

Supporting statement for variation of condition on planning application 2020/93954 for 42 No dwellings at Lingards Road, Slaithwaite.

This application seeks approval for the installation of solar panels to plots 9 to 22 (phase 1) for the above application was approved in October 2023.

During the course of that application it was not known what the requirements would be for the renewable energy on the site, or which type of renewable energy was to be installed.

The main two options for consideration were solar panels and air source heat pumps. Heat pumps require a cylinder to be fitted internally and a condenser externally and due to the size of dwellings and amount of available external wall this was not always possible. Furthermore, the heat pumps run at lower temperatures so underfloor heating, or larger radiators are required throughout, which was an additional complication.

Other forms of renewable energy are wind turbines or ground source heat pumps but these are not suitable for multiple housing developments due to space constraints. Bio mass boilers are another option but are more suited to 'one off' dwellings.

Mechanical ventilation and waste water heat recovery systems can be installed to improve energy efficiency but only make a small improvement relative to the requirements needed.

On balance it has been decided to install gas fired boilers along with solar panels which will also assist in providing energy for the mandatory electric vehicle charging points required on each dwelling, especially if used in conjunction with battery storage.

DER SAP calculations have now been prepared for phase 1 and the photovoltaic generation requirements (in kW) are as follows:

Plot 9 – 4.2
Plot 10 – 4.0
Plot 11 – 4.0
Plot 12 – 4.2
Plot 13 – 2.4
Plot 14 – 2.4
Plot 15 – 2.8
Plot 16 – 3.4
Plot 17 – 3.4
Plot 18 – 4.4

Plot 19 – 4.2

Plot 20 – 1.4

Plot 21 – 2.2

Plot 22 – 4.4

Each panel can generate 0.45kW and the number of panels allocated to each property is shown on the elevation drawings attached.

The panel size is 1134mm x 1763mm.

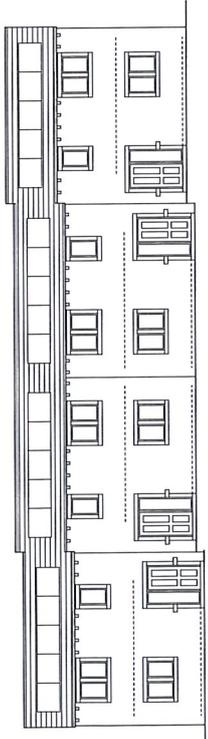
The panels are set within the plane of the slates and not bracketed off the roof resulting in them projecting above the roof line. Literature of the installation forms part of the application.

It should be noted that once the dwellings are complete and inhabited, then the solar panels could be installed under Permitted Development.

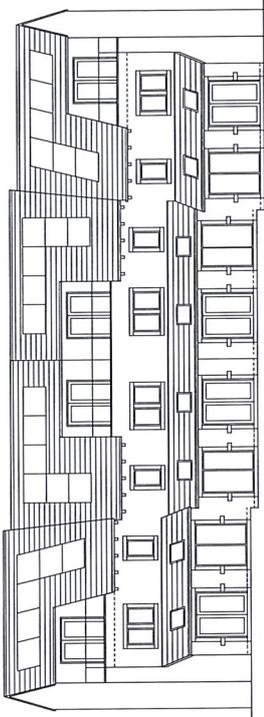
December 2024.

As	Scale 1:50
Ps	Scale 1:100
Is	Scale 1:200
Os	Scale 1:500
Os	Scale 1:1250

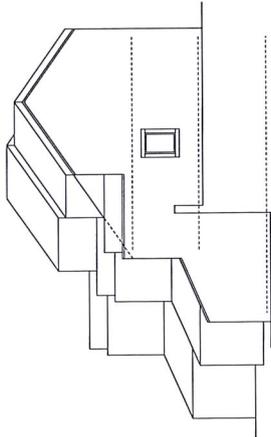
(When in need of original plan for scale)



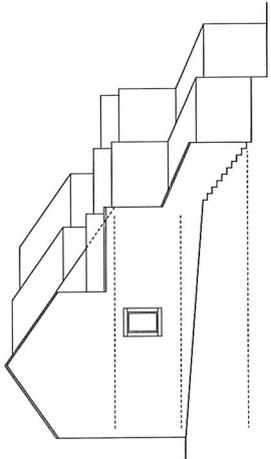
Front/south facing elevation (1:100)



