

104 Leeds Road,
Littletown, Liversedge
WF15 6AA

To whom it may concern,

In regard to planning application number 2024/62/92305/E submitted for the erection of a garden room to the front garden of 102 Leeds Road, Littletown, Liversedge, WF15 6AA, we as the owners of the adjacent property of 104 Leeds Road, Littletown, Liversedge, WF15 6AA wish to object to the granting of permission to the above application.

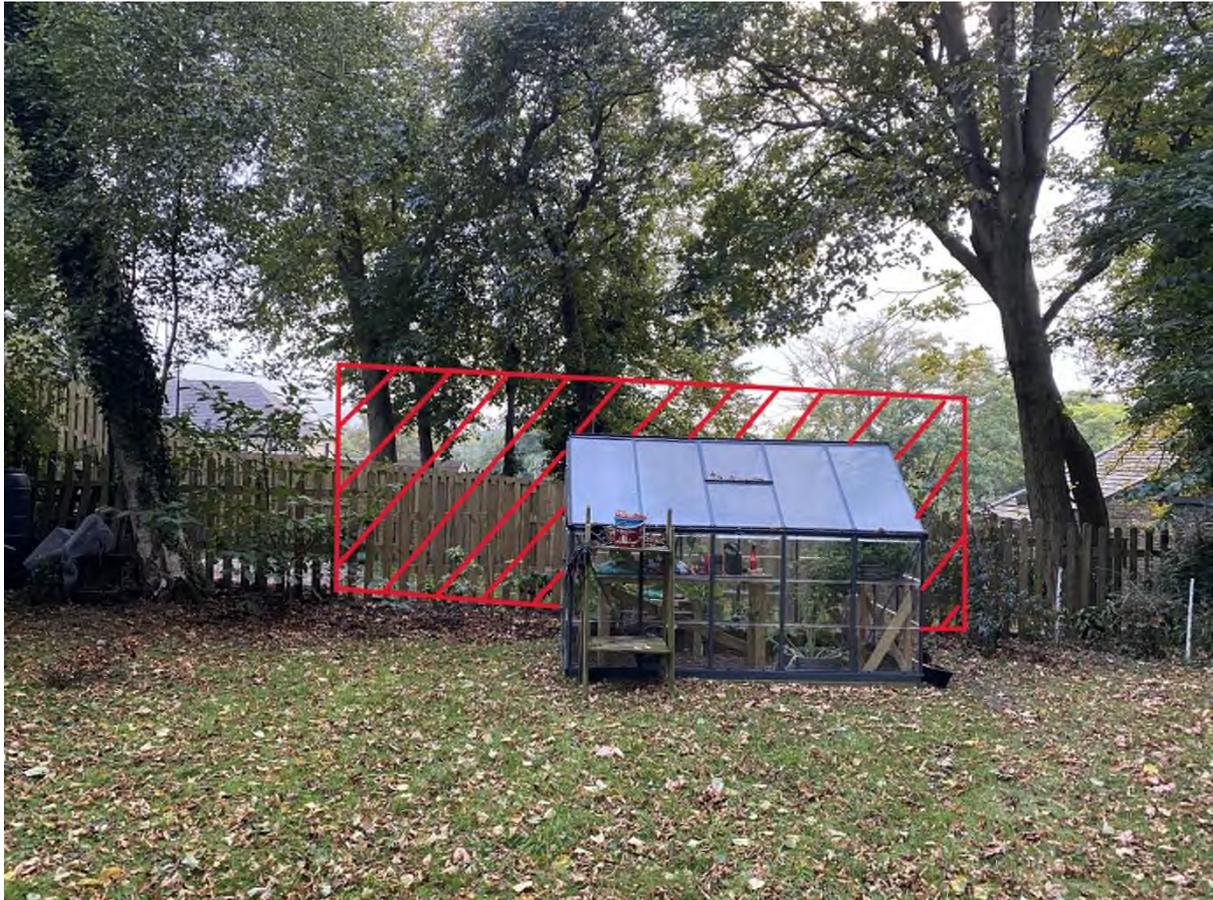
The proposed building is not in keeping with the visual appearance of existing buildings surrounding it, being that they are constructed in stone with a pitched slate roof, and the proposed building is constructed in timber with a near flat roof. It will clash visually with the existing dwellings which were constructed around 1860 – 1870, and retain many period features, both internally and externally.

The proposed building will occupy a large proportion of the green garden space at 21m² within a green space area of approximately 75m² and will dominate the space adjacent to our garden. As the width of the garden is a little over 6m, it will occupy nearly 50% of the garden's width. It also will not be subservient to the footprint of the associated dwelling which has a footprint of approximately 69m², as it should be as per section 5.30 of Kirklees council House extensions and alterations SPD, issued June 2021.

