

IAIN TAVENDALE F.Arbor.A.

ARBORICULTURAL CONSULTANT

Arboricultural Impact Assessment

Site;

Proposed Residential Development

Whitehall Road West, Birkenshaw.

Client:

Orion Homes.

Introduction.

This Arboricultural Impact Assessment has been produced to draw together in to one document all elements of the proposed development that have previously been discussed with the Clients, Architects and Planners.

Reference will be to the submitted Tree Survey and associated drawings together with the latest layout prepared by Orion Homes – 2306-02-001J Site Layout.

Tree Survey and Methodology

Two surveys on the various sections of the site were undertaken in April 2019 and July 2020 all in accordance with BS5837:2012 Trees in Relation to Design, Demolition and Construction - Recommendations.

These have recently been reviewed, updated and combined into a single document together with associated plans for convenience.

Whilst the surveys are now several years old, due to the proposed works and the sizes / ages of the trees to be retained, it is not considered that from guidance within BS5837:2012 and the measure conventions contained therein, any significant changes will have occurred.

The topographical survey provided has amended to show all relevant details including locations and tree numbering sequences.

The surveys were undertaken from ground level. No excavations were carried out or soil or root samples taken. Where a more detailed assessment / inspection of a particular item was deemed necessary, it has been noted in the survey schedule. No aerial inspections or invasive probings or drillings have been undertaken.

Retention values were evaluated following guidance within Table 1 of BS5837 – ‘Cascade Chart for Tree Quality Assessment.’ This specifies four main categories.

1. *CAT A – Trees of high quality with an estimated remaining life expectancy of at least 40 years whereby they could make a substantial long-term contribution to the area.*
2. *CAT B – Trees of moderate quality with an estimated remaining life expectancy of at least 20 years that are still of sufficient quality to make a substantial contribution to the area.*
3. *CAT C – Trees of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm. All items within this category could be retained but would not be expected to impose a significant constraint on development.*
4. *CAT U – Trees in such a condition that they cannot be realistically retained as living trees in the context of the current land use for longer than 10 years. They may however have existing or potential conservation value, which it might be desirable to preserve.*

Management recommendations have been indicated where considered appropriate and necessary to promote tree health and viability and maintain an acceptable level of safety in respect of existing site conditions and the knowledge that some construction is proposed.

It should be noted that the BS5837 is the only nationally recognised document which provides guidance and recommendations on the relationship between trees and design, demolition and construction processes. It expects that appropriately qualified and experienced persons will be entrusted with the execution of its provisions.

The British Standard does not provide specific distances for any trees in relation to structures (other than for new plantings and potential damage from incremental growth) and whilst it may recommend that no construction should occur within the expected root protection areas of retained trees (the default position), the Standards provide detailed guidance on how construction could occur if all appropriate factors and methodologies can be addressed. They clearly expect that an informed, qualified and experienced person applies due consideration to all issues to achieve a satisfactory design appropriate for any particular site and the identified constraints.

General Description of Site and Surroundings

The site and surroundings have been described in detail within other submissions.

In respect of arboricultural issues, two sites have been combined to create one single development.

Retained trees exist to the rear / south of the original dwelling and along the rear boundary.

A significant tree shelter belt exists outwith the western boundary abutting the adjacent large industrial unit.

The site has been cleared recently to permit access and initial site works.

Soils within the area and / or the site have not been analysed however, the successful establishment of trees within the area indicate soils are probably within the neutral to acid range and not waterlogged. The size and growth rates of the general tree population also suggest that soils are reasonably fertile and the local microclimates relatively mild and / or sheltered.

Description of Proposed Development.

Again, all such issues have been fully addressed in associated submissions.

As previously stated the proposals and relevant tree information are indicated on submitted plans prepared by Orion Homes – 2306-02-001J Site Layout

Designation Relating to Trees

From Kirklees Council Tree Preservation Order interactive mapping service it appears that T5–T19 and some minor adjacent material – part of which has been removed as per the lapsed permission, are covered by a Group Tree Preservation Order. No other Orders are indicated within the site.

As such, no works should be undertaken to these items without due notification to and if necessary consent obtained, from the Local Authority. However we would always advise that advice should be obtained from the relevant authority before any tree works are considered.

The potential effect of construction on trees whether statutorily protected or not is a material consideration that is taken into account in dealing with planning applications.

Although items may be afforded statutory protection, such orders impose no duty on the owners of the trees affected to carry out pruning or other maintenance, either to any particular standard or at all.

This must be a matter for the owners' discretion, subject to the duties laid upon the owner by the common law. If a local authority wishes to encourage such works to be carried out, it must do so by permission, through the offer of grants or possibly by the imposition of conditions on consents.

Current Situation

Of the trees identified, they exist in close proximity to (within or outwith) the boundaries or are present to the rear of the original dwelling.

Only very limited management has been implemented in recent times to these trees and no significant planting has been undertaken that is considered of long term value.

The western boundary is abutted by off-site trees – again relatively unmanaged but with reasonable vitality and are developing.

The presence of all trees in boundary locations and their owner's obligation to third parties may generate management requirements but at present, it is probable that any such works will only be implemented as and when deemed necessary.

The location of the trees being generally biased to the boundaries of the site has created a spacious, open environment across the site.

Implications of Development

1. Direct Loss of Trees.

To physically construct the proposed new dwellings and associated access / parking areas, no trees will require removal:

BS5837 CAT	TREE No's	TOTAL
Cat – A High Quality	None	0
Cat – B Moderate Quality	None	0
Cat – C Low Quality	None	0
Cat – U Poor Quality	None	0

There will therefore be no impacts upon visual amenities currently afforded to the local environment when viewed from public areas outside the site.

