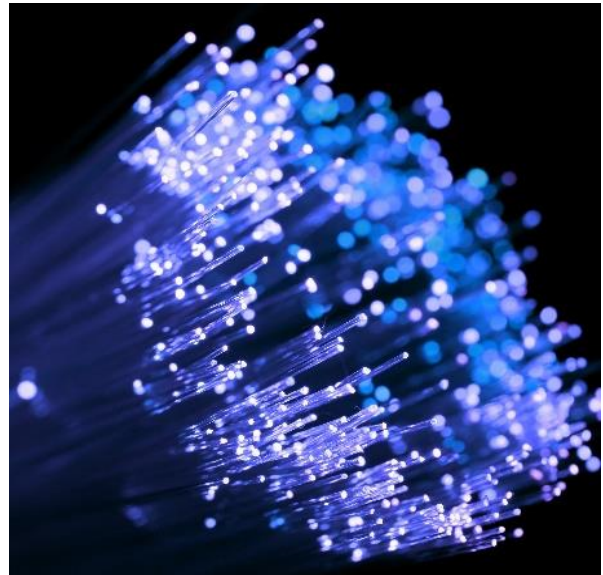


Land at Thomas Street, Lindley, Huddersfield

Level 1 Utility Study

May 2022



Land at Thomas Street, Lindley

UCML Utility Study Level 1

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UCML Utility Study – Level 1

Land at Thomas Street,
Lindley,
Huddersfield

Produced for: Muller Property Group

Issue/Revision	Comments	Date	Prepared By	Checked By
1	First Issue	30/03/2022	Joanne Blackburn	Casey Watmore
2	Second Issue	12/05/2022	Joanne Blackburn	-
3				

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1.0 Introduction

UCML has been instructed by Muller Property Group (hereafter referred to as ‘the Client’) to provide a desktop utility study to identify the outline constraints derived from the statutory utility infrastructure on a proposed development of a 60 no. bed care home facility. The site is located off Thomas Street, Lindley, as indicated within the aerial image shown in Figure 1.1 below.



Figure 1.1 – Aerial view of existing site

UCML has been commissioned to provide a desktop utility study defining potential cost and timescale risks that could impact on the overall delivery of the project. The principal aim of this utility study is to identify the key constraints derived from statutory utility infrastructure on the proposed development. The information provided within this desktop study is based on review of the current proposed site plan (drawing ref. H.21.81(9)-3) provided to UCML by the Client, as indicated in Figure 1.2 overleaf.

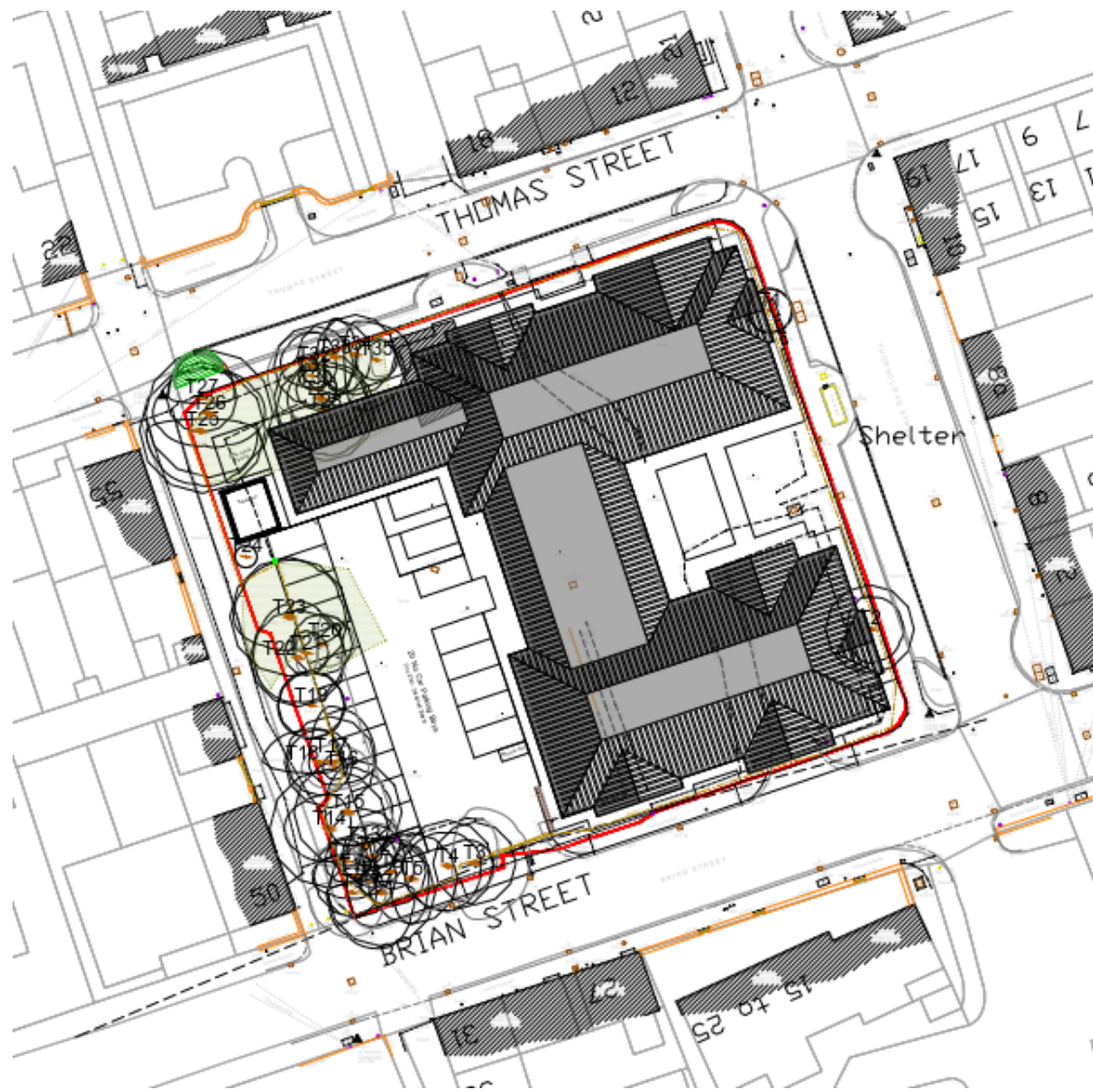


Figure 1.2 – Site Layout Plan

This desktop study has been produced using the statutory records received from each relevant body. The host statutory network operators which operate in the vicinity of the development site and covered within this study are listed in Table 1.1 below.

Utility	Statutory Operator
Electricity	Northern Powergrid
Gas	Northern Gas Networks
Water	Yorkshire Water
Telecoms	Openreach
	Virgin Media

Table 1.1 – Host Statutory Network Operators

UCML is not responsible for the accuracy or quality of the information provided on statutory utility infrastructure records, and has attempted to use reasonable skill and care in investigating the existing site services. Unless stated otherwise, UCML has not made any provision for out-of-area water mains, private networks, unrecorded networks, Liquid Petroleum Gas (LPG) networks, street lighting, CCTV, traffic signals/illuminated signage, data centre networks, electricity generation installations, interconnectors, or drainage/sewerage networks.

Please note, all information on the drawings contained within this utility study and elsewhere is indicative only. The verification of the details and plant location given on the relevant infrastructure records should be undertaken using the following methods;

- The use of plant location equipment to trace all underground plant.
- The use of hand dug trial holes to confirm the precise location of plant.
- The use of suitable paint or markers on the surface to clearly indicate the position of buried apparatus.

