

Design and Access Statement

48 St Thomas Gardens,
Bradley,
Huddersfield,
HD2 1SL

Applicant: David Horan



0.1 Introduction

This Design and Access Statement is the supporting document accompanying the full planning application for the site at 48 St Thomas Gardens, Bradley.

This document explains the key principles taken into consideration when designing the scheme and sets out the design process.

02. Evaluation and Assessment

Site

The application site is located to the north of the existing built-up area of Bradley, within the administrative boundaries of Kirklees Council.

The site is approximately 315 m² in area and comprises of a rectangular shape within an estate of other homes similar in architectural style.

With a north facing garden the front of the site faces south.

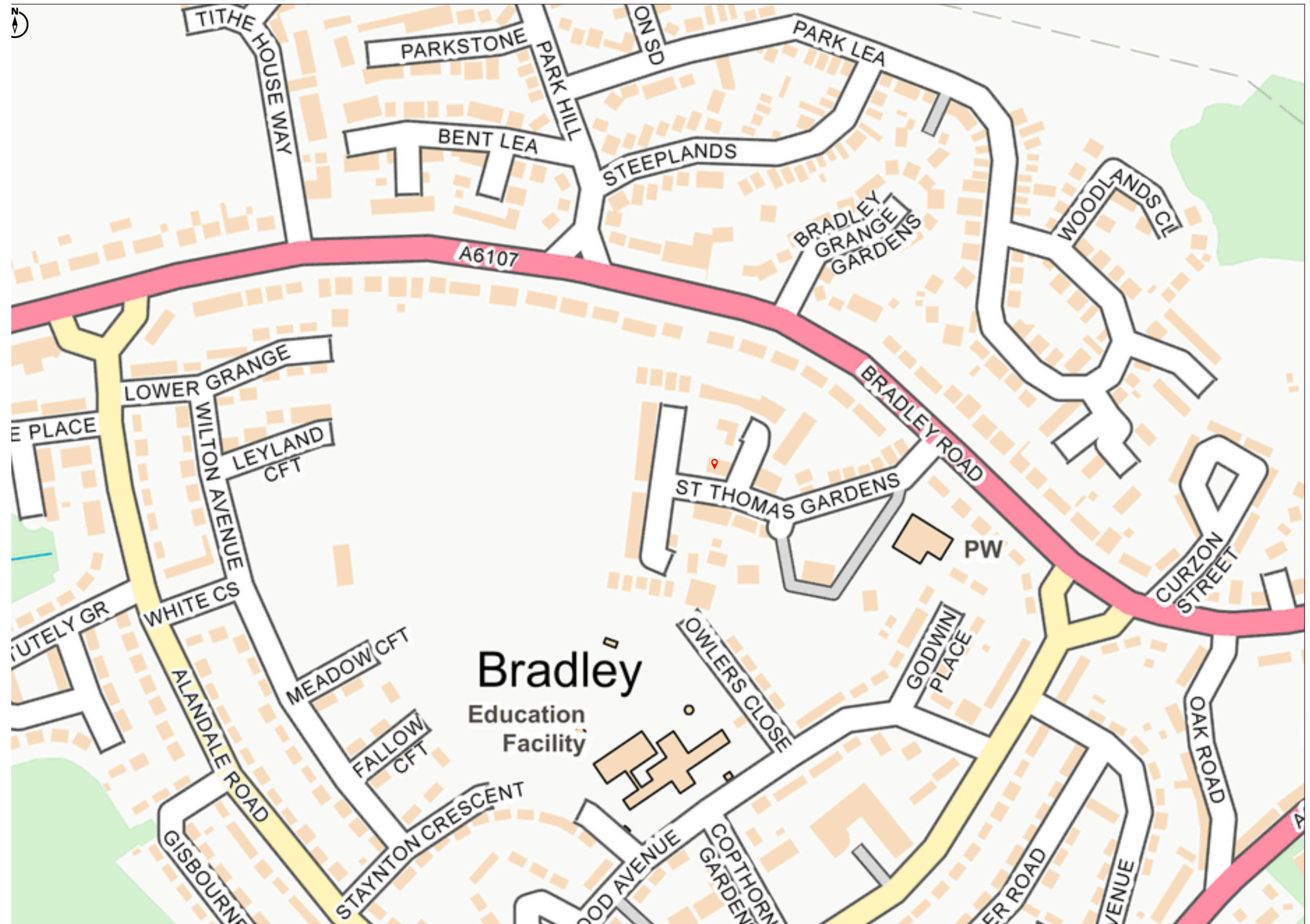


Planning History

2014

The proposal is for the erection of a single storey rear extension. The extension projects 6m beyond the rear wall of the original dwelling. The maximum height of the extension is 3.6m, the height of the eaves of the extension is 2.6m

Decision - Approved.