2. Indirect Loss of Trees

No trees will require removal due to the proposed development and associated requirements for useable and safe garden environments:

BS5837 CAT	TREE No's	TOTAL
Cat – A High Quality	None	0
Cat – B Moderate Quality	None	0
Cat – C Low Quality	None	0
Cat – U Poor Quality	None	0

There will therefore be no impacts upon visual amenities currently afforded to the local environment when viewed from public areas outside the site.

3. Arboricultural management proposals.

The following trees would be recommended for maintenance in any normal arboricultural management exercise on the grounds of safety and / or to promote the future viability of retained stock – regardless of development proposals:

BS5837 CAT	TREE No's	TOTAL
Cat – A High Quality	T16	1 tree
Cat – B Moderate Quality	T2, T3, T4, T5, T6, T7, T8, T9, T10, T11, T12, T13, T14 &T15	14 trees
Cat – C Low Quality	T4	1 tree
Cat – U Poor Quality	None	0

The management of these trees will have minimal immediate impact upon visual amenities currently afforded to the local environment when viewed from public areas outside the site. Their management will however improve long term value.

Note:

Where indicated, removal of trees for arboricultural purposes is to fell poor quality material of limited potential and promote quality of retained stock. Replanting is usually recommended unless existing stock would effectively prevent establishment. Such proposals are considered

as positive pro-active recommendations but, if for whatever reason retention is sought by other parties, consideration would always be given to alternative options.

Recommendations may also be included within the Tree Survey for basic remedial pruning to improve form and balance, remove dead wood and general promote health and viability. Such works are recommended regardless of development proposals but may be incorporated within the management of the site should development proceed.

If necessary, any such proposed works will require the submission of a Tree Works Application.

Indirect Impacts on Trees for Construction.

In respect of the proposed construction it is reasonable to consider that there are potential impacts on any retained trees within the site;

BS5837 CAT	TREE No's	TOTAL
Cat – A High Quality	T16	1 tree
Cat – B Moderate Quality	T2, T3, T4, T5, T6, T7, T8, T9, T10, T11, T12, T13, T14 &T15	14 trees
Cat – C Low Quality	T4	1 tree
Cat – U Poor Quality	None	0

Any potential impacts can however be readily mitigated by utilising appropriate methodologies, construction materials and accepted techniques all of which can be readily conditioned and enforced by the Local Authority and implemented by the developer.

Discussion.

Any submitted Statement to identify the methodologies for the proposed development would be expected to follow guidance within BS5837:2012 Trees in relation to design, demolition and construction – Recommendations Section 7.4.2. et al.

- A Tree Protection Plan has been prepared, overlaid on the Client's proposals to indicate the relevant issues / potential conflicts and annotated where appropriate.
- Protective fencing will be constructed as indicated on the Tree Protection Plan. The fencing will be to the default standard as recommended in BS5837:2012 Trees in relation to design, demolition and construction - Recommendations and will be installed prior to any demolition and / or construction operations commencing and will be retained for the entire build process.
- No soil stripping or changes in levels are proposed within the expected root protection areas of all retained trees with the exception of two areas of very minor intrusion in respect of T1 & T2.

- Ground protection can be afforded to the remaining root protection area of T1 & T2 that will be exposed by necessary clearances for access / scaffolding. Adequate protection can therefore be provided.
- Site cabins and welfare units can be readily located within the site.
- Agreed storage areas to be formed in appropriate locations outside the tree protection areas for building materials and any associated equipment where any potential contaminants or spillages can be safely and securely contained.
- Upon completion of the build, provision of access requirements etc., the protective fencing will be removed together with site / welfare cabins to permit the soft landscaping to be extended as necessary.
- The proposal for a Project Arboriculturalist has been included within the Method Statement to ensure all works proceed correctly all in accordance with BS5837 Section 6.3. where it advises that:

Site monitoring

Wherever trees on or adjacent to a site have been identified within the tree protection plan for protective measures, there should be an auditable system of arboricultural site monitoring. This should extend to arboricultural supervision whenever construction and development activity is to take place within or adjacent to any RPA.

NOTE Existing planning regulations include the provision for local authorities to enforce planning requirements. The project arboriculturalist appointed by the developer can help monitor site activity, but enforcement is the responsibility of the local authority.

Effectively therefore, any potential harmful impacts can be effectively avoided.

By appropriately considering retained trees and utilising appropriate technology and methodologies any potential tree damage/disturbance can be avoided so as to maintain an attractive visual amenity.

Construction Methodology / Arboricultural Method Statement.

An Arboricultural Method Statement may be conditioned to any approval for development within the site. However due to the limited volume of trees present and their readily protectable root protection areas, such a document could be readily omitted.

If required, such a document as detailed in BS5837:2012 Trees in relation to design, demolition and construction - Recommendations would be appropriate to the proposals and would be expected to typically address the following issues:

- Protection to all retained trees before any materials or machinery are brought onto the site and before any demolition, development, or stripping of soil commences.
- Removal of any existing structures and hard surfacing.
- Installation of temporary ground protection.
- Installation of new hard surfacing.

- Specialist foundations, installation techniques, floor levels and similar.
- Retaining structures.
- Storage compounds and temporary services.
- Auditable / audited system of arboricultural site monitoring, including a schedule of specific site events requiring input or supervision.
- Contact details for all relevant parties.

