

ORANGE.

HERITAGE STATEMENT

KIRKGATE SURGERY,  
BIRSTALL

# ORANGE DESIGN STUDIO.

a taste of ORANGE.

Orange is a young, visionary and award winning architectural design studio. Which is based on the high street of Mirfield, in the heart of Yorkshire. The practice was formed in 2012.

Lead by designer, Jake Hinchliffe, The practice has built it's reputation on engaging with clients briefs and turning their thoughts into amazing, well crafted, homes and spaces.

They have built a commercial reputation amongst many professionals in the construction industry for delivering technically challenging projects, in some cases making the impossible, possible.

Orange have a real passion for working alongside likeminded clients on residential projects to create fantastic homes and spaces for people to reside and enjoy.

From their creative design studio, Orange has full capabilities for handling projects of different sizes, ranging from bespoke home extensions, bespoke residential commissions, and creative housing developments.

The studio environment has an open company culture with a focus on client service and teamwork.

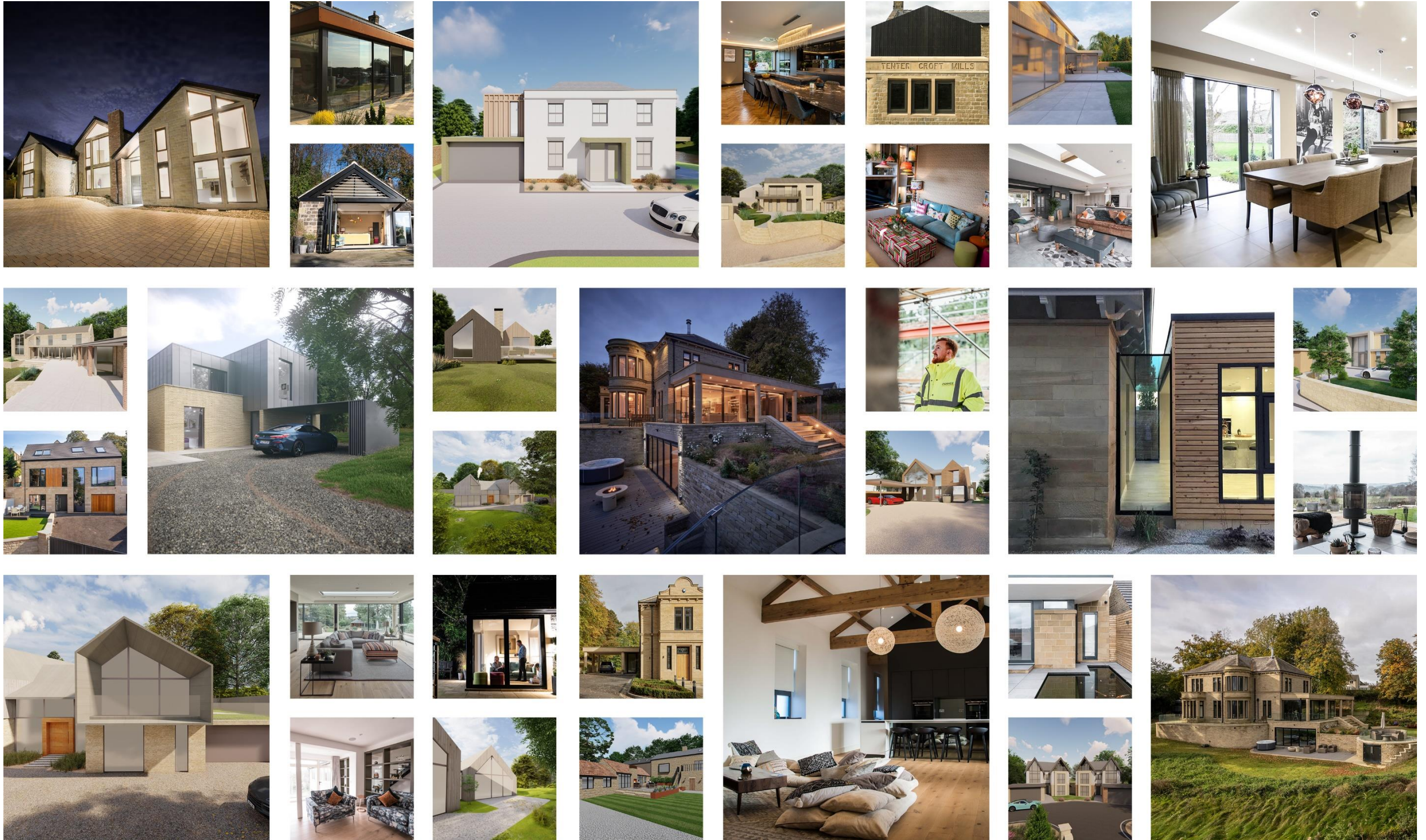


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## INTRODUCTION.



