/finishes and room layouts, not dissimilar to the original construction. The proposals are also structurally necessary to remove risk (including the removal of asbestos) to the public and users of the building but will not impact upon the significance of the listed building. The features necessary to maintain the external roof space will be slight in their impact, being discreetly located and attached to the building. These elements are required for health and safety reasons but with the heritage benefit being the facility to properly maintain the roofs and their drainage system.

The proposals are thereby considered to comply with the duty of the Planning (Listed Buildings and Conservation Areas) Act 1990, Local Plan policies and policies contained in Section 16 of the NPPF for heritage. The public benefits of the proposals are considered to outweigh the less than substantial harm and the benefits outweighing those harms.



This application is for Listed Building Consent and therefore the application fee is nil.

I trust the above and enclosed are sufficient to register the application as valid. However, should you require any further information, please do not hesitate to contact me.

Yours Sincerely,

Alfie Gill-Hannan

Graduate Planner