Design and Access Proposals:

Client Requirements:

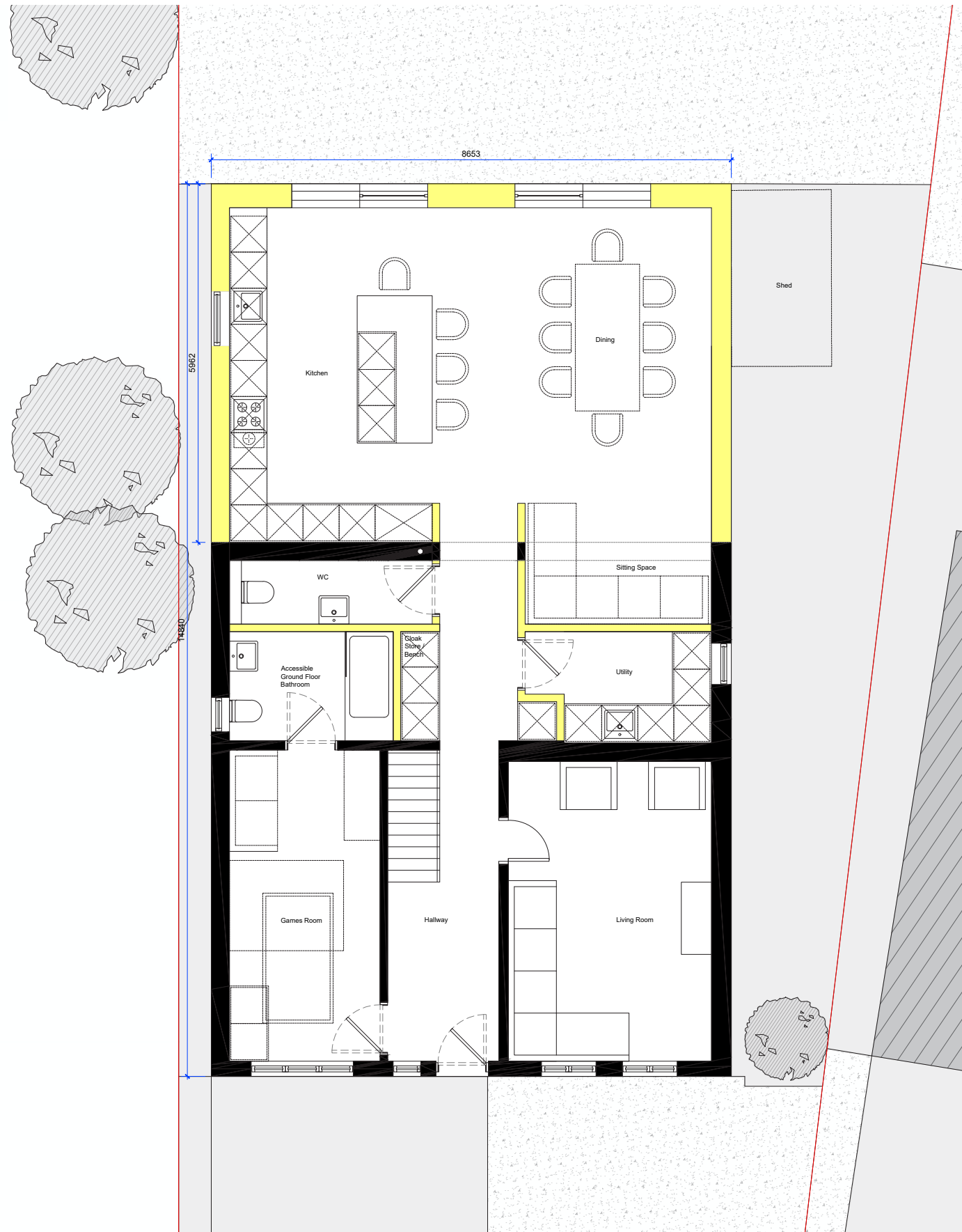
The aspirations for this extension were driven by the clients desire for a more usable open plan kitchen and living space where they can spend time together as a family.