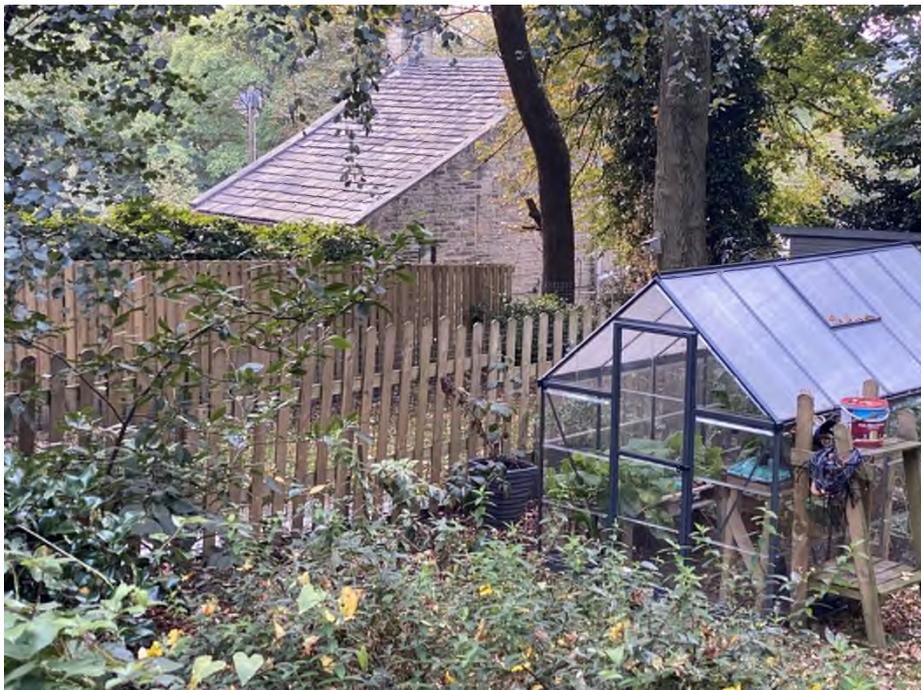
It will cause significant visual intrusion on to both adjacent gardens due to the length (7m) and height (2.5m – 2.75m) of the proposed building. Further to this it will cause significant overshadowing of garden, which gets restricted sunlight as it is, due to a number of protected trees surrounding the garden. It is adjacent to large number of trees which are subject to tree preservation orders.

In relation to sections 4.36 and 4.37 of the Kirklees council House extensions and alterations SPD, we believe that the further substantial loss of ground available to soak away rainwater could lead to localised flooding risk due to run-off from the structure's roof onto our garden, as the plans show no intention to install any form of guttering, or any means of diverting rainfall away from our garden. Also according to the climate change statement associated with this application, no mitigation measures are proposed. This could therefore lead to our garden borders being overwhelmed by runoff from the structure's roof.

We consider the proposed development to be a direct contravention of the objective from section "4.5 The natural environment" in the above mentioned SPD from Kirklees council and policy document LP34, which states that the natural environment plays a key role in supporting the "health and wellbeing of occupiers and neighbours". As the proposed building is for a garden room, this should be outweighed by the wellbeing and utility provided by the outdoor space surrounding all three properties.



The length of the greenhouse shown in the image above is 3.3m. and the proposed building will sit against the boundary fence and a structure of this size will absolutely dominate the surrounding garden spaces, detrimental to our enjoyment of the green space.



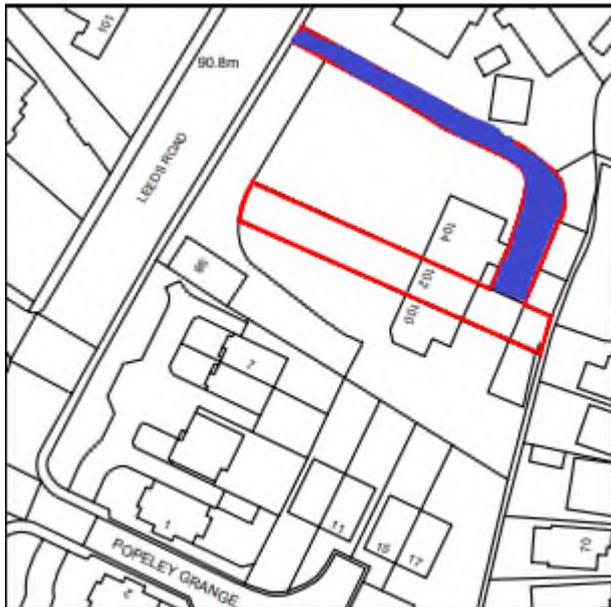
The above image is the view from our raised patio, the lawn and greenhouse sit approximately 1.75m below the patio level, so will overlook the proposed building. Again, the visual impact of

the proposed building on our outlook from the property will be large, and will visually occupy a large proportion of the adjacent garden.

While not a material reason for reason, we have had no approach from the applicant prior to the application being submitted, as advised in section 2.15 of the Kirklees council House extensions and alterations SPD, only becoming aware of the application when we received the planning application notification letter.

Building control documents state that a building with an internal floor area of between 15m² and 30m², it should be positioned at least 1m away from any boundary. As the proposed building has a floor area of approximately 21m², the building should not be adjacent to the boundary between our and the applicant's property. Further to this, if the building is to be placed within 2m of a boundary, the maximum height is 2.5m. As the maximum height of the proposed building is 2.75m, we consider that the proposal is in contravention.

The plans submitted as part of the application also appear to contain inaccurate information, as the area shown below in blue is not owned by the applicants as implied by the plans, but by us. The applicants have a right of access up the drive only.



Yours sincerely,