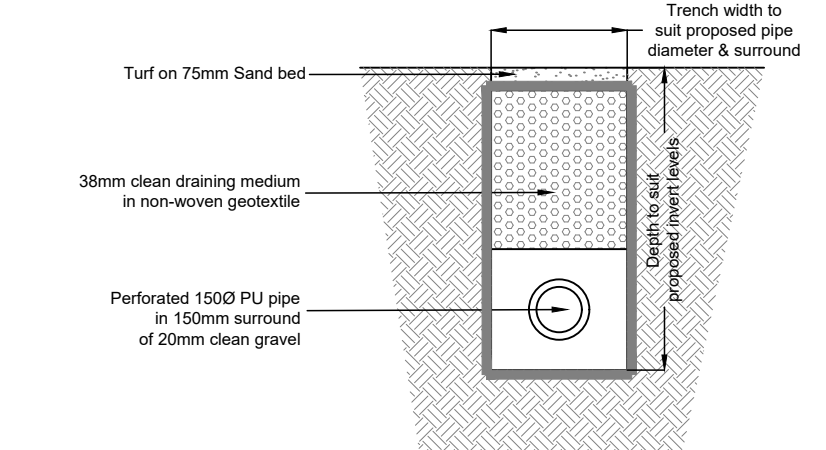
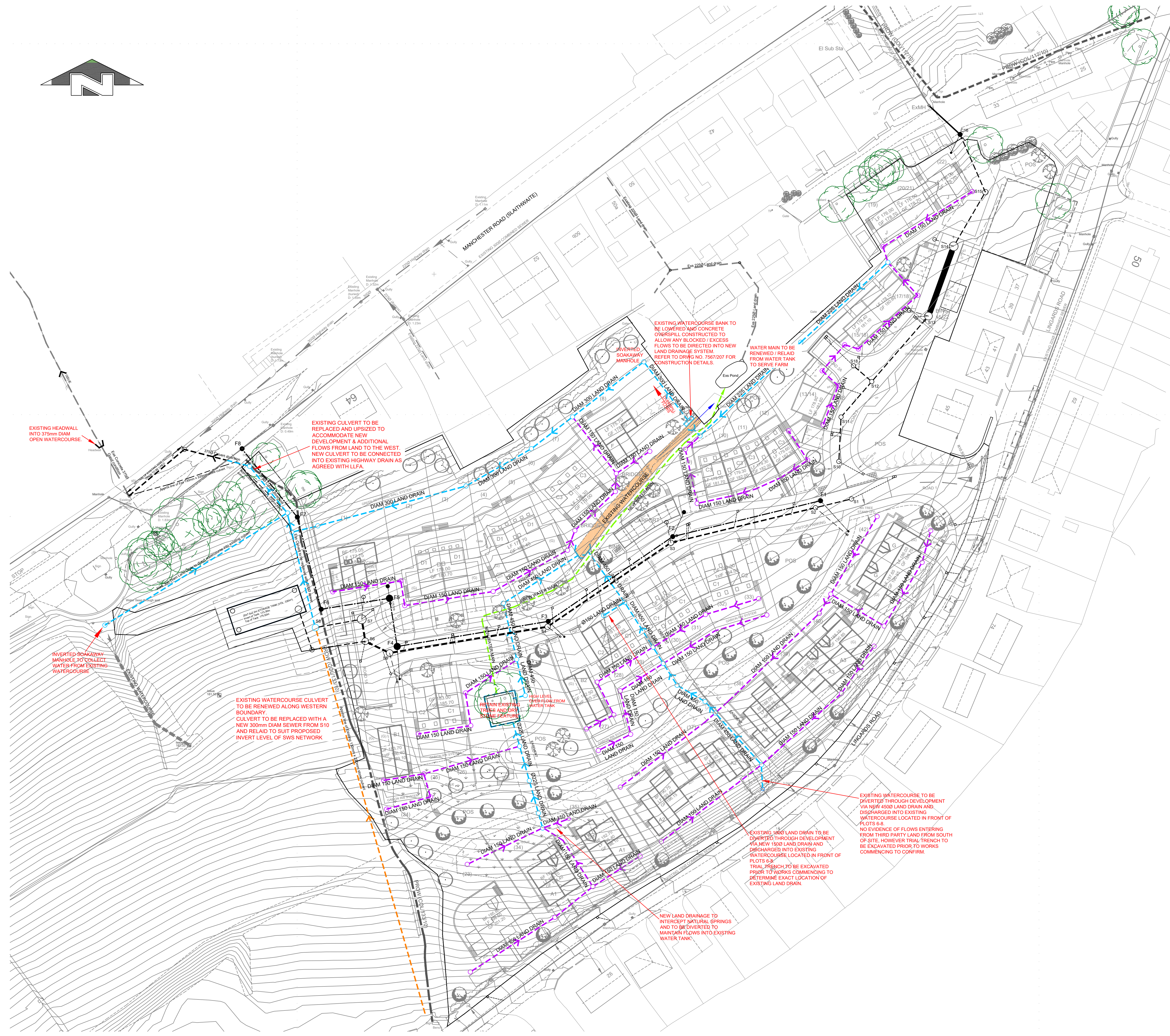
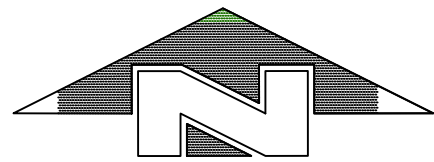
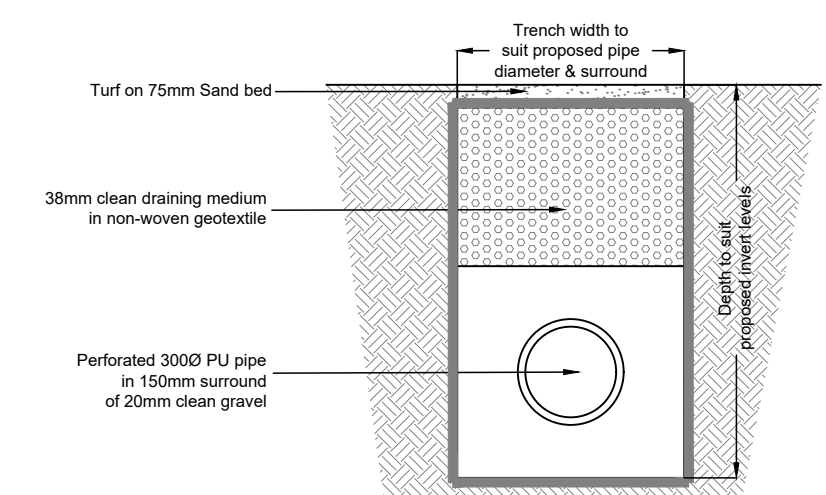




