

- NOTES:**
1. Any structural, services, fit out or external works are indicated for coordination purposes only, please refer to relevant Consultants / Clients information for full details where applicable.
  2. The areas indicated relate to the likely areas of the building at the current date of design. Any decision to be made on the basis of these predictions, contractual agreements or the law, should include due allowance for design development and building insurance. Plans are subject to Building Control and other statutory approvals.
  3. Refer to relevant performance specifications and NBS for full application of Architectural elements.
  4. All primary Structure to Structural Engineers design, details and specification and with allowance also made for Secondary Structure and SFS accordingly to specialist subcontractor design as applicable.
  5. The content of this drawing is for design intent only and may require further design coordination with all relevant consultants, specialist designers, subcontractors, manufacturers and with statutory authorities where applicable.
  6. All Wall and Roof (Flat) penetrations to be confirmed and coordinated with by MEP Engineer design.
  7. All external envelope construction, insulation specifications, number and size of opening lights, and size of louvers are subject to verification by Thermal / SDEM model and detail coordination with the Structural and MEP Engineers.
  8. Maintenance strategy to be agreed. Current design indicated indicative only.
  9. Roof Drainage Strategy:
    - Run Water Pans / Traps (RWTs)
    - Indicative positions shown only. Number of required, locations and size all to be confirmed by specialist subcontractor who is required to carry out calculations accordingly. Include roof guards to all locations. Drainage to connect with by Engineers design, details and specification.
  10. Roof Access Hatch - Signage at base of roof access ladder to read: "Roof access for authorised personnel only. Roof not to be accessed outside daylight hours"

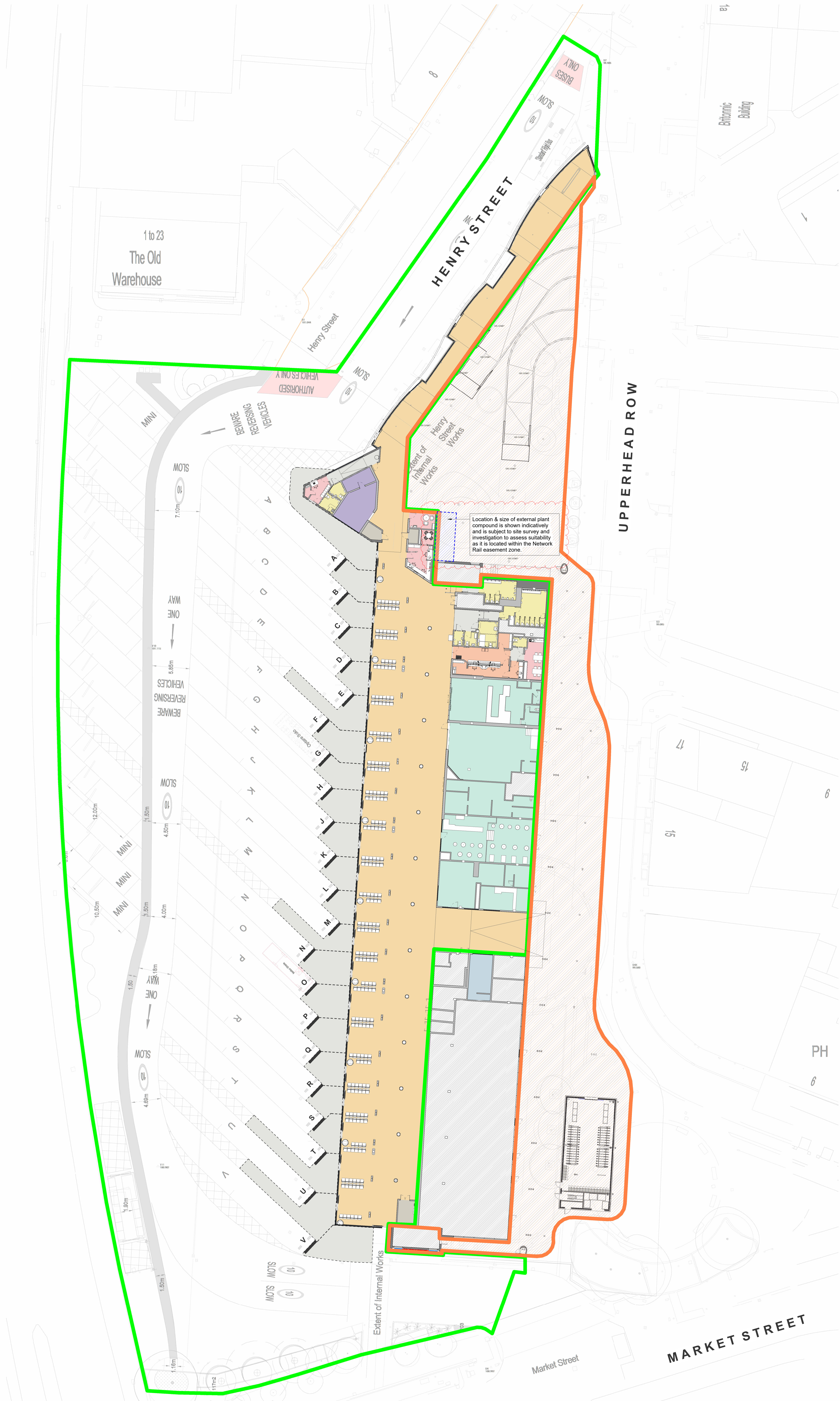
**PLEASE NOTE:**

IT IS THE CONTRACTORS RESPONSIBILITY TO CARRY OUT A SITE SURVEY ENSURING ANY DIMENSIONAL CONSTRAINTS ARE MET BEFORE WORK TAKES TO ANY CRITICAL LOCATIONS PROVIDING ALIGNMENT OF ANY NEW BUILD ELEMENTS WITH EXISTING WALLS & BUILDINGS TO ENSURE ARCHITECTURALLY PLEASING FINISH. THE ARCHITECT IS TO BE ADVISED OF ANY SUCH ENGINEERING CONSTRAINTS PRIOR TO COMMENCEMENT OF INSTALLATION OF ASSOCIATED WORKS

- KEY:**
- Red Line Boundary
  - Phase 1 Boundary
  - Phase 2 Boundary
  - Phase 2 Scope (Refer to SDP / Pick Everard dwg's)

**DEPARTMENT LEGEND:**

- Circulation
- Concourse
- Kirklees Tenant
- Plant
- Retail
- Shared Access
- Staff
- Store
- Travel Centre
- WC's
- WYCA Tenant



**00 GA Floor Plan (Overall) - Proposed**  
1:200

Rev	Description	Date	By	App
P3	External plant compound shown	02/06/24	IZ	RD
P2	Updated following Client feedback	12/07/24	IZ	RD
P1	Primary issue for review	24/06/24	IZ	RD
Rev				

Prepared by	Checked by	Date issued	Approved by
IZ		05/15/24	RD

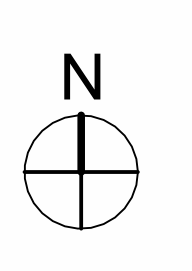


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client name	Willmott Dixon Construction Ltd		
project	Huddersfield Bus Station		
drawing	GA Floor Plan (Overall)		
computer file	Path: \\server\Projects\Huddersfield\GA\GA00.dwg	print date	
project number	2023.00190.000	scale	As Indicated@A0
drawing number	HBS-AHR-XX-00-D-A-20-001	rev	P3
		issue status	S2

SCALE 1:200  
0 4 8 12



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