Rear/north facing elevation (1:100)



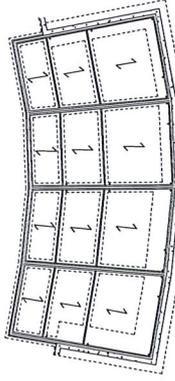
Side elevation (1:100)



Side elevation (1:100)

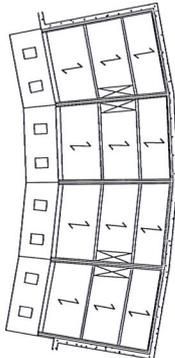


Location plan (1:1250)



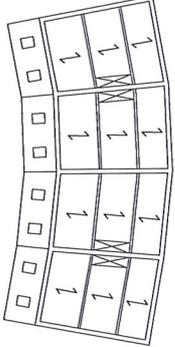
Foundation layout (1:200)

1 Denotes concrete beam span



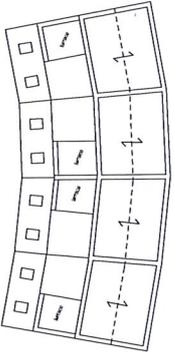
Ground floor TJI layout (1:200)

1 Denotes TJI span



First floor TJI layout (1:200)

1 Denotes TJI span



Roof layout (1:200)

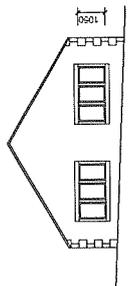
1 Denotes truss span

Rev B 10/12/2024 Solar panels added.
Rev A 16/10/2024 Side elevations amended.

Project	Residential Development.
Address	Lingards Road Slathwaite.
Title	PLOTS 9 to 12 elevations.
Drawing number	BR 11 A.
Date	Sept 2024.

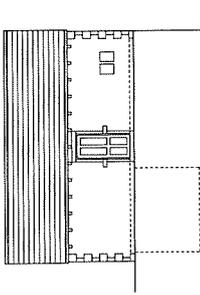
As	Scale 1:50
Pl	Scale 1:100
En	Scale 1:200
Ar	Scale 1:500
Site	Scale 1:1250

(When in doubt of any particular scale)

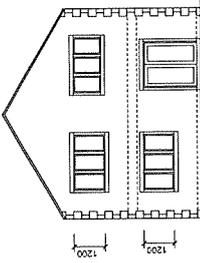


Front/south east facing elevation (1:100)

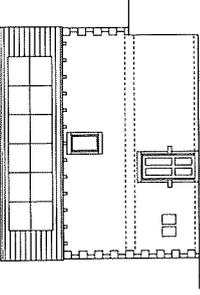
NOTE: Elevation shows floor level only to generally of road to window sill level.



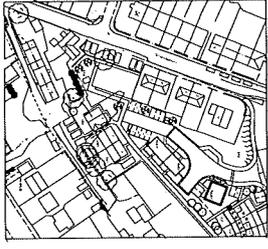
Side/north east facing elevation (1:100)



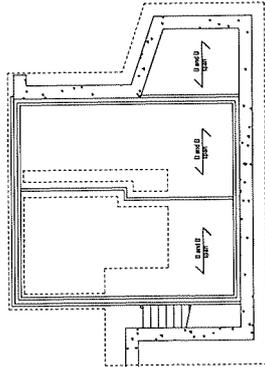
Rear elevation/north west facing (1:100)



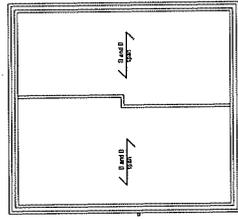
Side/south west facing elevation (1:100)



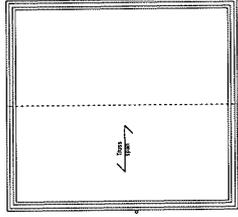
Location plan (1:1250)



