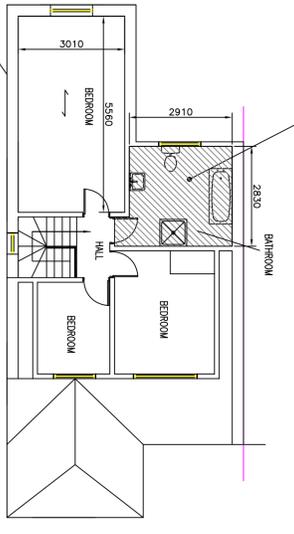
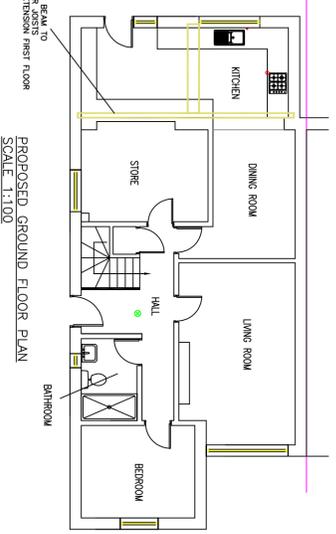


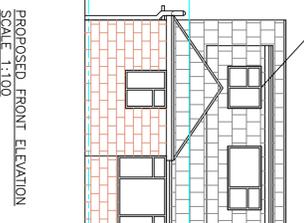
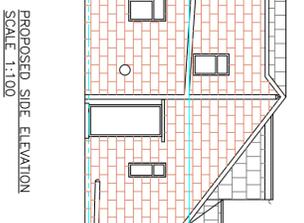
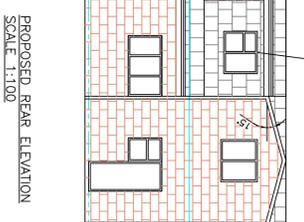
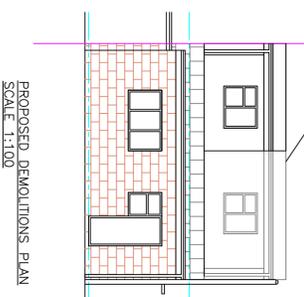
- CONVERTED EXISTING BEDROOM TO BATHROOM**
1. MOISTURE RESISTANT FLOORING WITH 25mm FLOOR TO CEILING WALL
 2. EXTRACTOR FAN
 3. LIFTING
 4. NEW BATHROOM AND SUIT
 5. DISCHARGE TO EXISTING CHANGING EXISTING PLUMBING TO SUSPENSE
 6. CHANGE EXISTING EXTERIOR PLUMBING TO SUSPENSE



PROPOSED FIRST FLOOR PLAN
SCALE 1:100



PROPOSED GROUND FLOOR PLAN
SCALE 1:100



- MAINS WELD WITH FINE ALKALINE TO BE FLOORS WITHIN HALLOW AREAS
- STEEL BEAMS PROVIDE SUPPORT TO ABOVE NEW GREENS WORK. FOUNDATIONS MAY BE REINFORCED WITH MAJOR OPENINGS.
- INDICATE BALUNES REMOVAL OF FOUNDATIONS/ REMOVAL OF FOUNDATIONS/ GROUND MADE GOOD
- BLOCK-OFF EXISTING DOOR/WINDOW OPENINGS
- NEW ANCON ANCHORS TO FOUNDATIONS ANCHOR FIXES FROM ANCON. ALLOW FOR MIN. 4-6 SUPPLY FROM ANCON. RESIN AND WITH SHOWN SAMPLE.
- ASSUMED SORT GRANT TO FIRST FLOOR - POSSIBLE RETAIN GROUND FLOOR EXTENSION AND ALLOW FOR NEW SUSPENDED TIMBER TO BE REMOVED THROUGH DISCUSSION WITH SHOWN SAMPLE.

PART DEMOLITION OF EXISTING SECOND-STOREY EXTENSION RETAINED ELEMENT INCLUDING INTERNAL NEW CONCRETE PERIMETER WALLS PRIOR TO CONSTRUCTION OF NEW SECOND-STOREY EXTENSION

CHECK EXISTING FOUNDATIONS SECOND-STOREY EXTENSION MAY REQUIRE PLUMBING/MECHANICAL/ROOFING

OSBORE GLAZED

STEEL BEAM TO BE ADDED TO EXTENSION FIRST FLOOR

OSBORE GLAZED

NOTE:

REAR SECOND-STOREY EXTENSION

WALL CONSTRUCTION - TO BE BRICKWORK EXTENSIVELY TO MATCH EXISTING FRONT

ROOF CONSTRUCTION - SUSPENDED TIMBER PRESS RAFTER ROOF WITH SHINGLED OR CORRUGATED IRON-THATCHED ROOF TILES

FLOOR CONSTRUCTION - INTERNAL FLOOR TO BE OF SUSPENDED FLOOR

NEW WINDOWS AND DOORS TO BE REQUIRED TO ADDITIONAL LOADING FROM NEW EXTENSION.

CONSIDER FOR THE FULL RESPONSIBILITY FOR TEMPORARY PROVISION OF STABILITY FOR DURATION OF WORKS. UNLESS ALL UNITS TO ACHIEVE HORIZONTAL DRAIN PROOF COME.

NOTE:

UNDER THE PARTY WALL ACT 1996 NOTICE MUST BE SERVED ON ADJOINING OWNERS BY THE PROPERTY OWNERS PRIOR TO COMMENCEMENT OF WORKS. THIS NOTICE MUST BE SERVED IN ACCORDANCE WITH THE ACT. MORE INFORMATION IS AVAILABLE ONLINE.

NOTE - THIS DRAWING IS FOR PLANNING PURPOSES ONLY - FURTHER DETAILED DRAWINGS WILL BE REQUIRED AS PART OF A BUILDING REGULATIONS APPLICATION.

NOTE - DO NOT SCALE OFF DRAWING. DIMENSIONS TO BE CONFIRMED ON SITE

NOTE - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DRAWING NO. S03 - WORK SPECIFICATION

Revisions	Date	Planning Application for:
	Aug 2024	Second-Storey Extension 25 Manor Farm Drive, Batley
		Proposed Plans and Elevations
		Drawing No: S02
		Scale: As shown
		Page: Size: A1