

Design & Access Statement



Job no.	3390
Job title	The Newsome Centre, Jackroyd Lane, Newsome, Huddersfield HD4 6JH
Date	May 2024

Subject In support of Planning Application

This Statement must be read in conjunction with the full planning application documents and drawings. Illustrations within this document do not take precedence over the formal application scheme drawings and are intended primarily to illustrate points made in the text.

1.0 Design

1.01 Context

The former church building was built in 1870 in a neogothic style, in solid sandstone with a blue slate roof. The building was extended with a flat roofed extension in the late 20th century to form a W.C. and Kitchen area.

The building is not listed but has a fine exposed roof structure and stone fabric detailing of some merit.

The building was acquired by the Trustees in late 2023 from the Church of England. The building having become surplus to requirements.

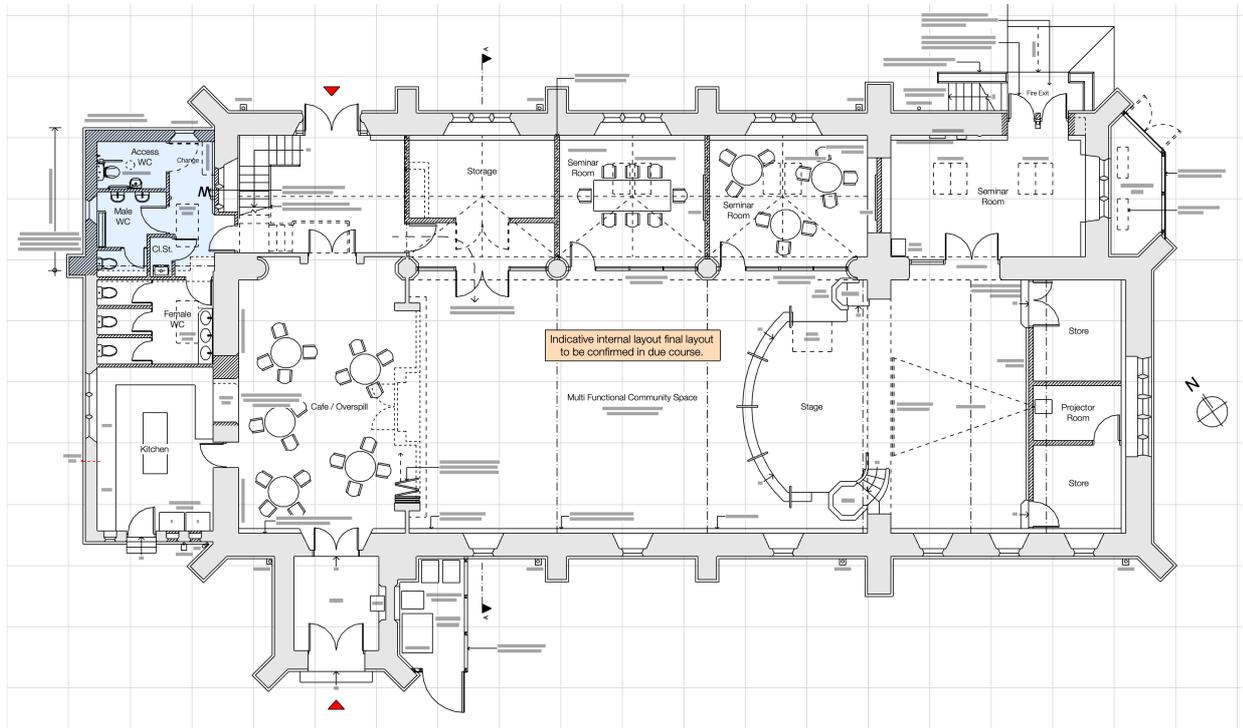
Trustees are now managing the building for community use and have a strong vision for the development of the building and site to promote increased use. As the name of the building suggests, 'The Newsome Centre' sits on the junction of Newsome Road South and Jackroyd Lane at the heart of the village of Newsome and is a local landmark building.



Proposals

The Change of Use from Place of Worship to Community Centre with ancillary café (F2 use) was granted in 2023.

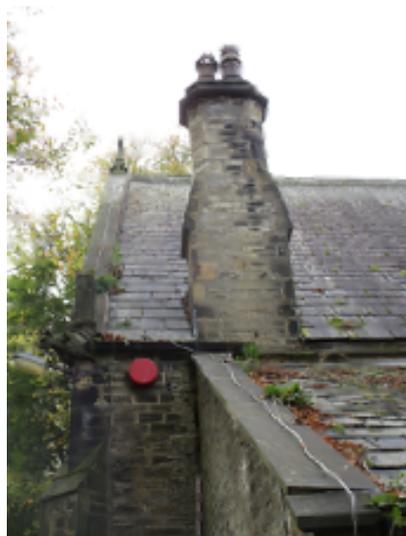
Current proposals include the extension of the existing west flat roofed building to create improved W.C. facilities, including Access W.C. and small changing area, and Kitchen and servery large enough to provide hot meals to 100 plus people.



General Arrangement Drawing

The main Nave and Aisle will as time goes by be replanned as currently shown on the drawings, though the exact layout is subject to change to suit demand and funding.

The heritage features of the building including Sanctuary, Choir Pews, Pulpit and Wall Memorials etc. will remain unchanged to respect the previous place of worship and the people of the community who used the building.



The chimney serving the old coke boiler below the former Vestry leans badly and is source of on-going water ingress. The proposals include the removal of the chimney and making good the roof in matching slate.

1.02 Scale

The single storey extension will be small scale, designed to join onto and repeat the same height and detailing of the existing flat roof, including parapet string course, plinth and window fenestration.

1.03 Landscaping Setting & Appearance

The building sits within an extensive graveyard, cleared to the north and remains open for interred remains to the south.

The north portion of the site is predominantly grassed with most of the ledger and headstones removed. The periphery of this portion of the site is dotted with many mature trees. A semi-mature copper beech tree is located within the recommended dimension of the main structural walls of the Community Centre, providing potential for structural movement and blighting the church in terms of the need for increased maintenance. The last three inspection reports by a conservation Architect have recommended the removal of the tree with compensating trees planted elsewhere. Please refer to Woodsage Arboriculturalist's report for detailed analysis and replanting proposals.



The proposed extension will encroach still nearer the tree. Alternative locations for the extension have been considered, but the logical location of the independent access to the W.C.'s off the entrance lobby outweighs the loss of the tree in the interest of overall community benefit.

Existing trees and planting will be unaffected by the design and construction techniques employed and therefore the impact on the setting of the building is considered low.

1.04 Appearance

The extension is designed to match the stonework and detailing of the existing building. Stonework will be obtained from the closest matching source and be built in matching courses, parapet and plinth detailing. A buttress is included at the junction of the new and old walls to articulate the junction but also to provide a necessary structural function.



1.05 Amount

The current building area is 483 m² of which the flat roof extension footprint will create a further 16 m², just 3.3% of the overall plan area.

1.06 Layout

The location of the W.C. extension has been carefully considered, as noted earlier, accessed off the entrance lobby to allow independent access.

The new layout will provide a three cubicle female W.C. area, male urinal and single W.C., Access W.C.(compliant with Part M of the Building Regulations) and small changing area / discrete lobby.

2.0 Access

Access to the building is made from Jackroyd Lane, via a level pathway and small ramp to the principal entrance doorway. Once inside all unique uses of the building will be offered at ground floor level, compliant with the Disability Discrimination Act, offering level access and use by everyone within the community.