All works undertaken are to be in accordance and compliance with the Construction Design and Management 2015 Regulations, published Health & Safety Guidelines, and the agreed working practices of the relevant utility companies. The following assumptions must be made in regards to any existing utility apparatus;

- All mains, services cables, and pipes should be assumed live until proven dead prior to any excavation, demolition or groundworks commencing.
- Any existing building is assumed to have live services until proven otherwise.
- Any site is assumed to have existing utility apparatus located within the boundary until proven otherwise.
- Service connections are not indicated on all utility infrastructure records. Where no service connections are indicated, their presence should be anticipated until proven otherwise.

2.0 Scope and Objectives

Utilities Connections Management Limited (UCML) is an independent Utility Consultancy providing services relating to the provision of utility connections to all types of developments.

This desktop utility study aims to provide a 'snapshot' in time of the current statutory utility networks and review the potential connection, diversion, and disconnection works that may be required to accommodate the development proposals. The objective of the commission is to provide a level of information relating to budgetary costs and risks, without incurring significant costs relating to distribution network studies. It should be noted that as this study is desktop in nature, no site visits or surveys have been undertaken during its completion.

The scope of works undertaken by UCML may be summarised as follows;

- Obtain the statutory Network Operators' infrastructure records.
- Review the existing utility distribution networks within the local area of the site.
- Provision of budget costs for proposed disconnection, diversion, and connection works.
- Identification of possible abnormal costs associated with existing and proposed infrastructure.
- Highlighting of abnormal legal requirements including wayleaves and easements.

UCML's desktop utility studies provide a detailed overview of the statutory electricity, gas, clean water and telecommunications infrastructure in the vicinity of a proposed site, ideal for:

- Due diligence prior to land purchase to allow negotiation.
- Risk assessment prior to tender.
- Assistance with site layout design to minimise impact on existing utilities, taking into account statutory utility infrastructure legal requirements.
- Detailed planning statements.
- Investment analysis.

3.0 Assumptions and Exclusions

In view of the limitations of the available information, the following assumptions have been made in order to produce this utility study;

- All estimated loads have been based on information provided in the Network Operators Distribution Code and other documented standards.
- The information provided within the desktop study is based on the development site area as identified on the proposed site layout plan shown in Figure 1.2 within the introduction. Any land falling outside of the provided boundary is outside of the scope of this desktop study and, should it be incorporated within the proposed development boundary, this may affect the information and recommendations provided within this desktop study.
- The desktop study has been produced based on the specification provided by the Client/Developer at the time of instruction. Any changes to the size, type, number of specification of the development (for instance the extent of EV charging provision and/or use of Low Carbon heating solutions) may affect the information and recommendations provided within this desktop study.
- In the timescales and budget costs quoted, no allowances have been made in respect to the following unless stated otherwise;
 - Wayleaves, easements, or access rights.
 - Reinforcement charges.
 - Land transfers or lease arrangements for substation requirements if applicable.
 - Abnormal off-site civils.
 - Specialist traffic management (non-standard).
 - On-site civils and builders work.
 - Seasonal Embargoes.

It should be noted that all budgetary figures quoted are exclusive of any Value Added Tax (VAT) that may be applicable unless stated otherwise.

4.0 Cost Summary

Matrix Key	
■	Do not envisage any major issues.
■	Could cause delay that can be measured in weeks, and can also be prevented.
■	Could cause delay that can be measured in months, and may be prevented.
■	Could cause major delay, that may not be mitigated.
Utility	Risk
Electricity	
Disconnection Works – £1,800.00 (1 no. LV cable disconnection)	
Diversions Works – £14,500.00 (2 no. LV cable diversions)	
Connections – £64,000.00 (based on assumed HV POC and single bulk supply to care facility)	
Total Electricity Costs - £80,300.00	
Gas	
Disconnection Works – None currently anticipated	
Diversions Works – None currently anticipated	
Connections – £6,000.00 (based on assumed single bulk supply to care facility)	
Total Gas Costs - £6,000.00	
Water	
Disconnection Works – None currently anticipated	
Diversions Works – None currently anticipated	
Connections – £17,000.00 (based on assumed single bulk supply to care facility)	
Total Water Costs - £17,000.00	
Telecoms – Openreach	
Disconnection Works – £2,500.00 (underground cable disconnection)	
Diversions Works – None currently anticipated (TBC)	
Connections – £TBC (consultation required with Openreach)	
Total Openreach Costs - £TBC	
Telecoms – Virgin Media	
Disconnection Works – £2,000.00 (underground cable disconnection)	
Diversions Works – None currently anticipated (TBC)	
Total Virgin Media Costs - £2,000.00	
Budgetary sums exclude Value Added Tax, on-site civils and principal contractor preliminaries.	

Table 4.1 – Cost Summary and Risk Matrix Table

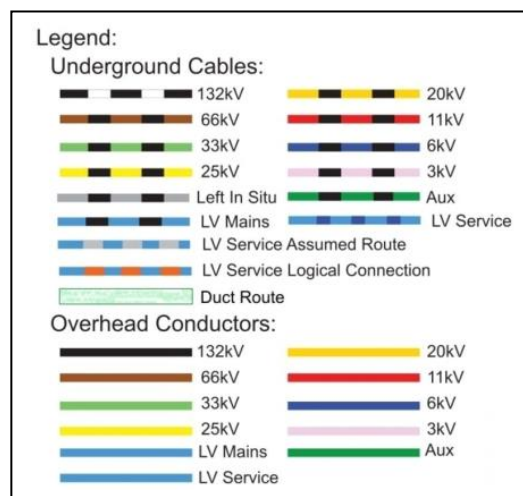
5.0 Electricity

The electricity distribution network in the vicinity of the development site is under the ownership of Northern Powergrid and is operated within the terms of its Electricity Distribution License issued by Ofgem. The local electricity distribution network in the immediate vicinity of the site comprises of underground cables and associated substations operating at High Voltage (HV) and Low Voltage (LV).

The figure on the following page illustrates the location of existing Northern Powergrid infrastructure which has been extracted from its network records. The cables shown red are operated at 11,000 Volts (HV), and those shown in blue are operated at 415 Volts (LV). Please refer to the infrastructure record appended to this study for further detail.



Figure 5.1 – Existing Electricity Infrastructure Plan



Disconnections: Northern Powergrid infrastructure record indicates an LV cable entering the development site boundary in the south west corner of the site, off Brian Street. Allow a **budget cost of £1,800.00** to disconnect the cable outside of the development boundary to clear the site.

Diversions: Northern Powergrid infrastructure record indicates LV cables routed within the site side footpath of Brian Street, which may be affected by the construction of the car park access. It may be prudent to undertake trial excavations at the site access location to confirm the location and depth of the LV cable as, should it be confirmed to be located at a minimum depth of 600mm below the proposed finished cover level, the requirement for any diversionary works may be negated through consultation with Northern Powergrid. As an existing entrance is located at the location of the access point, it can be assumed that the LV cable may already be located at sufficient depth to comply with Streetworks (UK) guidelines for the minimum depth of utility apparatus within carriageway. If the cable is proven shallow, and diversionary works are required, a **budget cost of £8,000.00** is recommended for the works.

Northern Powergrid infrastructure record indicates LV cables routed within the site side footpaths of Thomas Street and Thorncliffe Street to the development site boundary. Provided no alterations are made to the line or level of these footpaths as part of the development works, this apparatus should not be affected to the extent diversionary works are required.

Northern Powergrid infrastructure record indicates an LV cable routed within the footpath link between Thomas Street and Brian Street along the western boundary of the development site. Desktop review of the infrastructure record indicates a section of the cable may encroach within the site boundary, but does not appear to conflict with any proposed construction works. It may be possible to retain the cable in situ to negate the requirement for diversionary works; however, if diversionary works are required a **budget cost of £6,500.00** is recommended for the works. This is based on the assumption that the cable can be relocated into the footpath.