In respect of the provision of the Method Statement, in accordance with BS5837 Figure 1, once the feasibility and planning/design section is complete and Scheme Design Approvals are obtained from Clients and Regulatory bodies, the detailed/technical design stage should be implemented.

In arboricultural terms this will basically involve the preparation and submission of a detailed and comprehensive document to discharge the relevant conditions.

A draft Arboricultural Method Statement has been appended for illustrative purposes to indicate that all matters have been considered and can be appropriately addressed.

The provision of such a Method Statement will ensure that there are neutral / negligible impacts on the retained treescape.

Proximity of Trees to Structures.

The proposed dwellings have been designed to adhere to guidance within the nationally recognised document BS5837:2012 in that, with the exception of one very minor point of intrusion, they are constructed outside the expected root protection areas of retained trees.

Also that during construction some pedestrian and scaffolding access requirements may be within the potential root protection area of several specimens but it has been demonstrated that adequate and accepted methodologies and mitigation measures can be provided.

In respect of seasonal nuisances: leaf fall, fruit, honeydew or similar, where conflicts may arise these can be addressed in the detail design stage and the use of non-slip paving, provisions of leaf guards or grills on gutters and gullies, provision of access and means of maintenance or similar can all be incorporated. All such issues are fully in accordance with the guidelines and advice contained within BS5837 Section 5.3.

In respect of proximity of trees to the structures, it is possible that at some time in the future incremental growths may cause foliage to come into closer proximity of dwellings or garden environments causing minor conflicts. Such issues are not uncommon and can readily occur in any urban environment containing trees. Cyclical pruning could however be readily implemented and if such actions incorporated directional pruning techniques, repeated operations could be minimised thereby maintaining an acceptable juxtaposition.

Cyclical pruning is a perfectly acceptable techniques and is frequently implemented by both private individuals and local authorities to maintain clearances between trees and structure, busses / vehicles, overhead lines and similar.

Should trees be statutorily protected by being within a TPO or Conservation Area, notification to and consent from the LPA would therefore be required prior to any tree works being implemented all of which, would avoid inappropriate or undesirable operations.

In consideration of the foregoing assessments, it is considered that there will be minimal impacts caused to retained trees by the proximity of structures or vice versa thereby ensuring that there are no impacts upon the visual amenity provided by trees when viewed from public areas outside the site.

Services

The location of services into or out of the site would be expected to follow routes along the line of the proposed access or in locations so as to avoid expected root protection areas.

If alternative routes are required, these will be fully assessed and if necessary, any excavations will be undertaken manually or alternative techniques such as drilling or thrust boring utilised all as per guidance in BS5837:2012 or the NJUG publication Volume 4 – Guidelines for the Planning, Installation and Maintenance of utility Apparatus in Proximity to Trees – 2007.

There will therefore be neutral impact caused by the provision of services.

Landscaping / New Planting

The loss of various trees is proposed to both enable a viable scheme to be achieved and to remove items that are causing structural damage to retaining boundary walls. It would be expected however that new landscaping will be implemented and that appropriate conditions will be attached to any approval. These would normally incorporate both management of the existing vegetation and new planting of trees sympathetic to the environment and to the benefit of the new development.

It would be expected that in accordance with normal conditions a five-year replacement requirement will be included for any items that fail to thrive.

Any such proposals are however open to discussion with all parties and can be readily tailored to any particular requirements to maximise the future treescape within the local environment.

All such operations will diversify the landscape, introduce a much needed new age category mix and promote wildlife by the production of flowers and fruits.

The implementation of new / replacement planting will provide a moderate beneficial impact to the environment.

Post Construction

Should development proceed, retained trees will be managed as part of the approved scheme to create acceptable levels of safety. Such actions will also promote their health and viability and will maximise the potential of the treescape.

By the site becoming more formalised by the creation of a well-managed individual residential environments, a more detailed management regime will be established than that which currently exists which, will be of overall benefit to the treescape.

Some items may be lost in the future as would occur in any urban environment due for example to age, disease, suppression or proposed management but, it would be expected that all such operations would be agreed or consented by the Local Planning Authority and replanting encouraged or conditioned.

It is reasonable to conclude therefore that as a result of the proposed development there would be no appreciable post development pressure to undertake either inappropriate or undesirable tree works to the detriment of the visual amenity currently afforded from public areas outside the site.

It is therefore considered that any post development pressures would have a negligible to moderately beneficial impact.

Conclusions

From the foregoing information it can be reasonably concluded that to achieve the proposed development no tree loss will be required and as such there will be no impacts upon the visual amenity currently afforded from public areas outwith the site.

Trees have been retained to the rear of the site and it is understood that the proposed layout and juxtaposition to these trees has been approved for a previous scheme and considered to be acceptable.

Retained items in proximity of construction footprints have been identified as being at risk from indirect impacts but, it has been comprehensively indicated that with appropriate methodologies, site management and modern materials all such risks can be avoided and an acceptable juxtaposition achieved.

The design and layout of the development has considered all arboricultural issues and will permit the construction to proceed without conflict with retained trees. The juxtaposition of structures to trees will also ensure that the need for regular pruning regimes can be avoided, acceptably spacious and attractive garden environments can be formed and seasonal nuisances minimised.

All services can be connected and / or installed without impacting upon retained trees or where necessary, installed using accepted, tried and tested techniques that avoid damage or disturbance to rooting environments.