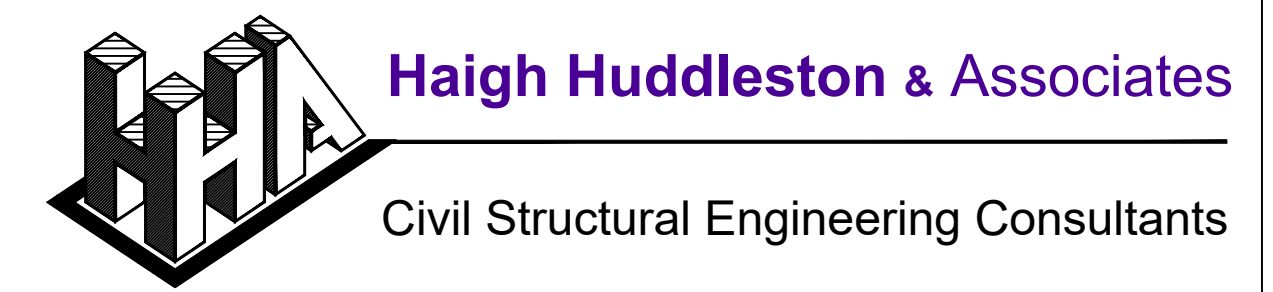
TYPICAL SECTION THRO' 1500 LAND DRAIN



TYPICAL SECTION THRO' 3000 LAND DRAIN

- KEY
- LAND DRAINAGE MANAGED & MAINTAINED BY 3rd PARTY MANAGEMENT COMPANY FOR LIFE OF DEVELOPMENT
 - EXISTING WATERCOURSE / CULVERT MAINTAINED & MANAGED BY 3rd PARTY MANAGEMENT COMPANY
 - LAND DRAINAGE MANAGED & MAINTAINED UNDER RIPARIAN OWNERSHIP
 - WATER MAIN TO BE RENEWED & RELAID FROM EXISTING WATER TANK TO SERVE FARM.
 - S104 SURFACE WATER SEWER
 - S104 FOUL WATER SEWER
 - S104 COMBINED WATER SEWER

Rev E Updated to suit LLFA comments. Plots 23, 34-38 amended to suit latest planning requirements. 07.08.24 HH
Rev D Updated to suit latest planning layout / drainage design. Key added. 02.07.24 HH
Rev C Proposed drainage design updated 28.02.24 HN
Rev B Highlighted key watercourses and land drains. 28.07.23 GB
Rev A Update to suit latest planning layout Rev N. 23.01.23 HH



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Client				
SB HOMES				
Project				
LINGARD ROAD, SLAITHWAITE				
Detail				
PROPOSED LAND DRAINAGE				
Dwn	Chkd	Date	Scale	Dwg No.
RTH	MH	JULY-23	1:500@A1	E19/7567/036E