Northern Powergrid infrastructure record indicates 11 kV HV and LV cables routed within the adjacent side footpath of Brian Street, and LV cables routed within the adjacent side footpaths of Thomas Street and Thorncliffe Street to the development site boundary. Provided no alterations are made to the line or level of the adjacent side footpaths as part of the development works, this apparatus appears to be unaffected by the development proposals.

Connections: It is envisaged there may be sufficient capacity in the existing HV network to provide supply to the proposed development. A Point of Connection (POC) application is recommended to confirm the actual availability of capacity within the local network. At the time of writing, the heating strategy to be used for the development has not yet been confirmed. For the purpose of this study, UCML has assumed a connection can be taken at HV for the development for either a gas or electrical heated scheme. Allow a **budget cost of £64,000.00** for connections, assuming a single bulk supply is required to the care facility.

The budget cost provided is based on the assumption that a connection can be taken from the 11 kV HV cable routed within the adjacent side footpath of Brian Street to the development site. The cost provided is also based on the assumption that the developer or their appointed contractor will undertake all on-site excavation, reinstatement and civils works; including the construction of the substation concrete plinth and housing to the appropriate standard.

The use of a HV POC will trigger the requirement for a secondary substation to be constructed on-site. In order to accommodate the construction of a secondary substation, a parcel of land of approximately 5m x 5m, along with suitable access and egress, will need to be allowed within the development boundary to accommodate the substation compound.

6.0 Gas

The local Gas Distribution Network in the vicinity of the development site is owned and operated by Northern Gas Networks under its Gas Transportation License issued by Ofgem. The gas network in the immediate vicinity of the site comprises of gas mains and apparatus operating at Low Pressure (LP).

The figure on the following page is an extract from Northern Gas Networks statutory records and details the currently indicated position of existing infrastructure, however it may be prudent to undertake a below ground survey to ensure there are no services present which are not recorded on statutory records. Please refer to the infrastructure record appended to this study for further detail.

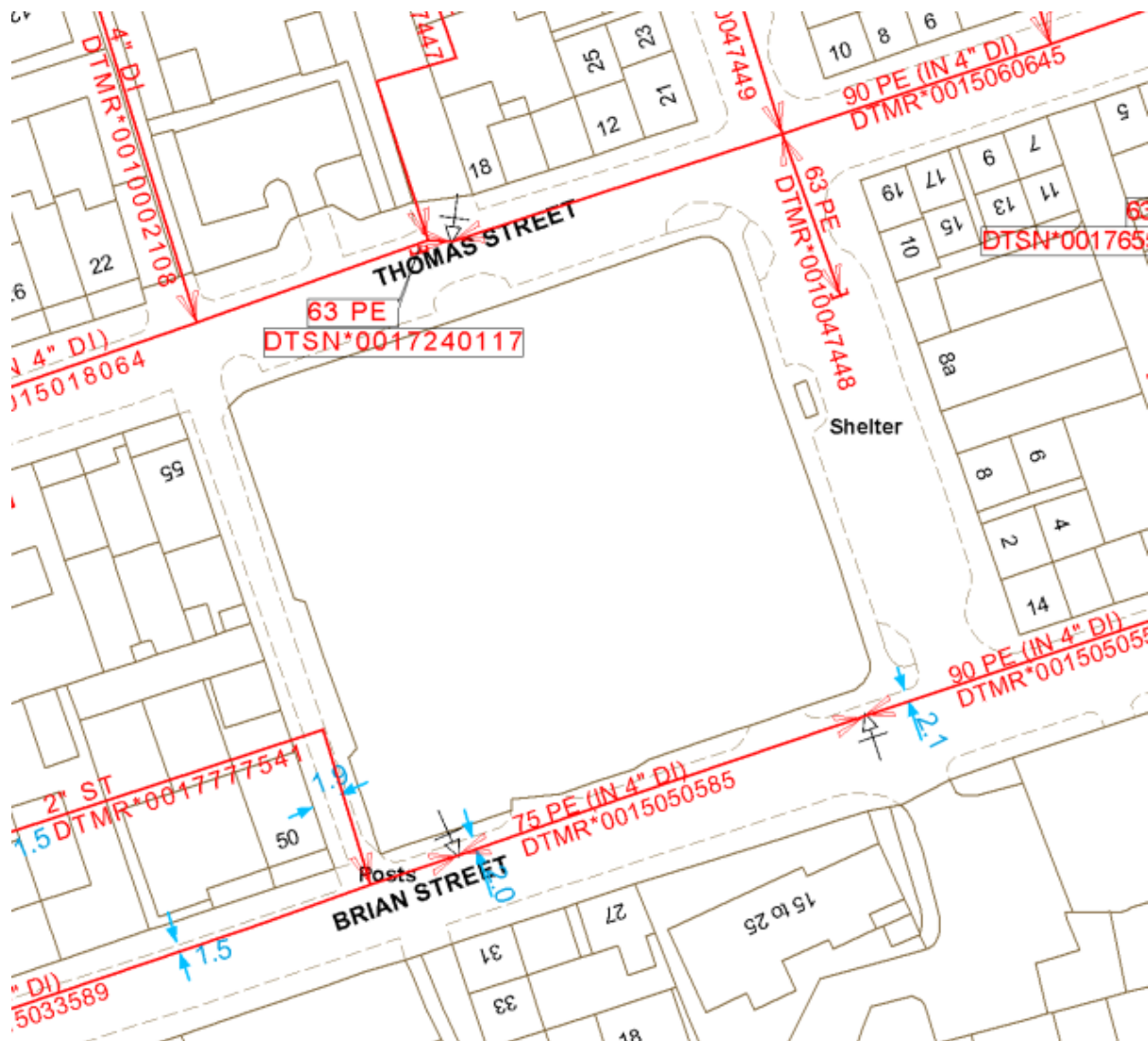
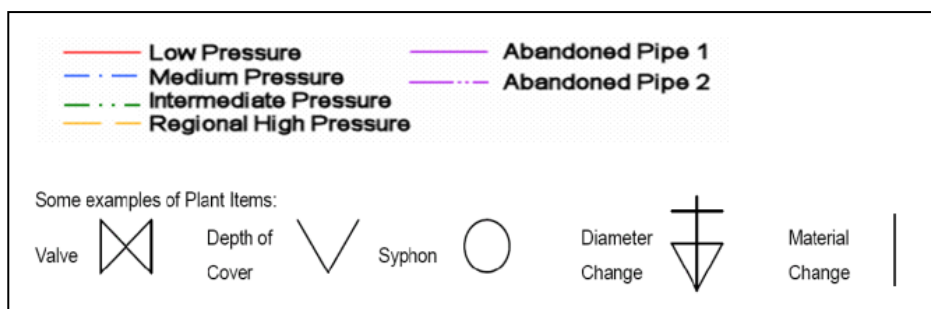


Figure 6.1 – Existing gas infrastructure plan



Disconnections: Northern Gas Networks do not typically indicate individual service pipes on their infrastructure records; however, their presence should be anticipated until proven otherwise. As the site has no existing units, an assumption can be made that disconnection works were completed to clear the site prior to the completion of demolition works.

Diversions: Northern Gas Networks infrastructure record indicates a 75mm polyethylene LP main (slip lined within a 4" ductile iron main) routed within the site side carriageway of Brian Street to the development site. As the main is indicated as being located within existing carriageway, it can be assumed it will not be affected by the proposed development works, provided no alterations will be made to the line or level of the carriageway.

