

DORMER CONSTRUCTION DETAILS

INSULATION TO NEW GABLE ROOF: NEW ROOF 90mm x 90mm TR27
 150mm ALUMINOX DECKING WITH A MIN. AIR CAVITY OF 150mm WITH 125mm PLASTERBOARD AND SKIN

NEW DORMER ROOF COVERING: 150mm DORMER ROOF TO BE 1.5% FALL APPROX. 25mm TO 20mm ON THE FLAT ROOF JOISTS BUILT UP FROM WALL OF DORMER ON WALL PLATE STRIPPED DOWN TO 150mm x 150mm x 30mm x 4. NEW 100mm EDGE COATED GALVANIZED STRIPS FLOODED & SCREWED TO WALL TO MEET WEATHERING REQUIREMENTS AND AT ROOF BEAT TO MEET NEW RIDGE BEAM

INSULATION FROM WALLS OF DORMER: TO BE BUTT JOINTED TO ROOF INSULATION (TO PREVENT COLD BRIDGING)

TRIM: EXTERNAL WALLS - TIMBER FRAMED WITH SHIP-LAP CLADDING. SEE DETAIL.

INTERNAL NON-LOAD BEARING WALLS: INTERNAL WALLS TO BE CONSTRUCTED USING 100x100MM DW TIMBER STUDS CLIPPINGED WITH 125mm THICK BRICKWORK. JOISTS AT 600MM SPACES AND MOULDINGS ENGAGED AT 90 DEGREE ANGLE TO BE BONDING BOTH SIDES WITH CLEAR GROUT. WALLS TO BE FINISHED WITH 125mm THICK GYPSONUM BOARD FINISH. PLASTER BOARDING TO BE FIXED TO THE INTERIOR USING 100x100mm DW TIMBER STUDS. ALL NEW INTERNAL WALLS TO HAVE 100mm MINERAL WOOL INSULATION IN THE PARTITION.

NEW WINDOWS: TO BE UPVC FRAMES & GLAZING TO MEET REQUIREMENTS OF PART 11 OF BUILDINGS REG.

FRAMES: SEALS INTERNALLY AND EXTERNALLY TO STRUCTURE. FRAMES TO BE PROTECTED AND TO HAVE SEALED DOUBLE GLAZED UNITS WITH LOW E GLASS TO MATCH FRAME.

NOTE: NO EXISTING PURLINS OR OTHER ROOF TIMBERS TO BE CUT OR SUPPORTS REMOVED UNLESS OR UNTIL NEW SUPPORTS ARE IN PLACE PERMANENTLY OR TEMPORARILY.

HEATING SYSTEM: EXTENSIONS TO HEATING SYSTEM TO BE DESIGNED & COMPLETED BY SPECIALIST CONTRACTOR (INCLUDING MOVING ANY HEATER TANKS)

ELECTRICAL SYSTEM: LIGHTING & POWER CIRCUITS TO BE EXTENDED AND INSTALLED TO LATEST U.K. WIRING REGULATIONS BY QUALIFIED SPECIALIST CONTRACTOR

VENTILATION: TO NEW DORMER VIA WINDOW. WINDOW TO GIVE MIN 1/20 OF FLOOR AREA AND TO HAVE TROTTLE WENT TO HEAD TO GIVE NOT LESS THAN 8000mm² FREE VENTILATION (TROTTLE NOT CONTROLLABLE)

MEANS OF ESCAPE: WINDOWS TO INCORPORATE OPEN SASH PART OF WHICH TO HAVE A CLEAR OPENING OF AT LEAST 450mm AND AT LEAST 1750mm HIGH AND 100mm WIDE. THE OPENABLE AREA MUST NOT BE MORE THAN 100mm ABOVE FLOOR LEVEL AND NOT LESS THAN 800mm.

INSULATION TO ROOF: 150mm x 150mm x 100mm RIGID INSULATION TO BE FIXED BETWEEN RAFTERS WITH 25mm OVER 125mm FOAMGLASS PLASTERBOARD & 25mm VERTICAL INSULATION IN PARTITIONS TO BUTT UP TO INSULATION IN ROOF.

NOTE: SUFFICIENT CAR PARKING SPACES AVAILABLE TO FRONT OF PROPERTY

NEW FLOOR CONSTRUCTION TO PROPOSED LOFT FLOOR: 200mm TIMBER TRAP FLOOR GRADE CHIPBOARD ON C16 FLOOR JOISTS @ 450mm C/S. SET 25mm ABOVE EXG CEILING JOISTS. FLOOR JOISTS TO BE SUPPORTED OFF EXISTING LOAD BEARING WALLS OR NEW STEELWORK.

100mm SOUND INSULATION BETWEEN FLOOR JOISTS TO HAVE A DENSITY OF 10kg/m³

DOUBLE UP FLOOR JOISTS TO SUPPORT STUD WALLS IN LOFT

FIRE STRATEGY FOR LOFT FLOOR: ALLOW FOR SAFE FIRE FROM FIRST AND LOFT FLOORS BY INSULATING WARE WHEED AND RETAINED WITH BATTERY BACK-UP SMOKE/FIRE ALARMS ON ALL FLOORS AND 1 HOUR FIRE RESISTANCE DOORS ON ALL FLOORS.

CONTRACTOR HAS FULL RESPONSIBILITY FOR TEMPORARY WORKS INCLUDING SCAFFOLDING, PROTECTING OF SITE TO MAINTAIN STABILITY FOR DURATION OF WORKS.

NOTE: UNDER THE PARTY WALL ACT 1996 - NOTICE MUST BE SERVED ON ADJOINING OWNERS BY THE PROPERTY OWNER PRIOR TO STARTING ANY WORK NEAR PROPERTY BOUNDARIES. THIS NOTICE MUST BE SERVED IN ACCORDANCE WITH THE ACT. MORE INFORMATION IS AVAILABLE ONLINE.

NEW ROOF TO BAY WINDOW, SIDE & REAR EXTENSIONS: WALL CONSTRUCTION - TO BE BRICKWORK EXTERNALLY TO MATCH EXISTING PROPERTY

ROOF CONSTRUCTION - STEEL RIDGE BEAMS/PURLINS/RAFTERS WITH MARLEY PLAN CONCRETE TILES/PORCELTILE CENTURION LOW-PITCHED ROOF TILES TO BE SUSPENDED TIMBER FLOOR CONSTRUCTION. GROUND FLOOR MAY BE GROUNDBEARING CONCRETE CONSTRUCTION.

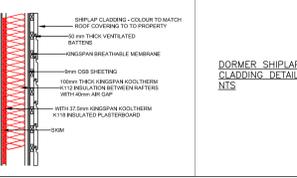
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NOTE - THIS DRAWING IS FOR PLANNING PURPOSES ONLY - FURTHER DETAILED DRAWINGS WILL BE REQUIRED AS PART OF A BUILDING REGULATIONS APPLICATION.

NOTE - DO NOT SCALE OFF DRAWING. DIMENSIONS TO BE CONFIRMED ON SITE

ALL DIMENSIONS IN MM

NOTE - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DRAWING NO. S03 - WORK SPECIFICATION



DORMER SHIELAP CLADDING DETAIL NTS

Revisions		Planning Application for:
Date	Oct 2024	Side/Rear Extensions and Rear Dormer 130 Bywell Road, Dewsbury
		Drawing Title: Proposed Plans and Elevations
		Drawing No: 502
		Scale: As shown Paper Size: A1