This proposal includes a two-storey extension with a new kitchen, dining space and sitting space which has a strong connection with the garden along with a new master bedroom and en-suite on the first floor.

One of the main objectives of this proposal was to create more light internally as many of the existing spaces were dark.

Existing Dwelling





Ground Floor Plan:

The proposed ground floor plan shows an open plan kitchen, dining space and sitting space. Sliding doors open on to the garden to connect the internal space with the external landscaping.

The utility room has been relocated so it is a usable space with built in storage along the hallway which can be used as a cloak space.

The garage has been adapted into a playroom/ games room with an accessible ground floor bathroom. This ensures the home can have life-long occupants.

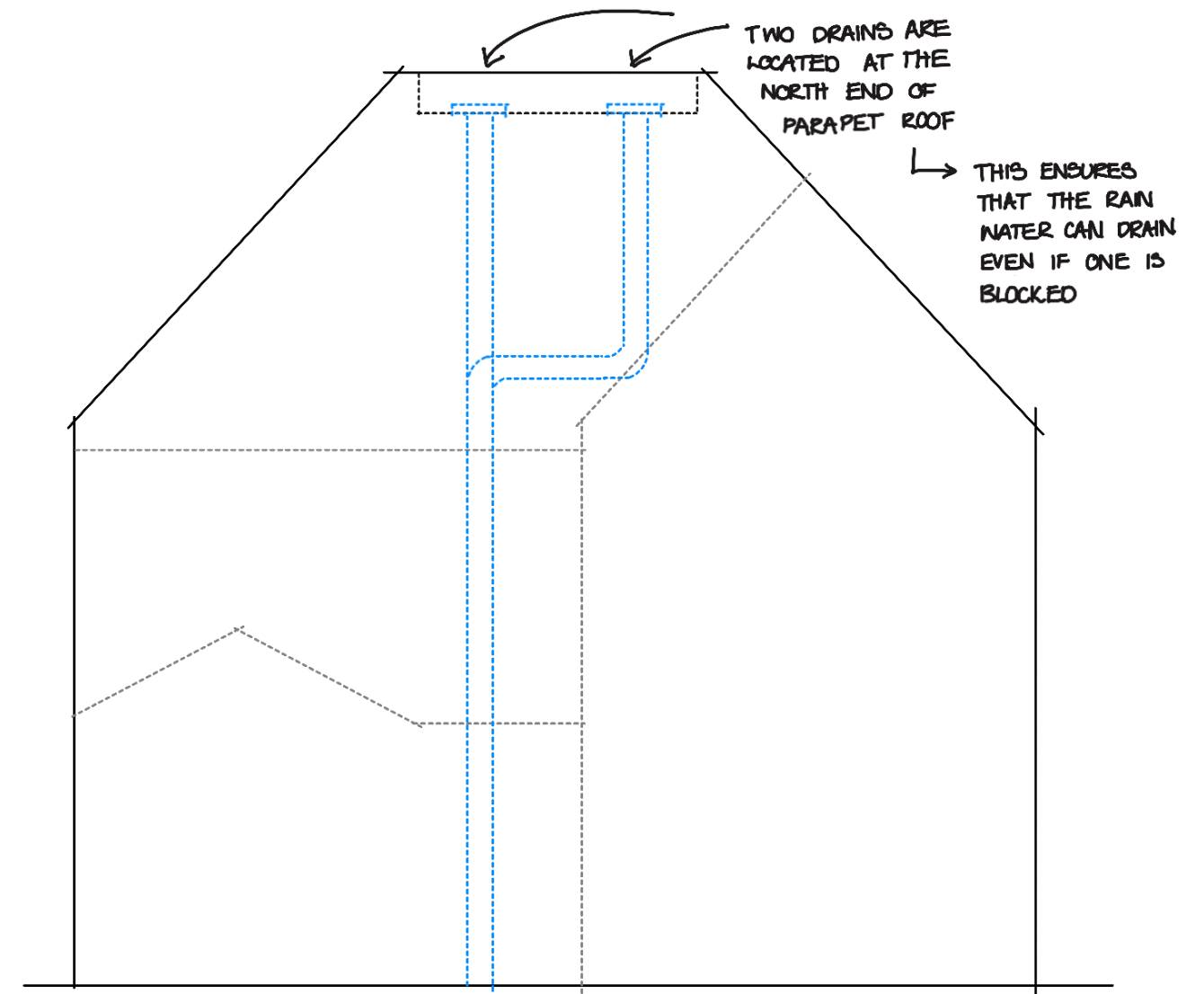
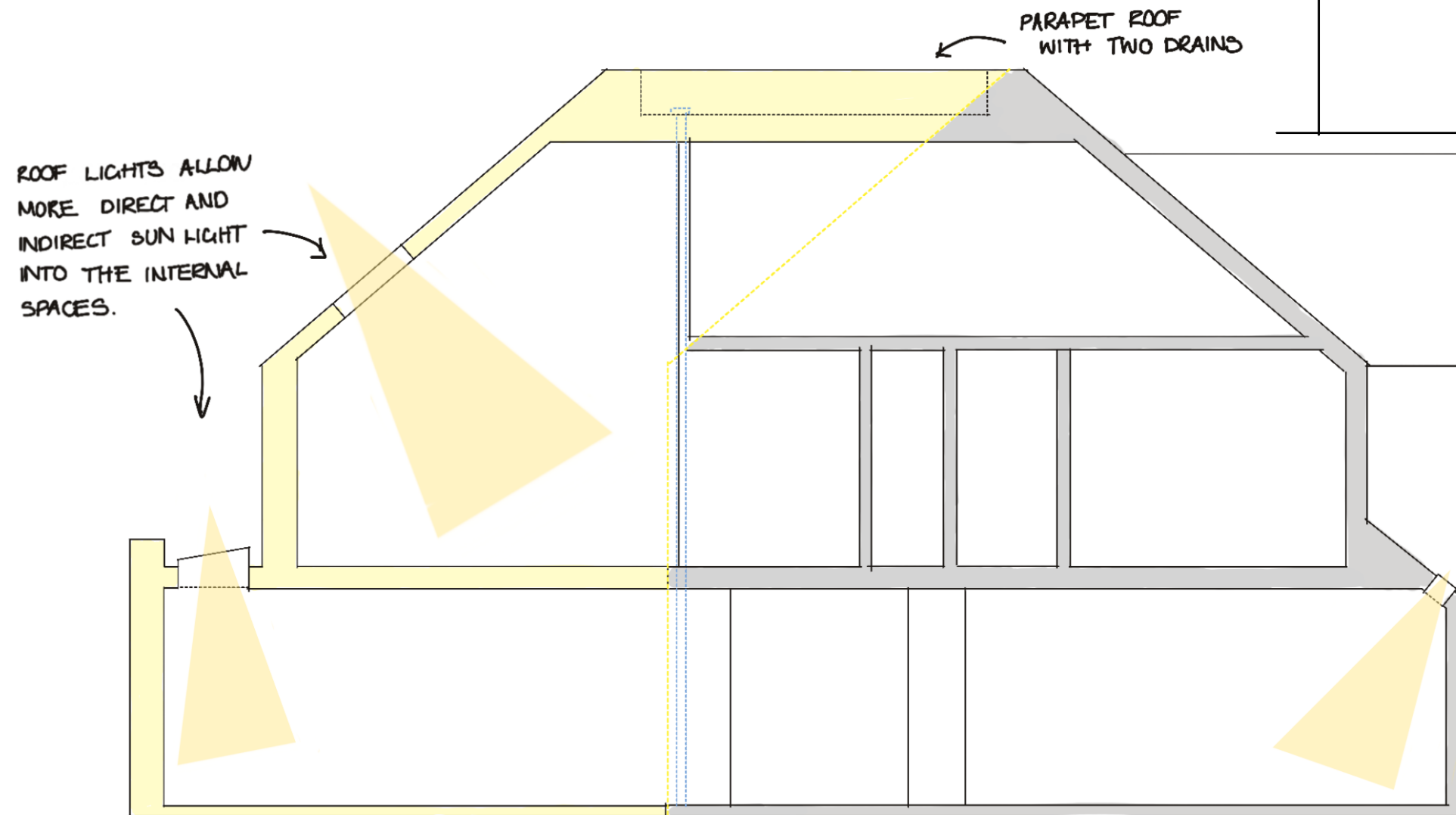
An additional ground floor WC has been incorporated within the design.