Northern Gas Networks infrastructure record also indicates 63mm polyethylene LP mains routed within the adjacent side carriageways of both Thomas Street and Thorncliffe Street to the development site boundary. Again, provided no alterations will be made to the line or level of the surrounding carriageways, this apparatus appears to be unaffected by the proposed development works.

Connections: If a gas connection is required to the development, it is envisaged there may be sufficient capacity in the existing LP network to provide supply to the proposed development. A point of connection application is recommended to confirm the actual availability of capacity within the local network. For the purpose of this study, UCML has assumed a connection can be taken at LP. Allow a **budget cost of £7,500.00** for connections, assuming a single bulk supply is required to the care facility which will terminate at a boundary meter kiosk. This budget figure excludes any potential asset value subsidy which may apply for the adoption of the new gas network by an Independent Gas Transporter.

If an electrical heating strategy will be used for the development, the requirement for gas connections will most likely be negated.

7.0 Water

The local clean water distribution network in the vicinity of the development site is owned and operated by Yorkshire Water within the terms of its statutory license issued by Ofwat. The clean water network in the immediate vicinity of the site comprises of distribution water mains and associated apparatus. Please refer to the infrastructure record appended to this study for further detail.

The figure on the following page is an extract from Yorkshire Water statutory records and details the current indicated position of existing infrastructure, however it may be prudent to undertake a below ground survey to ensure there are no unknown services which are not recorded.

Please note on rare occasions 'out of area' water supply authorities have water mains crossing other water supply authority areas. This is typically trunk or raw water mains transporting water extracted from reservoirs or water courses between areas. Unless stated otherwise, UCML's utility study covers the statutory water network operator for this region as identified within the introduction only.

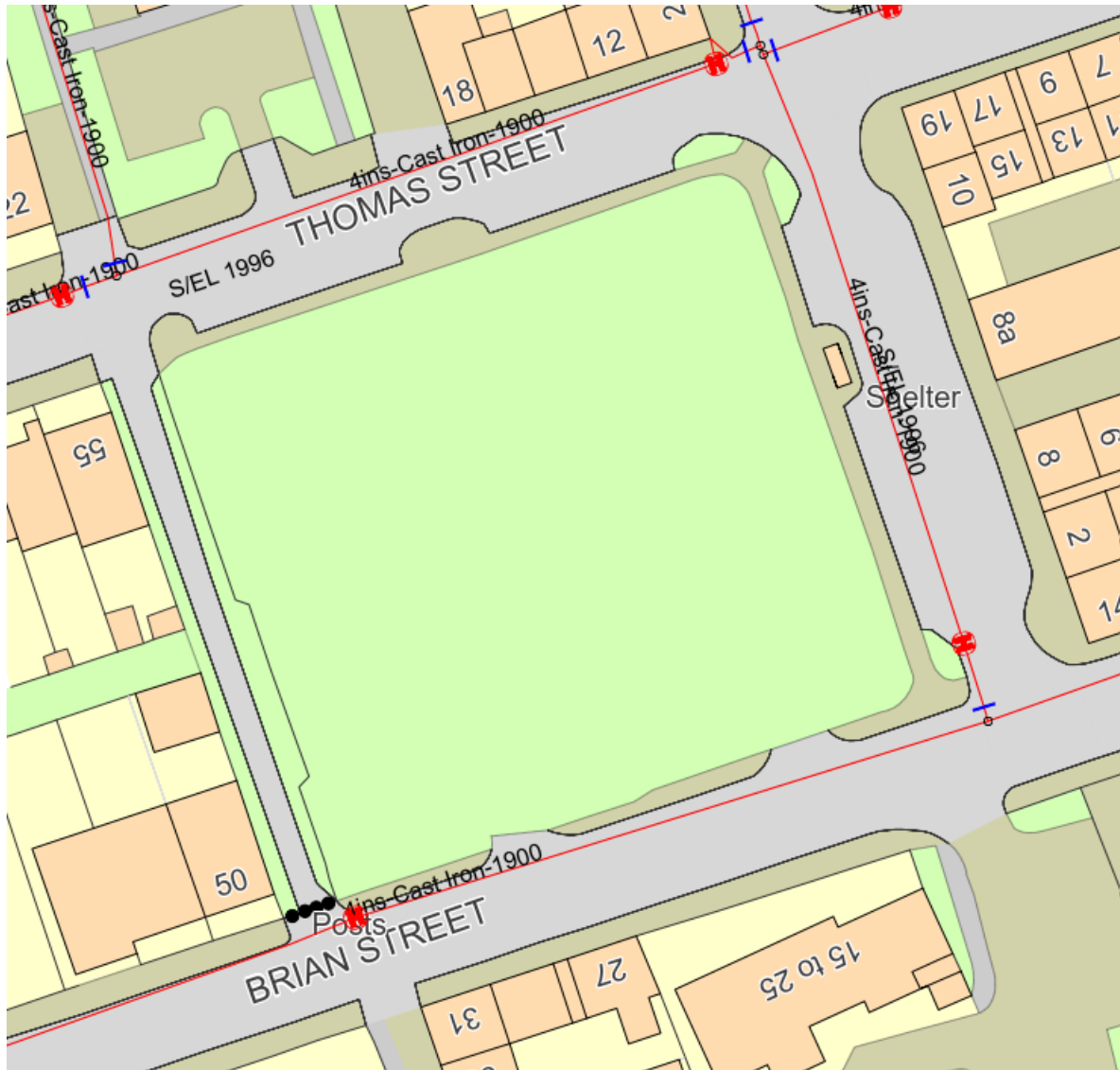
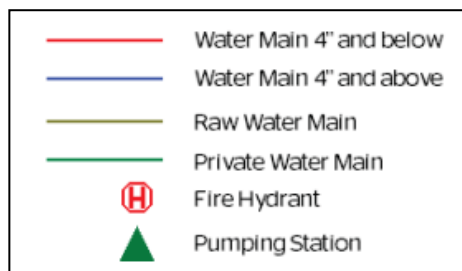


Figure 7.1 – Existing water infrastructure plan



Disconnections: Yorkshire Water do not typically indicate individual service pipes on their infrastructure records; however, their presence should be anticipated until proven otherwise. As the site has no existing units, an assumption can be made that disconnection works were completed to clear the site prior to the completion of demolition works.

Diversions: Yorkshire Water infrastructure record indicates a 4” cast iron distribution main routed within the site side carriageway of Brian Street to the development site. As the main is indicated as being located within existing carriageway, it can be assumed it will not be affected by the proposed development works provided no alterations will be made to the line or level of the carriageway.

Yorkshire Water infrastructure record also indicates 4” cast iron distribution mains routed within the adjacent side carriageways of both Thomas Street and Thorncliffe Street to the development site boundary. Again, provided no alterations will be made to the line or level of the surrounding carriageways, this apparatus appears to be unaffected by the proposed development works.

Connections: It is envisaged there may be sufficient capacity in the existing infrastructure to supply the proposed development. However, a pre-development enquiry is recommended to confirm the availability of pressure within the existing network.

From April 2018, off-site network reinforcement costs have been funded through the collection of infrastructure charges applicable to each new connection. Infrastructure charges are calculated based on the estimated costs of all off-site reinforcement works required to facilitate connections to new developments within Yorkshire Water’s supply area over a rolling 5 year period, based on the total anticipated number of new connections within that supply area. Please note, the infrastructure charge costs can vary year on year and therefore long term developments may be affected by the possible variance in infrastructure charges. Each water company has a differing infrastructure charge based on their individual network and anticipated levels of reinforcement works, and the cost of the infrastructure charges for clean and waste water are likely to differ.