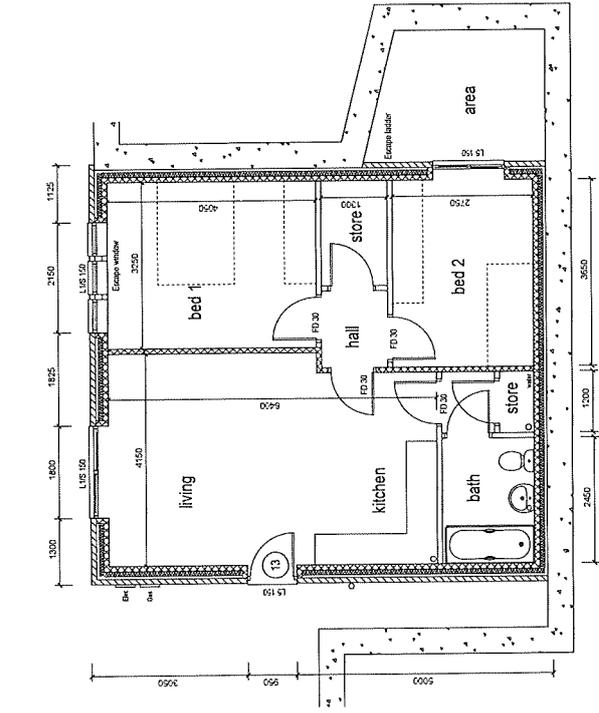
Foundation layout (1:100)



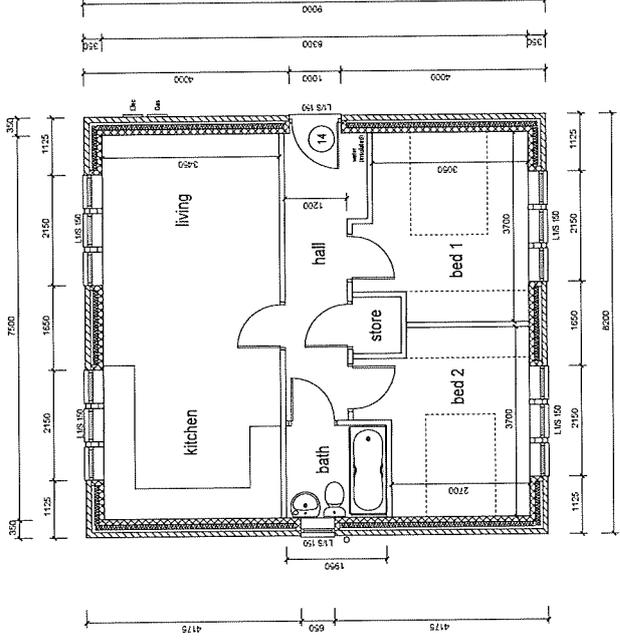
Upper floor layout (1:100)



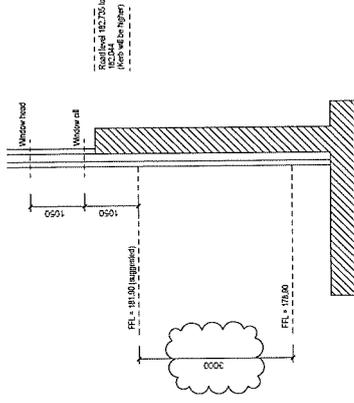
Roof layout (1:100)



Lower ground floor layout (1:100)



First floor layout (1:100)



Section through retaining wall (1:100)