Sections:

These sections highlight the proposed roof design in more detail.

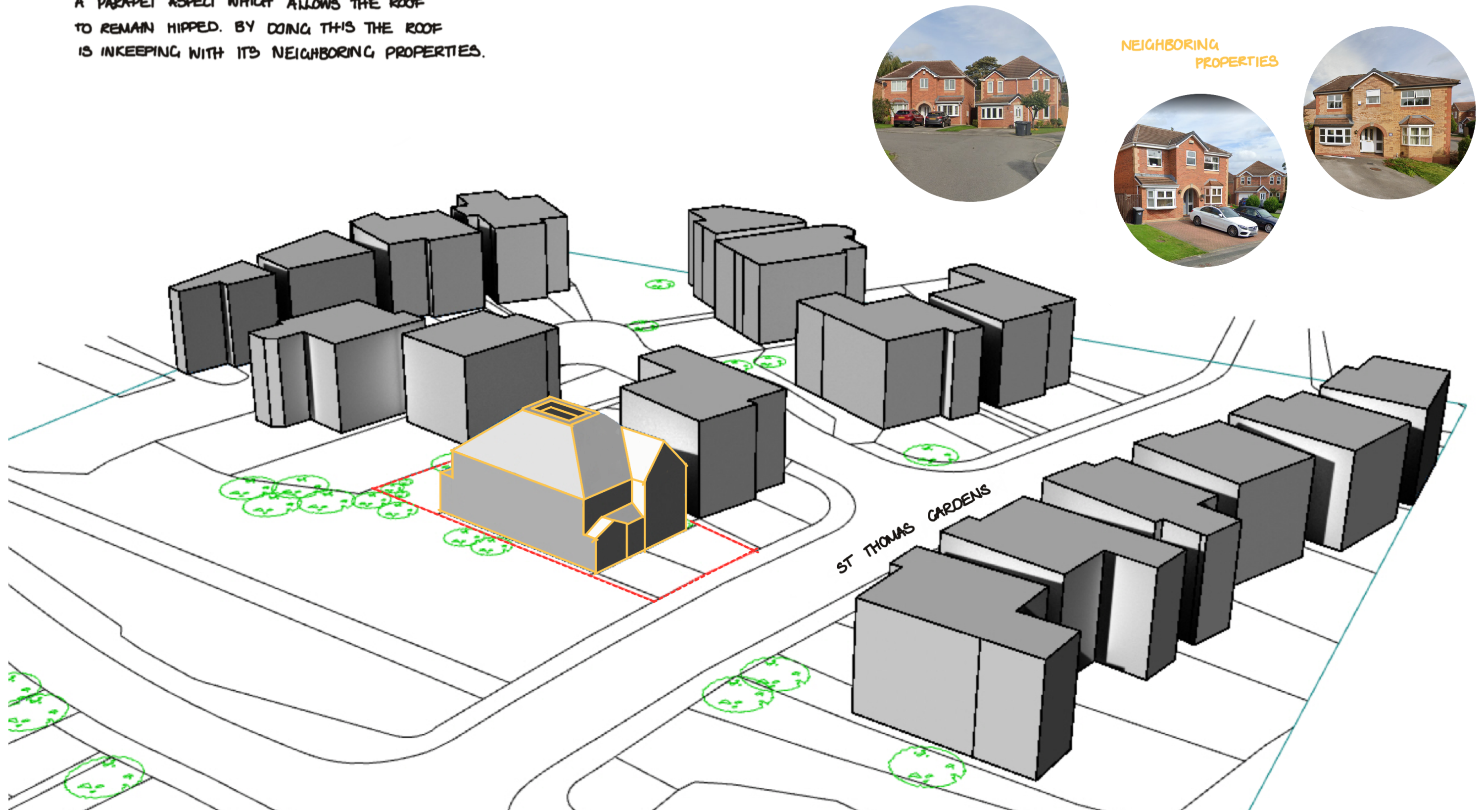
A small parapet has been included within the roof structure with two drains.

This is not accessible from the inside of the property and must be accessed externally using a Cherry Picker.