The infrastructure charges applicable to developments within Yorkshire Water’s region for the current scheme of charges (2022-2023) are £80.00 per plot for clean water and £220.00 per plot for sewerage, both of which are applied to the clean water connection costs. Assuming a single large diameter bulk connection will be required to the care facility, the cost of the

infrastructure charges will be calculated by Yorkshire Water following receipt of a formal application for connections, and will be based on the number and size of fixtures and fittings planned to be installed on the development. Based on assumed infrastructure charges, allow a **budget cost of £17,000.00** for connections, assuming a single bulk supply to the care facility.

A Phase 2 ground investigation and risk assessment will be required to precisely identify contaminated and uncontaminated ground within the site. The level of contamination on-site will determine the material used for the water mains and service pipes on-site. If the level of contamination is low, standard polyethylene pipe could be used. However, if the level of contamination on-site is determined to be high, the site will require the use of barrier pipe laid in a sterile trench. Should the use of barrier pipe be required, this will increase the cost of connections significantly.

8.0 Communications

8.1 Openreach

Openreach own and operate telecommunications apparatus in the vicinity of the development site within the terms of its statutory license issued by Ofcom. The Openreach network in the immediate vicinity of the site comprises of underground cables, overhead lines, and associated apparatus. Please refer to the infrastructure record appended to this study for further detail.

The figure on the following page is an extract from Openreach records and details the current indicated position of existing infrastructure, however it may be prudent to undertake a below ground survey to ensure there are no unknown services which are not recorded.

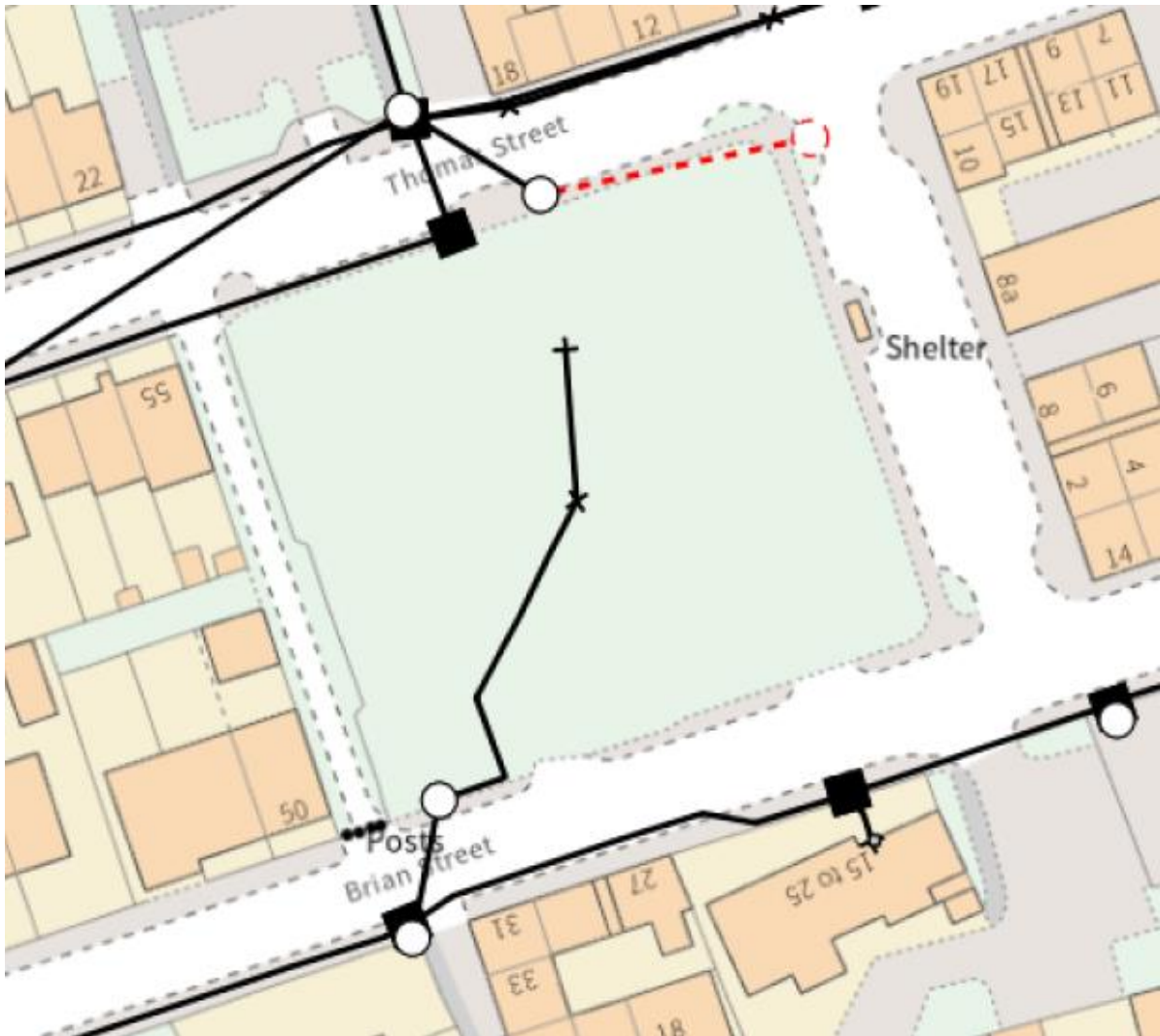


Figure 8.1 – Existing Openreach infrastructure

KEY TO BT SYMBOLS		Pole	○
DP	●	Planned Pole	○
Planned DP	●	Joint Box	■
PCP	⊠	Change Of State	+
Planned PCP	⊠	Split Coupling	×
Built	—	Duct Tee	▲
Planned	- - -	Planned Box	▣
Inferred	~ ~ ~	Manhole	■
Building	■	Planned Manhole	▣
Kiosk	Ⓚ	Cabinet	Ⓚ
Hatchings	▨	Planned Cabinet	Ⓚ

Disconnections: Openreach infrastructure record indicates a section of apparatus within the development site boundary, which is assumed to be a legacy asset remaining from the previous usage of the site. A **budget cost of £2,500.00** is recommended for disconnection works. The cost provided also includes an allowance for an upfront survey fee, if required.

Diversions: Openreach infrastructure record indicates an existing distribution pole located within the development site boundary, near the south west corner. Desktop review of the current proposed site layout plan indicates the pole does not conflict with the proposed construction works, and will be located within green space within the boundary. Therefore, it can be assumed that the pole could be retained in situ to negate the requirement to relocate the pole and associated service lines supplying the surrounding properties. Formal consultation will be required with Openreach to confirm.

Openreach infrastructure record indicates both underground and overhead apparatus routed within and on the site side footpath of Thomas Street to the development site. Provided no alterations are made to the line or level of the footpath as part of the development works, it can be assumed that this apparatus will not be affected by the development works to the extent diversionary works are required.

Connections: A reasonable assumption can be made that a connection can be taken from the existing infrastructure located in the immediate vicinity of the development site. Openreach will need to be consulted to confirm the costs applicable to the installation of a service connection to the care facility.

Disconnections: Virgin Media infrastructure record indicates a section of apparatus within the development site boundary, which is assumed to be a legacy asset remaining from the previous usage of the site. A **budget cost of £2,000.00** is recommended for disconnection works. The cost provided also includes an allowance for an upfront survey fee, if required.

Diversions: Virgin Media infrastructure record indicates underground apparatus and associated cabinets located within and on the site side footpath of Thornclyffe Street to the development site boundary. Provided no alterations are made to the line or level of the footpath as part of the development works, it can be assumed that this apparatus will not be affected by the development works to the extent diversionary works are required. Formal consultation will be required with Virgin Media to confirm, and to agree any protection measures required for the cabinets during the construction works.