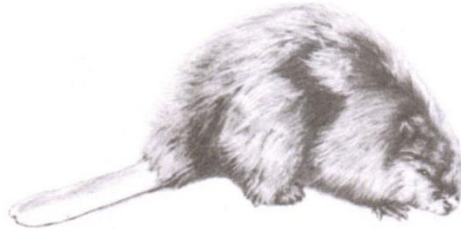
A landscape scheme may be attached to any approval that would indicate both management of existing features and the introduction of new material, the implementation of which will improve diversity, age category mixes and visual amenity.

Post construction impacts have been considered which indicate that by creating a more formal environment with greater levels of activity and usage the treescape will be more positively managed resulting in improved health and viability to the treescape.

It is reasonable to conclude therefore that in respect of arboricultural issues should the proposed development proceed there is likely to be a moderately beneficial impact to the future viability of the retained treescape.

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October 2024.



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SURVEY DETAILS FOR TREES ON LAND AT
WHITEHALL ROAD WEST, BIRKENSRAW.

Issued to: Orion Homes

01 November 2024

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Note:

All tree surgery and felling works detailed should be carried out to a standard, the minimum of which is specified in BS3998:2010 Tree Work - Recommendations.

Contractors should be suitably qualified and experienced to an acceptable standard. They should also be aware that if during operations any defects become apparent that would not have been immediately obvious to the Consultant, that such defects should be notified immediately and confirmed in writing within a reasonable period.

All observations and recommendations only relate to the site and the trees as they were at the time of inspection. Should severe climatic or environmental events or changes take place, it may be necessary to reassess the situation so as to ensure an acceptable and continuing level of safety.

The report does not provide a full health and safety inspection of the trees surveyed. It is not a Tree Hazard Assessment that is specific to minimising the risks and liabilities associated with trees.

Should the inspection have taken place during the dormant season, this will have simplified the inspection of the high crowns and canopies. It will not have been possible however to ascertain either leaf size, colour or density which, can be classic indicators of stress or root associated disorders.

The survey has also been prepared in the knowledge that some form of development may occur on the site. As such, some of the recommendations put forward could be considered unnecessary were the site simply left as it presently exists.

Furthermore, should development be approved, it may be necessary to reassess and amend this document upon completion of all construction operations to ensure that trees, properties and people can all safely co-exist.

All tree numbers refer to those indicated on the attached site drawing. Dimensions of any trees off site may have been estimated if access was not possible.

The report unless stated otherwise, is of a preliminary nature in that the trees were not climbed but inspected from ground level, and no soil or timber samples have been taken for analysis.

A copy of the Consultant's General Conditions of Contract are attached. These form the basis upon which all services and information are provided.

KEY:

Tree No. - Tree Number – to be recorded on tree survey plan where necessary.

Species – common and scientific names, where possible.

Height – overall height of the tree in metres

Stem Dia - Stem diameter – in millimetres at 1.5m above adjacent ground level (on sloping ground to be taken on the upslope side of the tree base) or immediately above the root flare for multi stemmed trees.

Branch spread – in metres taken at the four cardinal points to derive an accurate representation of the crown (to be recorded on the tree survey plan where necessary).

Height of cc - Height of crown clearance – in metres above adjacent ground level to inform on ground clearance, crown stem ratio and shading). Where considered desirable, first significant branch and direction of growth e.g. 2.4-N

Age class – young (Y), Middle aged (MA), mature (M), over mature (OM) & veteran (V).

Physiological condition – e.g. good (g), fair (f), poor (p) & dead (d).

Structural condition – e.g. collapsing, the presence of decay and any physical defect.

Preliminary management recommendations – including further investigations of suspected defects that require more detailed assessment and potential for wildlife habitat.

ERC - Estimated remaining contribution – in years, <10, 10+, 20+, 40+.

Cat grade - Category grade – U or A to C (see Table 1) to be recorded in plan on the tree survey plan where appropriate.

RPA – Root protection area calculated from BS5837:2012 Trees in Relation to Design, Demolition and Construction – Recommendations in sq/m's. Where indicated, dimensions of radius of circle or sides of square based around centre point of trunk calculated for design purposes.

RP – Remedially prune: remove significant dead wood, basal & epicormic shoots, broken, crossing and rubbing branches etc and undertake light reshaping if necessary to improve form and balance/ abate actual or potential nuisance. Ensure adequate clearances over highway (5.2m) and footpath (2.4m)

- estimated dimensions (e.g. for off-site or otherwise inaccessible trees where accurate data cannot be recovered).

Table 1 Cascade chart for tree quality assessment

Category and definition	Criteria (including subcategories where appropriate)			Identification on plan
Trees unsuitable for retention (see Note)				
Category U Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years	<ul style="list-style-type: none"> Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other category U trees (e.g. where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning) Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline Trees infected with pathogens of significance to the health and/or safety of other trees nearby, or very low quality trees suppressing adjacent trees of better quality <p><i>NOTE</i> Category U trees can have existing or potential conservation value which it might be desirable to preserve; see 4.5.7.</p>			See Table 2
	1 Mainly arboricultural qualities	2 Mainly landscape qualities	3 Mainly cultural values, including conservation	
Trees to be considered for retention				
Category A Trees of high quality with an estimated remaining life expectancy of at least 40 years	Trees that are particularly good examples of their species, especially if rare or unusual; or those that are essential components of groups or formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue)	Trees, groups or woodlands of particular visual importance as arboricultural and/or landscape features	Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture)	See Table 2
Category B Trees of moderate quality with an estimated remaining life expectancy of at least 20 years	Trees that might be included in category A, but are downgraded because of impaired condition (e.g. presence of significant though remediable defects, including unsympathetic past management and storm damage), such that they are unlikely to be suitable for retention for beyond 40 years; or trees lacking the special quality necessary to merit the category A designation	Trees present in numbers, usually growing as groups or woodlands, such that they attract a higher collective rating than they might as individuals; or trees occurring as collectives but situated so as to make little visual contribution to the wider locality	Trees with material conservation or other cultural value	See Table 2
Category C Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm	Unremarkable trees of very limited merit or such impaired condition that they do not qualify in higher categories	Trees present in groups or woodlands, but without this conferring on them significantly greater collective landscape value; and/or trees offering low or only temporary/transient landscape benefits	Trees with no material conservation or other cultural value	See Table 2