Prep. by: SUZUKI CONSULTANTS PRIVATE
Project: CONSULTATION

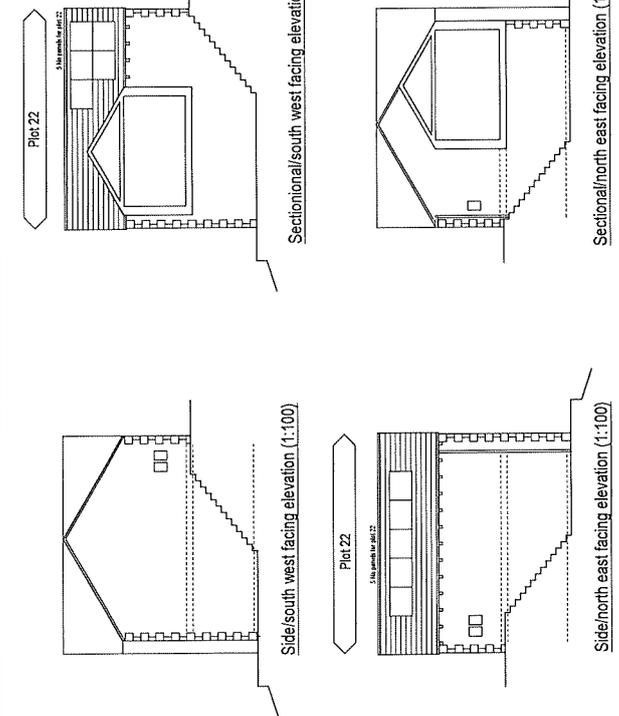
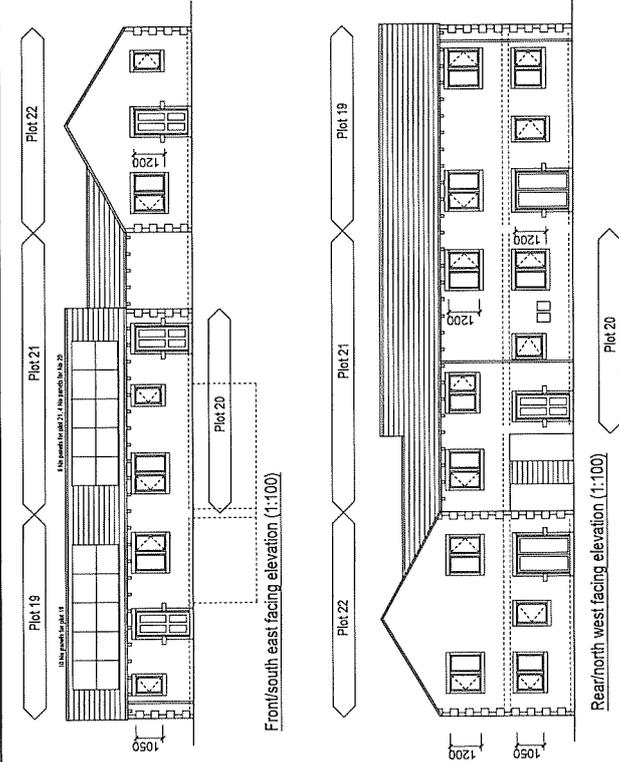
Residential Development

Address
Lingards Road
Slahwaile.

Title
Plots 13 and 14 layouts and elevations.

Drawing number
BR 07 B.

Date
March 2024.