Virgin Media infrastructure record indicates both underground apparatus routed within the site side footpath of Thomas Street to the development site. Provided no alterations are made to the line or level of the footpath as part of the development works, it can be assumed that this apparatus will not be affected by the development works to the extent diversionary works are required.

9.0 Conclusion

Based on the information currently available for review, the existing utility infrastructure within the vicinity of the development site appears to be capable of supporting the additional demand required to provide connections for the proposed development. There are existing electricity, gas, water, and telecoms services in the immediate vicinity of the development site, which should have sufficient capacity to serve the development.

It is recommended that formal applications are made to the relevant statutory network operators to confirm the actual availability of capacity within the existing networks, and to provide firm points of connection. Formal connection offers will only be valid for a limited period of time, and no capacity can be reserved until acceptance and payment of a formal quotation has been made.

This desktop utility study covers statutory infrastructures surrounding the site. All information has been taken from the records of the statutory authorities and although this information is the most accurate available it may be prudent to undertake trial excavations in strategic locations to definitively determine the depth and location of infrastructure. Utility Providers Networks are constantly under review and subject to applications from other parties and the capacities and loads currently available may be subject to change.

The costs provided are advised as a predicted worst-case scenario of the foreseeable works. However, as these are only budget figures the actual costs entailed will not be determined until detailed proposals are received from the owners of the infrastructure.

Produced;

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Utilities Connections Management Ltd.

Checked by;

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This document has been prepared solely as a Desktop Utility Study for Muller Property Group. Utilities Connections Management Ltd accepts no responsibility or liability for any use that is made of this document other than by Muller Property Group for the purposes for which it was originally commissioned and prepared.

No individual is personally liable in connection with the preparation of this Desktop Utility Study. By receiving this study and acting on it, the client or any other person accepts that no individual is personally liable whether in contract, tort, for breach of statutory duty or otherwise.

Completeness – Due care and effort is made to locate all Utility companies in a search area, however, due to the existence of redundant utilities, emergence of new companies and the combining of, takeover or sale of existing companies, UCML cannot guarantee to provide details on all utilities in a given area.

There may be a time delay between the physical installation, repair or upgrading of utilities networks and the subsequent recording of the works on utility infrastructure records. Therefore, it should be noted there may be utilities present that are not shown on the records.

10.0 Further UCML Services

Utility Study – Level 2

UCML's Level 2 Utility Study provides a detailed overview of the electricity, gas clean water, and communications statutory infrastructure in the vicinity of development site, ideal for;

- Due diligence prior to land purchase to aid negotiation.
- Risk assessment prior to tender.
- Assistance with site layout design to minimize impact on existing utilities, taking into account statutory utility infrastructure and legal requirements.

The services provided within UCML's Level 2 Utility Study includes;

- Application for existing statutory infrastructure records.
- Technical review of all statutory authority infrastructure affected by proposed on-site and off-site works.
- Application for firm point of connection for electricity, gas and water supplies to the site to determine location of proposed connection and firm cost for required electricity network reinforcement works.
- Provision of budget figures for disconnection, diversion and connection works derived from firm non-contestable charges including required reinforcement works where applicable.
- Cost risk and analysis.
- Timescales for provision and execution of quotations for the required works, highlighting risks to project programme.
- Highlight abnormal legal requirements including wayleaves and easements and explanation of requirements to mitigate risk.

Technical Procurement

UCML's technical procurement service deals with the obtaining of capacity checks as well as disconnection, diversion, connection, service alteration and temporary supply quotations. These include electricity, gas, clean water and telecom supplies for all forms of residential, commercial and industrial developments. Use of our technical procurement services can result in;

- Considerable cost savings.
- Reduced overheads.
- Reduced timescales.
- Reduced delays.
- Reduced time expenditure.
- Removal of provisional sums from tender submissions.

The services provided by UCML's Technical Procurement service includes;

- Review of proposed meter positions to ensure technical and regulatory viability.
- Application for:
 - Existing statutory infrastructure records.
 - Disconnection quotations including meter removals where required.
 - Statutory infrastructure diversion quotations.
 - Temporary building supplies.
 - New connections quotations.
 - Legal searches including easement, wayleaves and Land Registry title searches.
- Technical review of all quotations received including technical and commercial comparison across all competing quotes.
- Submission of successful quotations for acceptance.
- Single point of contact for project administration, and an assigned Technical Engineer to each scheme.

Project Management

UCML's Project Management service deals with the project management of disconnections, diversions, connections, service alterations, capacity checks and temporary supply installations for all forms of residential, commercial and industrial developments. Our Project Management team can work in conjunction with our Technical Procurement service or as a stand-alone offering to manage the delivery of all electricity, gas, clean water and telecom works. Use of our Project Management service can result in:

- Improved program planning accuracy.
- Reduced time expenditure.
- Reduced abortive visit charges.
- Reduced delivery timescales and as a result less delays.

The services provided by UCML's Project Management service includes;

- Management of statutory connections from quotation acceptance to completion.
- Assigned Project Manager to the scheme to provide a single point of contact for site staff, and attend site meetings and design team meetings as required.
- Provision of a site pack including existing and proposed drawings and relevant technical information relating to dimensions and layout of metering enclosures.
- Management of legal agreements required including wayleaves, easements and adoption agreements.
- Programming of all mains, connections and metering works through proactive communication with site staff.