This design statement has been prepared for the proposed extension works at Kirkgate Surgery, Birstall to construct a single storey extension with associated works.

This statement has been prepared using a combination of site information, topographical survey and planning policy.

## INTRODUCTION.

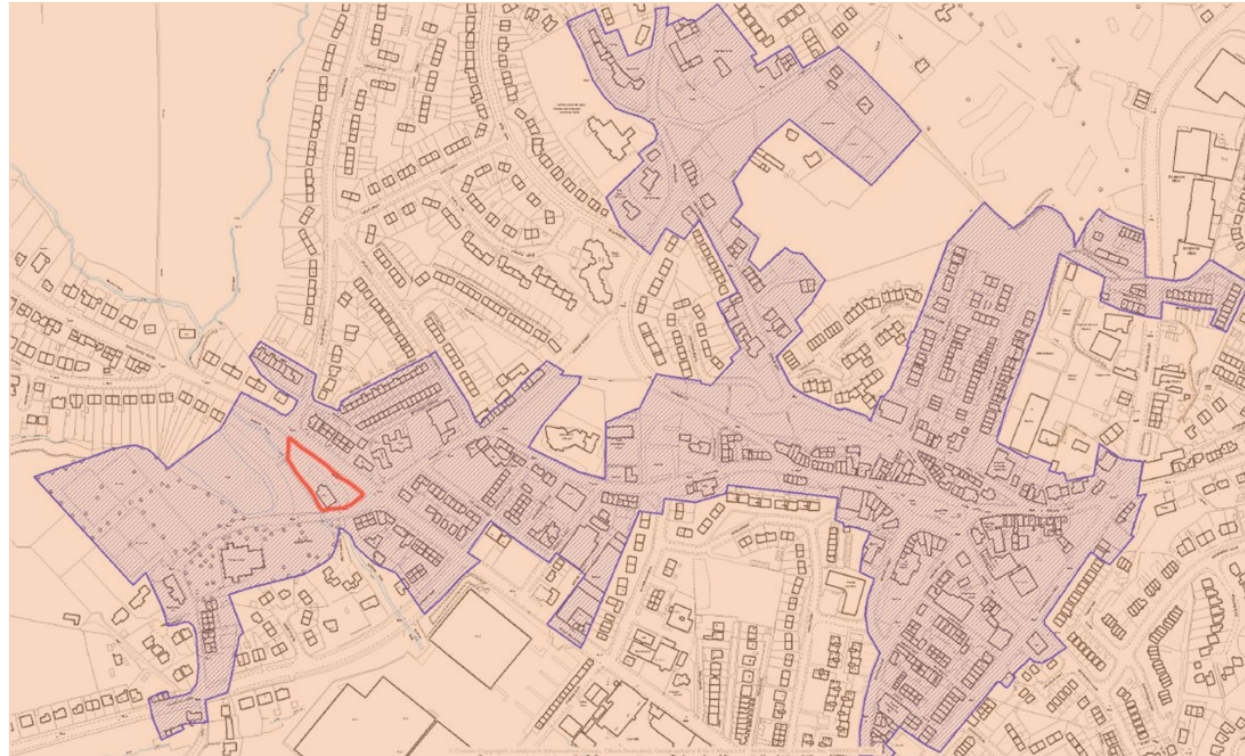
Orange Design Studio were commissioned to create an extension that would achieve the following;

- High Quality accommodation space providing the existing surgery with natural light
- Flexible and Open internal space planning that create optimal professional use.
  - Provide a high quality planning and design pack to support the proposals
  - Sympathetic yet contemporary extension within the Conservation Area

The purpose of this design statement is to provide a clean and logical document that can inform the consultation process in relation to current and relevant policy. The Design & Access statement acts as a supporting document for the accompanying planning application drawings but also highlights the design process and approach.

The Design & Access statement responds to the requirements of the town and country planning order 2015. It explains the design principles and concepts that have been applied to the proposals as well as the way in which access issues have been considered and addressed.

## CONTEXT.



The site is located on Kirkgate, Birstall within Birstall Conservation Area.

Properties ranges from early 1600s to 2000s.

The site is surrounded by mature trees to the north and west with Longbottom Dam to the west and St Peters Church to the south. The wider area comprises of mainly traditional stone built homes.

## CONTEXT.

### INTRODUCTION

Understanding the nature of the application site and the opportunities and constraints that it presents provides an important foundation on which to develop the proposals.

### SITE LOCATION

The application site is located to the northern side of Kirkgate.

The site is surrounded by mature trees to the north and west with Longbottom Dam to the west and St Peters Church to the south. The wider area comprises of mainly traditional stone built homes.