Tree No.	Species	H'gt.	Stem Dia.	Branch Spread		H'gt of C.C.	1st Branch @	Age Class	PC	Structural Condition	Preliminary Management Recommendations	ERC	Cat Grade	RPA Sq.m's	RPA Circle of Radii / m's
				N	S										
T1	Sycamore	15	650	N E S W	3.1 5 6 4	1.5	3.5E	M	F	Has probably been topped in distant past. Reasonable vitality. Minor dead wood and old branch stumps all typical of species. Appears to be pruned back from site to afford reasonable clearances.	No action at present. Monitor	20	B2	191.16	7.8
T2	Sycamore	11	550	N E S W	4.5 8.5 4 .8	2		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species.	Undertake remedial pruning + Monitor.	20	B2	136.87	6.6
T3	Sycamore	14	500	N E S W	4.5 8 5 5	3		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species. Stem trifurcates at 3m.	Undertake remedial pruning + Monitor.	20	B2	113.11	6
T4	Sycamore	12.5	450	N E S W	4 2. 3.5 7	3		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species. Asymmetrical crown - mutual suppression.	Undertake remedial pruning + Monitor.	10	C2	91.62	5.4
T5	Sycamore	15	520	N E S W	3.5 5 6 7	4		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species. Asymmetrical crown - mutual suppression. Extensive basal growths.	Undertake remedial pruning + Monitor.	20	B2	122.34	6.24
T6	Sycamore	14	520	N E S W	4.5 5 5.5 5	3.5		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species. Asymmetrical crown - mutual suppression. Extensive basal growths. Decaying peg at 2m to west.	Undertake remedial pruning + Monitor.	20	B2	122.34	6.24

T7	Sycamore	15.5	590	N E S W	8 4.5 4.5 5	2		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species. Branches to south encroaching upon power cables.	Undertake remedial pruning + Monitor.	20	B2	157.50	7.08
T8	Sycamore	14.5	430	N E S W	8.5 5 2 5	3.5		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species. Asymmetric canopy - mutually suppressed.	Undertake remedial pruning + Monitor.	20	B2	83.66	5.16
T9	Sycamore	12	450	N E S W	6 4 5 4	3		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species. Epicormic growths on main stem encroaching towards power cables to south.	Undertake remedial pruning + Monitor.	20	B2	91.62	5.4
T10	Sycamore	13	650	N E S W	10 4.5 8 5.5	1.5		M	F	Reasonable vitality. Extensive dead wood. Old branch stumps and crossing / rubbing branches all typical of species.	Undertake remedial pruning + Monitor.	20	B2	191.16	7.8
T11	Sycamore	13.5	610	N E S W	9 5 3 5	1.5		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species.	Undertake remedial pruning + Monitor.	20	B2	168.36	7.32
T12	Sycamore	15	540	N E S W	4 4 6 4	6.5		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species. Stem bifurcates at 2.5m.	Undertake remedial pruning + Monitor.	20	B2	131.93	6.48
T13	Sycamore	14	690	N E S W	9 6 2.5 4	2.5		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species. Stem bifurcates at 1m with included bark union.	Undertake remedial pruning + Monitor.	20	B2	215.41	8.28
T14	Sycamore	15	560	N E S W	5 5 6.5 4.5	7		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species.	Undertake remedial pruning + Monitor.	20	B2	141.89	6.72

T15	Sycamore	15	520	N E S W	6 5 7.5 3	4		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species. Stem bifurcates at 2.5m.	Undertake remedial pruning + Monitor.	20	B2	122.34	6.24
T16	Sycamore	15	780	N E S W	8 7 7 6	2.5		M	F	Reasonable vitality. Minor dead wood, old branch stumps and crossing / rubbing branches all typical of species.	Undertake remedial pruning + Monitor.	40	A2	275.27	9.36
G1	Sweet Chestnut, Ash, Lime, Alder, Cherry, Field Maple.	10	300	N E S W	3 over site.	1		Y/EM	F/G	All off site, presumably planted as screen feature. Minor overhang across site but all have good potential.	No action at present. Monitor	20	B2	40.72	3.6
G2	2No. Sycamore.	8	450	N E S W	3	1		M	F	Heavily topped. Extensive regrowth. Reasonable vitality..	No action at present. Monitor	10+	C2	91.62	5.4

IAIN TAVENDALE F.Arbor.A
ARBORICULTURAL CONSULTANT

General Conditions of Contract

1. DEFINITIONS

In these Conditions:

"Consultant" means Iain Tavendale F.Arbor.A.

"Contract" means the contract for the provision of Services.

"Employer" means the person whose request for the provision of the Services is accepted by the Consultant or who accepts a written quotation of the Consultant.