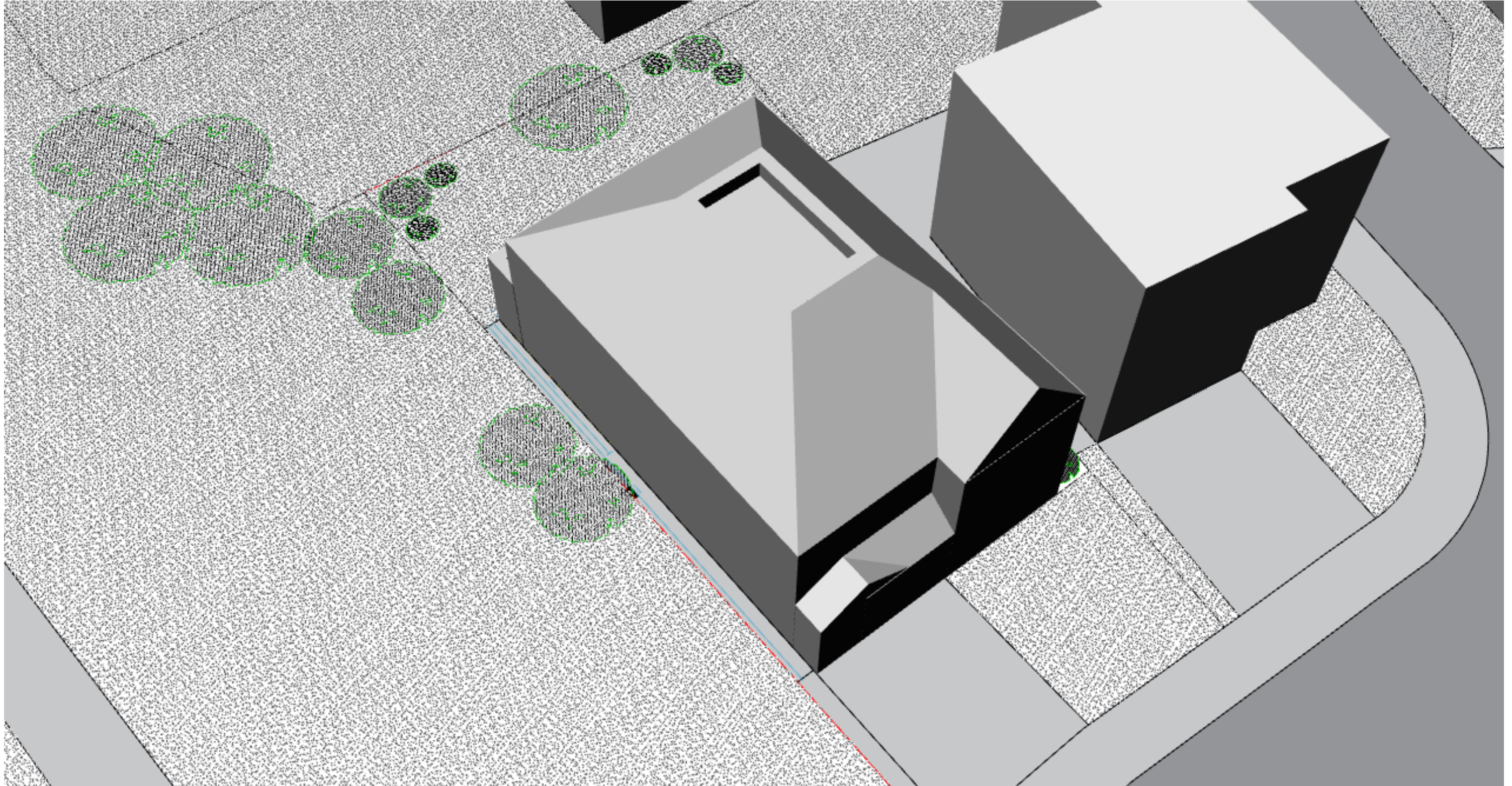


SITE BLOCK MODEL

THE PROPOSED ROOF DESIGN INCORPORATES
A PARAPET ASPECT WHICH ALLOWS THE ROOF
TO REMAIN HIPPED. BY DOING THIS THE ROOF
IS INKEEPING WITH ITS NEIGHBORING PROPERTIES.



Three Dimensional Model



Three Dimensional Model

As seen in the visual below this is a view from the street highlighting what will be seen from eye level.

