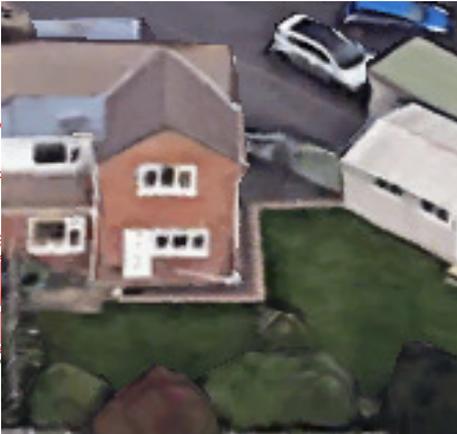


Design and Access Statement

For

**25 MANOR FARM DRIVE, BATLEY WF17 7HQ
REAR TWO-STOREY EXTENSION**

Date: January 2025
Revision: Original

1	INTRODUCTION
	<p>This Design and Access Statement accompanies a planning application for a two-storey rear extension to No. 25 Manor Farm Drive, Batley WF17 7HQ. The proposed development also includes for demolishing the existing rear dormer.</p>
2	LAYOUT
	<p>Refer to attached drawings:</p> <p style="padding-left: 40px;">S01A - Existing Plans and Elevations S02B – Proposed Plans and Elevations S03A – Work Specification</p> <p>The proposed development will provide much needed living spaces within the property.</p> <p>A pre-application response dated 12 December 2024 for the proposed development identified:</p> <p><i>Any scheme going forward would need to carefully consider the character of the host property and the wider street scene and would need to include an appropriate palette of materials and detailing in order to comply with policy LP24 of the Kirklees Local Plan, KDP1 & KDP2 of the House Extensions & Alterations SPD in terms of the character of the house and the surroundings and advice within chapter 12 of the National Planning Policy Framework.</i></p> <p><i>The below images demonstrate what <u>may</u> be supported, should a subsequent application be submitted.</i></p> <div style="display: flex; align-items: center; justify-content: center;">   </div> <p>The submitted application for a two-storey extension has now been altered to suit the above proposals with a pitched roof and brickwork walls.</p>

3	SCALE
	The proposed development will be in keeping with the existing design of the property with pitched roofs for the extension.
4	APPEARANCE
	<p>The external walls to the extensions will be brickwork to match the existing property.</p> <p>The roof covering to the pitched roofs to the rear extension will be Forticrete Centurion low-pitched tiles in slate grey to match the colour of the roof covering to the existing property.</p> <p>The windows to the proposed development will be white UPVC.</p>
5	ACCESS
	The property is currently accessed and egressed from the front and rear of the property. The accesses will remain on completion of the development.
6	CAR PARKING
	There are currently on-street car parking spaces to the front of the property. These will remain on completion of the proposed development.
7	SUMMARY AND CONCLUSIONS
	<p>The proposed development will provide extended living spaces within the property and will be in keeping with the scale, proportion, design and materials of the existing and neighbouring properties. There will be no resulting detriment to the character of the local area or to the amenity of the users. The positioning of the extension will ensure there is minimal impact with either overshadowing or overbearing on neighbouring properties.</p> <p>The issues raised in the pre-application have been mitigated through design and incorporated into this planning application.</p> <p>Furthermore, the proposed development will be in accordance with current planning and development requirements in line with the House Extensions and Alteration SPD and Local Plan 2019 and should therefore be permitted.</p>