"Site" means the area in which the Services are to be carried out as specified in writing to the Consultant prior to his commencing the provision of the Services.

"Services" means the services of arboricultural consultant to be supplied to the Employer by the Consultant in accordance with these Conditions.

2. BASIS OF THE CONTRACT

The consultant shall provide to the Employer and the Employer shall accept the Services in accordance with any written quotation of the Consultant which is accepted by the Employer or any request to provide services of the Employer which is accepted by the Consultant to appropriate British Standards and within a reasonable time. Time shall not be of the essence of the Contract. These conditions shall govern the Contract to the exclusion of any other terms and conditions and no variation to these Conditions shall be binding unless agreed between the Employer and the Consultant. No variation of the Services will be made without prior agreement in writing between the Employer and the Consultant. (The Consultant's employees or agents are not authorised to make any representations concerning the Services unless confirmed by the Consultant in writing.)

3. THE CONSULTANT SHALL:

- a) be entitled to subcontract assign or transfer any or all of the Contract without informing the Employer. The Consultant shall be responsible for its obligations under the Contract where sub-contracting takes place.
- b) be responsible for making good at his own cost any damage caused as a result solely of his own work.
- c) on completion of the Contract leave the site reasonably clean and tidy from his own work.

4. THE EMPLOYER SHALL:

- a) be responsible for ensuring that the Consultant is notified of all Tree Preservation or Conservation Area Orders, Private Covenants, the need for Felling Licences, or Planning Legislation that is applicable to the Contract.
- b) be responsible for ensuring that the Consultant is notified of all springs, wells, service pipes and cables, sewage or land drains, or any other hazards or obstructions which are not discoverable upon immediate visual inspection of the surface of the site. Any breach of this responsibility shall entitle the Consultant to make a reasonable charge for any additional work caused by such hazards or obstructions.

5. CONTRACT PRICES

The price for the Services shall not include Value Added Tax which the Employer shall be additionally liable to pay to the Consultant. The price which the Employer shall be liable to pay shall be determined by reference to the Consultants hourly charge rate current at the date of completion of the Services. In addition the Employer shall be liable to reimburse the Consultant for such expenses as may reasonably and properly be incurred by him in the performance of the services as Consultant. Written details of the Consultant's hourly charge rate will be provided to the Employer on written request by the Employer.

6. METHOD OF PAYMENT

- a) Subject to any special terms agreed in writing between the Employer and the Consultant the Consultant shall be entitled to invoice the Employer for the price of the Services on or at any time after the Services have been completed.
- b) The Employer undertakes to pay the Consultant within 28 days of the date of the Consultant's invoice. The time of payment of the price shall be of the essence of the Contract.
- c) Failure by the Employer to make payment on the due date, will entitle the Consultant to interest on the amount unpaid at 3% per annum above the base rate of Barclays Bank plc from time to time until payment in full is made and will further enable the Consultant to cancel the contract or suspend any further provision of Services to the Employer.
- d) If the Consultant fails to perform the Services for any reason other than any cause beyond the Consultant's reasonable control or the Employer's fault and the Consultant is accordingly liable to the Employer, the Consultant's liability shall be limited to the excess (if any) of the cost to the Employer (in the cheapest available market) of services to replace those not completed over the price of the Services.

7. DISPUTES

- a) Where disputes arising from the Contract cannot be resolved by the Employer and the Consultant, then an independent single arbitrator agreeable to both parties (or in default of agreement nominated on the application of either party by the Chairman of the Professional Committee of the Arboricultural Association for the time being) shall be employed.
- b) The losing party will pay the resulting costs, unless otherwise decided by the arbitrator.
- c) The Contract shall be governed by the Laws of England.

8. THE SITE

Access

- i) The Consultant will have free and reasonable access within the Site. Any areas that are to be excluded from this should be notified in writing to the Consultant prior to the date on which the Services are commenced.
- ii) The Employer shall ensure that the Consultant has access to private areas outside the site reasonably necessary in order that the Services can be carried out.
- iii) The Employer shall indemnify the Consultant against any liability incurred by the Consultant (of whatsoever nature) due to his having entered on private areas without permission of the owner when the Employer has stated free access has been negotiated.

9. LIABILITY

- a) The Consultant shall not be liable to the Employer or be deemed to be in breach of the Contract by reason of any delay in performing the Services, if the delay or failure was due to any cause beyond the Consultant's reasonable control. Without prejudice to the generality of the foregoing, the following shall be regarded as causes beyond the Consultant's reasonable control:
 - i) Act of God, explosion, flood, tempest, fire or accident;
 - ii) acts, restrictions, regulations, bye-laws, prohibitions or measures of any kind on the part of any governmental, parliamentary or local authority;
 - iii) strikes, lock-outs or other industrial actions or trade disputes.
- b) The Consultant shall not be responsible or liable for any work undertaken as a result of recommendations by the Consultant unless, or until, such work is carried out and both supervised and approved by the Consultant.

10. QUOTATION

- a) Any quotation given by the Consultant to the Employer shall remain open for acceptance for 30 days from the date of such quotation and thereafter lapses automatically.
- b) Acceptance of such quotation involves acceptance of these conditions. It should be noted that any attempted or actual cancellation thereof by the Employer may involve the Employer in a claim for recovery by the Consultant of any loss or expense incurred as a result.
- c) The Consultant is the owner of the copyright existing in any such quotation and it shall not be copied without the prior written consent of the Consultant. Any reproduction before obtaining the Consultant's consent constitutes an infringement of copyright and a breach of the Contract entitling the Consultant inter alia to rescind the Contract and rendering the Employer liable for payment of damages.