Appendices

Appendix 1 – Northern Powergrid Infrastructure Plan

Appendix 2 – Northern Gas Networks Infrastructure Plan

Appendix 3 – Yorkshire Water Infrastructure Plan

Appendix 4 – Openreach Infrastructure Plan

Appendix 5 – Virgin Media Infrastructure Plan

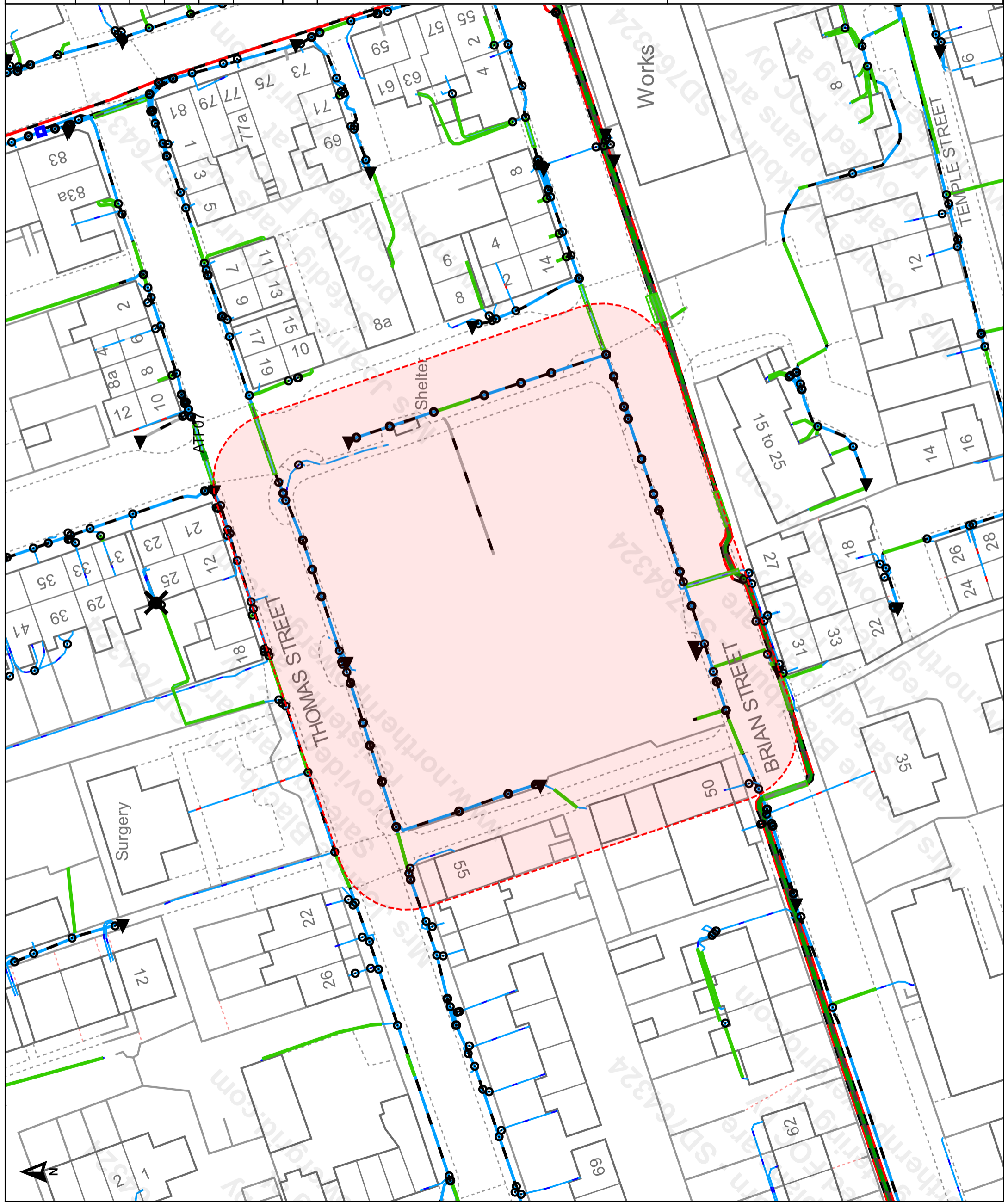
Terms and Conditions

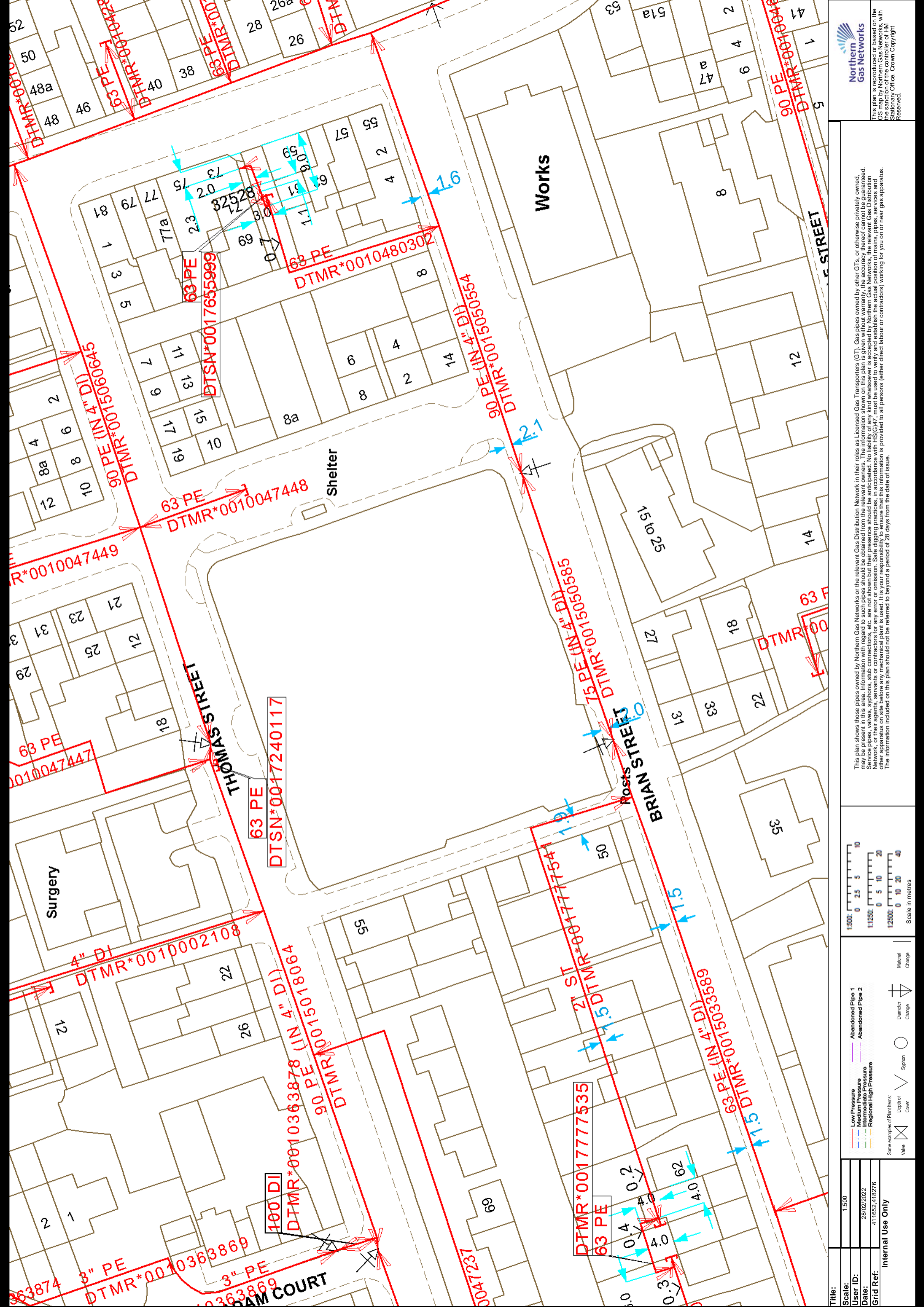
Electric cables and/or overhead line information shown on the record plans are to be used in accordance with the Health & Safety Executive's Booklet HS(G)47 "Avoiding Danger from Underground Services" and Guidance Note GS 6, "Avoidance of Danger from Overhead Electric Lines". Record plans do not always show out of commission cables or service cables from Northern Powergrid's mains to adjoining or cross road properties. Plans do not show local authority owned public lighting or sign cables. The information is provided as a service by Northern Powergrid and does not impart any legal obligation on their part. Persons using it are reminded of their responsibility to execute works safely to avoid damaging Northern Powergrid's apparatus.

Further advice or assistance is available from the Records Information Centre on 0191 2294296. In an emergency or outside normal working hours contact our customer information centre on 0800 668877. Cable depths shown were correct at the time cables were laid however alterations to ground levels or cable disposition may have taken place.

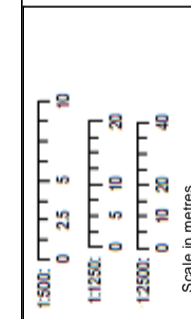
Legend:

	132kV		20kV
	66kV		11kV
	33kV		6kV
	25kV		3kV
	LV Mains		LV Mains
	LV Service Assumed Route		LV Service
	LV Service Logical Connection		Aux





This plan shows those pipes owned by Northern Gas Networks or the relevant Gas Distribution Network in their roles as Licensed Gas Transporters (GT), or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc. are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Northern Gas Networks, the relevant Gas Distribution Network or any other person or persons in connection with this plan. The information shown on this plan is given for information only and does not constitute an offer of any service. The information shown on this plan is given for information only and does not constitute an offer of any service. The information shown on this plan is given for information only and does not constitute an offer of any service. The information shown on this plan is given for information only and does not constitute an offer of any service.