### LAND USE

The existing land is used as a medical surgery with parking provision and green space.

### ACCESS & MOVEMENT

The access to application site is directly from Kirkgate.

### BOUNDARIES

The boundaries along the northern, eastern, southern and western boundaries are in line with the title deed for the site.

## PLANNING POLICY.

### NPPF: 16. Conserving and enhancing the historic environment.

184. Heritage assets range from sites and buildings of local historic value to those of the highest significance, such as World Heritage Sites which are internationally recognised to be of Outstanding Universal Value. These assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations.
185. Plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay, or other threats. This strategy should consider: a) the desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation; b) the wider social, cultural, economic, and environmental benefits that conservation of the historic environment can bring; c) the desirability of new development making a positive contribution to local character and distinctiveness; and d) opportunities to draw on the contribution made by the historic environment to the character of a place.
189. In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.
190. Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.
192. In determining applications, local planning authorities should take account of: a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and c) the desirability of new development making a positive contribution to local character and distinctiveness.

### PolicyLP35 Historic environment

1. Development proposals affecting a designated heritage asset (or an archaeological site of national importance) should preserve or enhance the significance of the asset. In cases likely to result in substantial harm or loss, development will only be permitted where it can be demonstrated that the proposals would bring substantial public benefits that clearly outweigh the harm, or all of the following are met: a. the nature of the heritage asset prevents all reasonable uses of the site; b. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; c. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and d. the harm or loss is outweighed by the benefit of bringing the site back into use.
3. Proposals should retain those elements of the historic environment which contribute to the distinct identity of the Kirklees area and ensure they are appropriately conserved, to the extent warranted by their significance, also having regard to the wider benefits of development. Consideration should be given to the need to: a. ensure that proposals maintain and reinforce local distinctiveness and conserve the significance of designated and non-designated heritage assets; b. ensure that proposals within Conservation Areas conserve those elements which contribute to their significance; c. secure a sustainable future for heritage assets at risk and those associated with the local textile industry, historic farm buildings, places of worship and civic and institutional buildings constructed on the back of the wealth created by the textile industry as expressions of local civic pride and identity; d. identify opportunities, including use of new technologies, to mitigate, and adapt to, the effects of climate change in ways that do not harm the significance of heritage assets and, where conflict is unavoidable, to balance the public benefit of climate change mitigation measures with the harm caused to the heritage assets' significance; e. Accommodate innovative design where this does not prejudice the significance of heritage assets;

## PLANNING POLICY.

### Considering potential impacts

193. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.
194. Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of: a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional; b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II\* listed buildings, grade I and II\* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.
195. Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all the following apply: a) the nature of the heritage asset prevents all reasonable uses of the site; and b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and d) the harm or loss is outweighed by the benefit of bringing the site back into use.
196. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.
201. Not all elements of a Conservation Area or World Heritage Site will necessarily contribute to its significance. Loss of a building (or other element) which makes a positive contribution to the significance of the Conservation Area or World Heritage Site should be treated either as substantial harm under paragraph 195 or less than substantial harm under paragraph 196, as appropriate, considering the relative significance of the element affected and its contribution to the significance of the Conservation Area or World Heritage Site as a whole.
202. Local planning authorities should assess whether the benefits of a proposal for enabling development, which would otherwise conflict with planning policies, but which would secure the future conservation of a heritage asset, outweigh the disbenefits of departing from those policies.

*The proposed design has been informed by the local vernacular through the use of materials to contribute to the local distinctiveness and is appropriate to the setting with a modest extension size and eaves and ridge heights set below that of the existing meaning that the host dwelling retains its significance on site.*

*Conservation skylights have been implemented to respect the local area*

*The modest extension size and considered roof heights means that there would be no impact on conservation area with the extension nestled neatly to the rear of the plot which is surrounded by mature trees.*

*The proposed design is sited on existing hardstanding, minimising impact on the local landscape and ecology.*

## SITE.



The site is in Birstall Conservation Area.

The site has access from Kirkgate.

Kirkgate surgery is a new build stone and concrete tile roof 1.5 storey building located on the corner of Kirkgate and Braford Road.

## MATERIALITY.



The materials used for the extension will match that of the existing dwelling through the use of stone and tile to match existing.

Conservation style rooflights will be implemented to either side of the pitched roof to flood the space with natural light

# DESIGN.



A fundamental part of the scheme is to achieve a high quality extension with materials used to sympathetically add to the existing building and conservation area.

The design of the extension through its projection, scale, mass and levels results in no impact on the conservation area and allows for the existing dwelling to be read as the main focus of the site with a sensitively designed extension providing the surgery with much needed space and natural light

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ARCHITECTURAL PRACTICE

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