11. INSOLVENCY OF EMPLOYER

This clause applies if:

- a) the employer makes any voluntary arrangement with its creditors or becomes subject to an administration order or (being an individual or firm) becomes bankrupt or (being a company) goes into liquidation (otherwise than for the purposes of amalgamation or reconstruction); or
- b) an encumbrancer takes possession, or a receiver is appointed, of any of the property or assets of the Employer; or
- c) the Employer ceases, or threatens to cease, to carry on business; or
- d) the Consultant reasonably apprehends that any of the events mentioned above is about to occur in relation to the Employer and notifies the Employer accordingly.

If this clause applies then without prejudice to any other right or remedy available to the Consultant, the Consultant shall be entitled to cancel the Contract or suspend any further provision of Services under the Contract without any liability to the Employer, and if the services have been completed but not paid for the price shall become immediately due and payable notwithstanding any previous agreement or arrangement to the contrary.

12. OWNERSHIP/COPYRIGHT

The Consultant is the owner of the copyright in any report tender documentation and/or recommendations and all associated information submitted to the Employer by the Consultant. The report recommendations tender documentation and all associated information submitted to the Employer shall not be copied without prior written consent of the Consultant. Any reproduction before obtaining the Consultant's consent constitutes an infringement of copyright and a breach of the Contract entitling the Consultant, inter alia, to rescind the Contract and rendering the Employer liable for payment of damages.

13. GENERAL

- a) Any notice required or permitted to be given by either party to the other under these Conditions shall be in writing addressed to that other party at its registered office or principal place of business or such other address as may at the relevant time have been notified pursuant to this provision to the party giving notice.
- b) No waiver by the Consultant of any breach of the Contract by the Employer shall be considered as a waiver of any subsequent breach of the same or any other provision.
- c) If any provision of these conditions is held by any competent authority to be invalid or unenforceable in whole or in part the validity of the other provisions of these Conditions and the remainder of the provision in question shall not be affected thereby.
- d) The headings in these Conditions are for convenience only and shall not affect their interpretation.



0 2.5 5 7.5 10 12.5m
Scale 1:250

General Notes

LEGEND

- AREA
- GROUP
- HEDGE
- WOOD
- TRUNK LOCATION
- TREE SHADE (24 hr)
- A1** AREA REFERENCE
- G1** GROUP REFERENCE
- H1** HEDGE REFERENCE
- T1** TREE REFERENCE
- W1** WOOD REFERENCE
- B2** CATEGORY GRADE

TREE CANOPY GRADES

- CATEGORY A
- CATEGORY B
- CATEGORY C
- CATEGORY U
- ROOT PROTECTION AREA

No.	Revision/Issue	Date

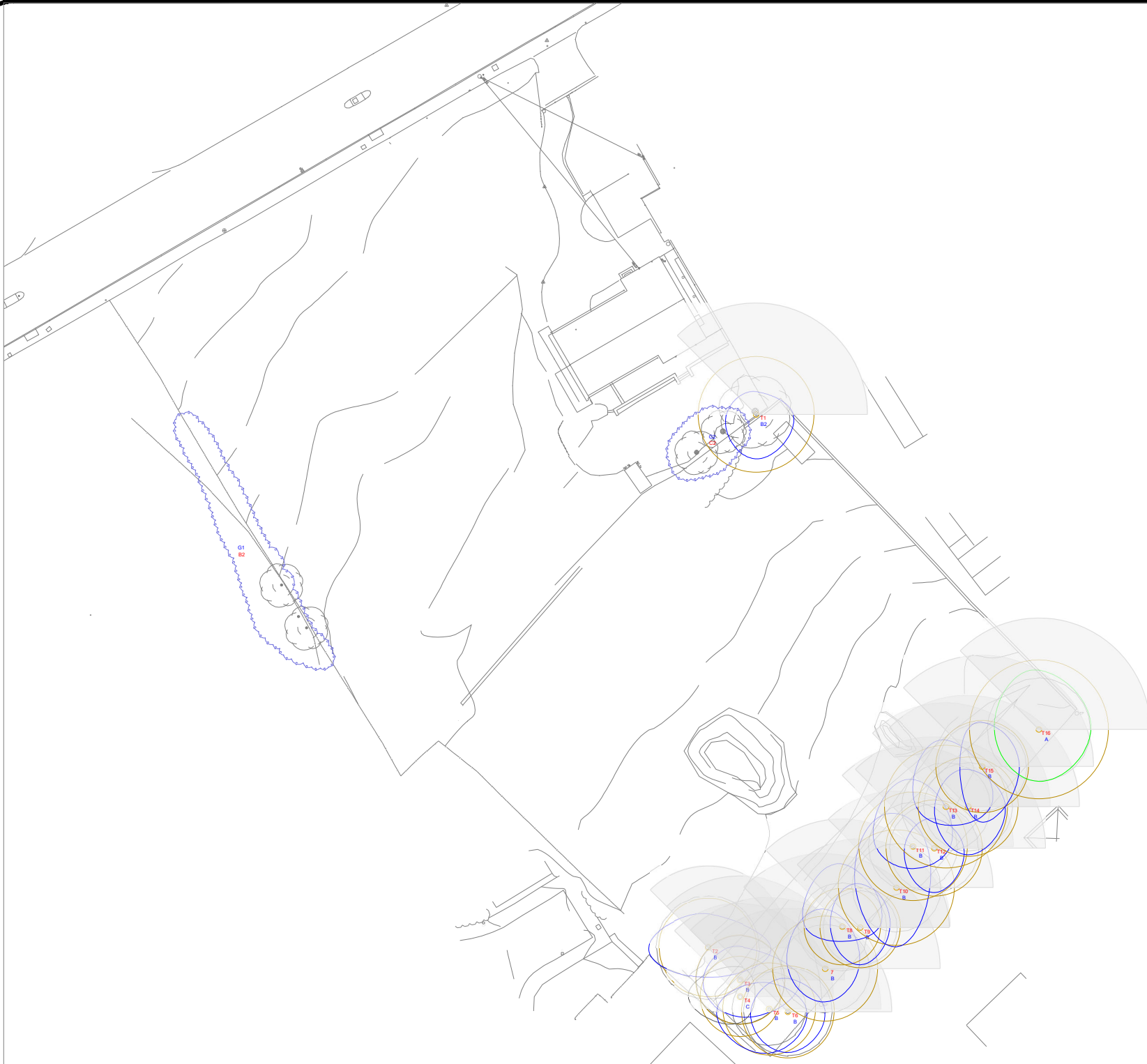
IAIN TAVENDALE & PARTNERS
AGRICULTURAL CONSULTANT