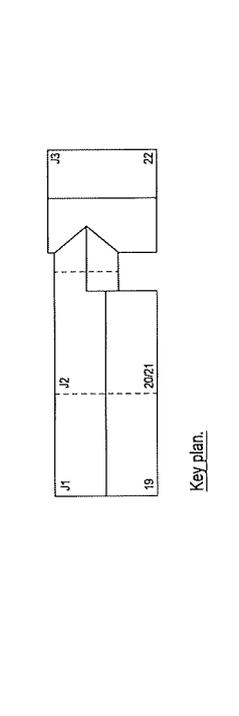
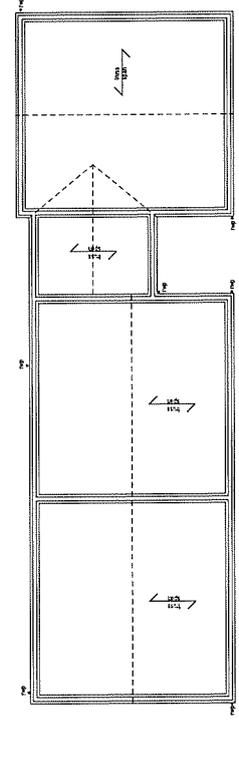
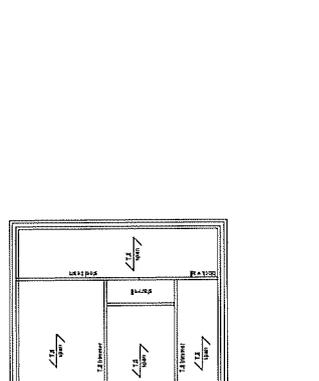
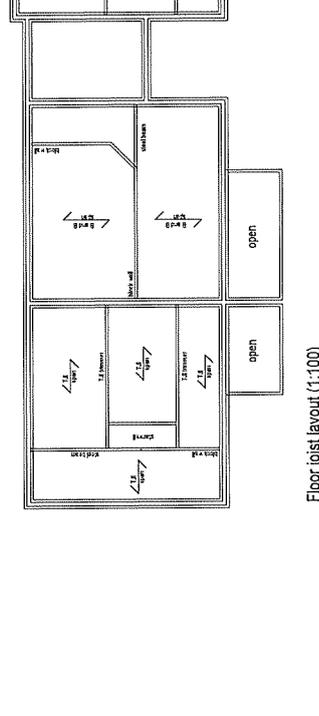
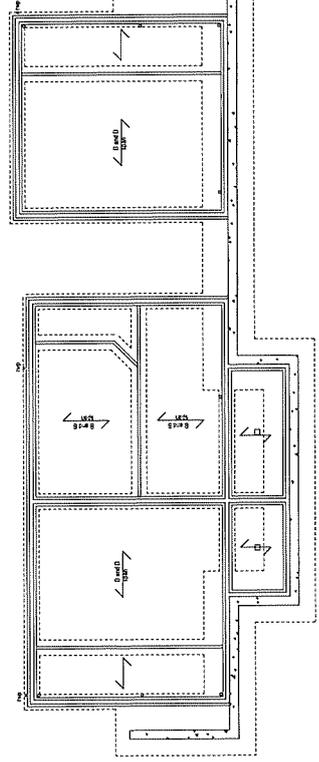
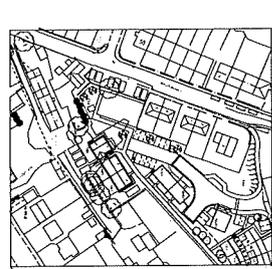
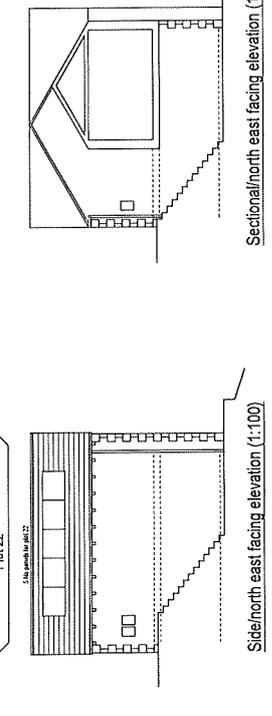
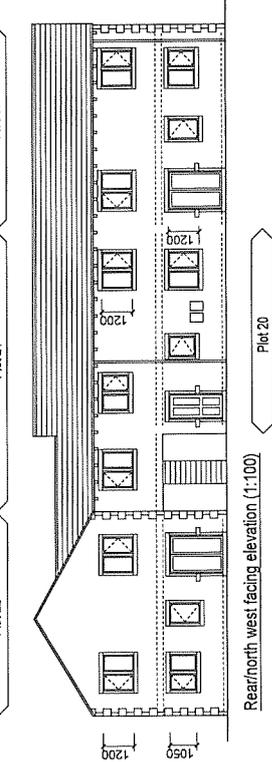


Scale	1:50
Plot	1:100
Site	1:200
Block	1:500
Area	1:1000

(When in scale of original paper = A1)

Schedule of solar panel requirements
within SAP calculations (m²)

Plot 19 4.2 MWp (10 No panels)
Plot 20 1.4 MWp (4 No panels)
Plot 21 2.2 MWp (6 No panels)
Plot 22 4.4 MWp (10 No panels)



Rev A: INITIAL
Rev B: REVISED
Rev C: REVISED
Rev D: REVISED
Rev E: REVISED

Project	Residential Development.
Address	Lingards Road Slathwaite.
Title	Plots 19 to 22 elevations.
Drawing number	BR 02 E.
Date	March 2024.

GUTTERS AND DRAINAGE PIPES
Gutters and drainage pipes are shown in dashed lines.
Gutters and drainage pipes are to be installed in accordance with the manufacturer's instructions.
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