Legend:

- Low Pressure (Red line)
- Medium Pressure (Blue line)
- Intermediate Pressure (Green line)
- Regional High Pressure (Yellow line)
- Abandoned Pipe 1 (Dashed red line)
- Abandoned Pipe 2 (Dashed blue line)

Some examples of Plant Items:

- Valve (Symbol)
- Depth of Cover (Symbol)
- Syphon (Symbol)
- Diameter Change (Symbol)
- Material Change (Symbol)

Title:	1:500
Scale:	1:500
User ID:	28/02/2022
Date:	411652.418276
Grid Ref:	
Internal Use Only	



Public Clean Water Network 04/03/2022 10:06:45 OS Grid Coordinates: 411602 : 418222 Map Name : SE1118SE svcGISSafeMovePD

Maps by email Plant Information Reply



IMPORTANT WARNING

Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works being made near to BT apparatus which may exist at various depths and may deviate from the marked route.



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FOR PROFESSIONAL FREE ON SITE ASSISTANCE PRIOR TO COMMENCEMENT OF EXCAVATION WORKS INCLUDING LOCATE AND MARKING SERVICE

email cbyd@openreach.co.uk

ADVANCE NOTICE REQUIRED
(Office hours: Monday - Friday 08.00 to 17.00)
www.openreach.co.uk/cbyd

Accidents happen

If you do damage any Openreach equipment please let us know by calling 0800 023 2023 (opt 1 + opt 1) and we can get it fixed ASAP

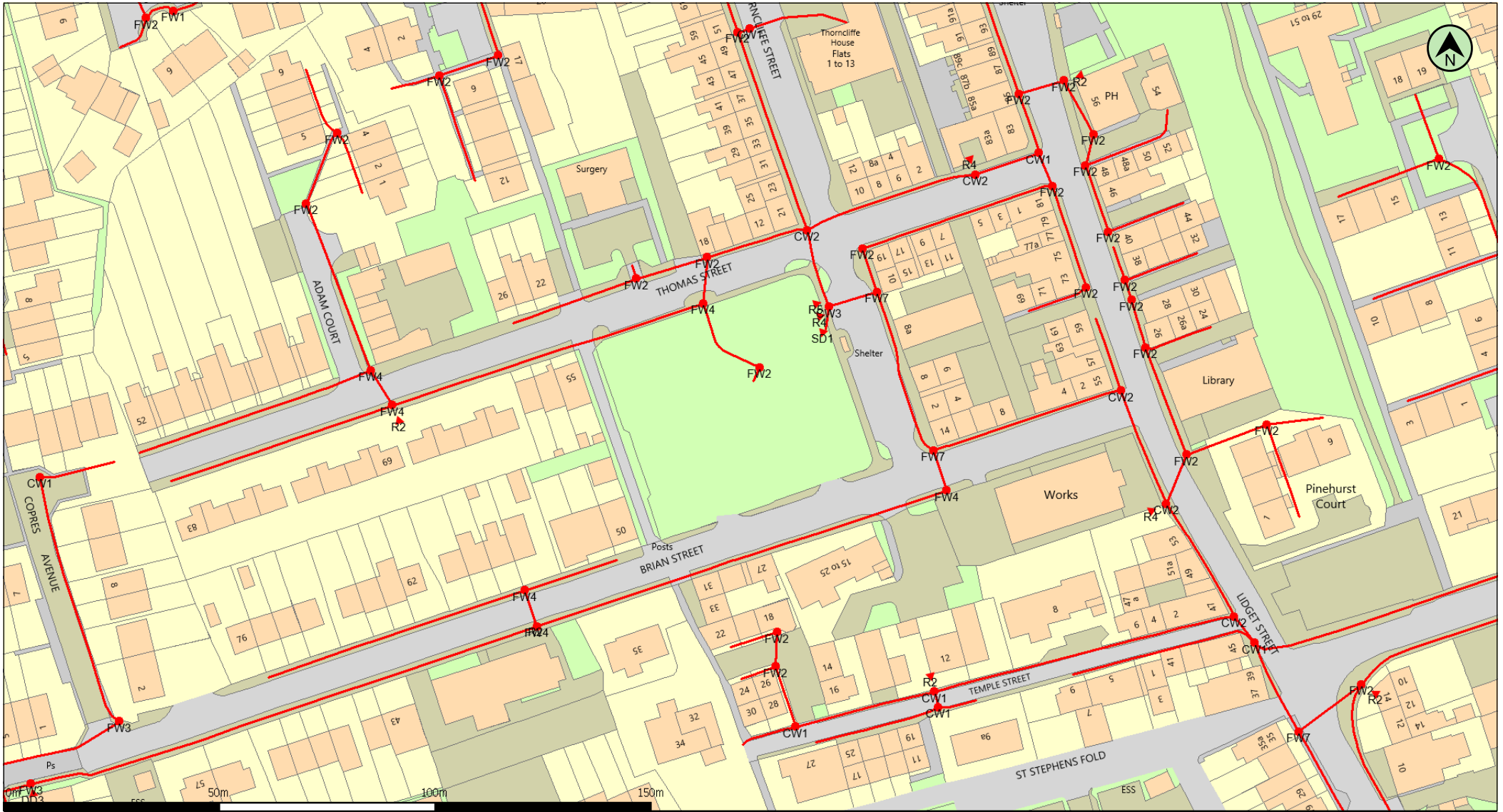
KEY TO BT SYMBOLS

	<i>Planned</i>	<i>Live</i>	Change Of State	+	Hatchings	
PCP			Split Coupling	×	Built	
Pole			Duct Tee	▲	Planned	
Box			Building		Inferred	
Manhole			Kiosk		Duct	
Cabinet			Other proposed plant is shown using dashed lines. BT Symbols not listed above may be disregarded. Existing BT Plant may not be recorded. Information valid at time of preparation. Maps are only valid for 90 days after the date of publication.			
	<i>Pending Add</i>	<i>In Place</i>	<i>Pending Remove</i>	<i>Not In Use</i>		
Power Cable						
Power Duct				N/A		

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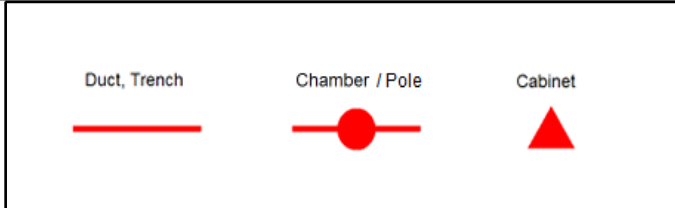
BT Ref : MDU12476M
Map Reference : (centre) SE1164918285
Easting/Northing : (centre) 411649,418285
Issued : 28/02/2022 12:47:16

WARNING: IF PLANNED WORKS FALL INSIDE HATCHED AREA IT IS ESSENTIAL BEFORE PROCEEDING THAT YOU CONTACT THE NATIONAL NOTICE HANDLING CENTRE. PLEASE SEND E-MAIL TO: nnhc@openreach.co.uk



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Important Information - please read The purpose of this plan is to identify Virgin Media apparatus. We have tried to make it as accurate as possible but we cannot warrant its accuracy. In addition, we caution that within Virgin Media apparatus there may be instances where mains voltage power cables have been placed inside green, rather than black ducting. Further details can be found using the "Affected Postcodes.pdf", which can be downloaded from this website. Therefore, you must not rely solely on this plan if you are carrying out any excavation or other works in the vicinity of Virgin Media apparatus. The actual position of any underground service must be verified by cable detection equipment, etc. and established on site before any mechanical plant is used. Accordingly, unless it is due to the negligence of Virgin Media, its employees or agents, Virgin Media will not have any liability for any omissions or inaccuracies in the plan or for any loss or damage caused or arising from the use of and/or any reliance on this plan. This plan is produced by Virgin Media Limited (c) Crown copyright and database rights 2022 Ordnance Survey 100019209.



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Land at 21



MÜLLER