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Project Name and Address

Whitehall Road West
Birkenshaw

Drawn by: Iain Tavendale
 Date: **October 2024**
 Scale: **1:250 @ A1**



0 2.5 5 7.5 10 12.5m
Scale 1:250

General Notes

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IAIN TAVENDALE FArbor.A.
 AGRICULTURAL CONSULTANT



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Project Name and Address

**Whitehall Road West
Birkenshaw**

Drawn by
www.YourCadd.co.uk

Checked by
IT

Date
October 2024

Scale
1:250 @ A1

WHITEHALL ROAD WEST
2.4 x 4.3m w/s spray

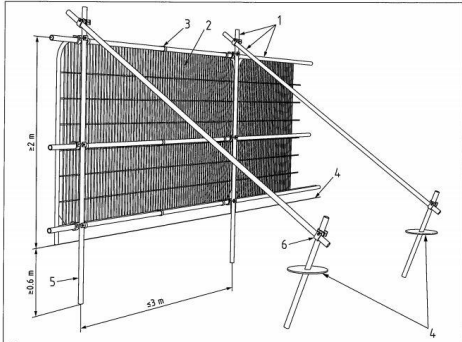
5.8m

Tree Protection Fencing Signage



BS 5837 Fencing Guidance.

Figure 2 Default specification for protective barrier



- Key
- Standard scaffold poles
 - Heavy gauge 2 m tall galvanized tube and welded mesh infill panels
 - Panels secured to uprights and cross-members with wire ties
 - Ground level
 - Uprights driven into the ground until secure (minimum depth 0.6 m)
 - Standard scaffold clamps

EI Sub Sta

BS5837 Ground Protection Guidance

6.2.3.3 New temporary ground protection should be capable of supporting any traffic entering or using the site without being distorted or causing compaction of underlying soil.

NOTE The ground protection might comprise one of the following:

- for pedestrian movements only, a single thickness of scaffold boards placed either on top of a driven scaffold frame, or at to form a suspended walkway, or on top of a compression-resistant layer (e.g. 100 mm depth of woodchip), laid onto a geotextile membrane;
- for pedestrian-operated plant up to a gross weight of 2 t, proprietary, inter-linked ground protection boards placed on top of a compression-resistant layer (e.g. 150 mm depth of woodchip), laid onto a geotextile membrane;
- for wheeled or tracked construction traffic (exceeding 2 t gross weight, an alternative system (e.g. proprietary systems or pre-cast reinforced concrete slabs) to an engineering specification designed in conjunction with arboricultural advice, to accommodate the likely loading to which it will be subjected.

Ground Protection Example

Ground-Guards Tree Root Protection

The Ground-Guards temporary roadway system is frequently used on construction sites to protect the ground from erosion and damage by vehicles. Ground guards are usually installed as a roadway consisting of a parallel track of 2.4 x 1.2m panels with a 1.2m space in between. Where a temporary roadway must pass near to trees, the following extra precautions must be taken in order to provide cushioning for the ground under the tree canopy:

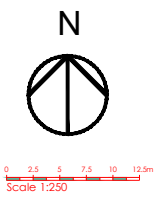
- Edge rails of 200 x 50mm sawn timber should be installed where the trackway will pass under the tree canopy.
- The edge rails should be staked on either side of the trackway using 50 x 50x 500mm timber stakes at 1.3m spacings.
- A layer of geotextile membrane should be laid to cover at least the area under the tree canopy, and preferably under the whole of the trackway.
- A pair of Ground Guards, three boards wide should be laid on top of the geotextile membrane, between the timber rails.
- A 150mm deep layer of wood chippings should be laid.
- The twin trackway can then be laid so that it rises over the wood chippings as it passes under the tree canopy. Extra Ground-Guard boards should be installed in the gap between the twin trackway at this point to retain the wood chips in place.



Tree Protection Plan

to be read in conjunction with
Arboricultural Impact
Assessment.

Iain Tavendale F.Arbor.A.
November 2024.



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TREE CANOPY GRADES
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CATEGORY C
CATEGORY U
ROOT PROTECTION AREA

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Iain Tavendale F.Arbor.A.
ARBORICULTURAL CONSULTANT

S&S THE SURVEY ASSOCIATION

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Drawn by: Iain Tavendale
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