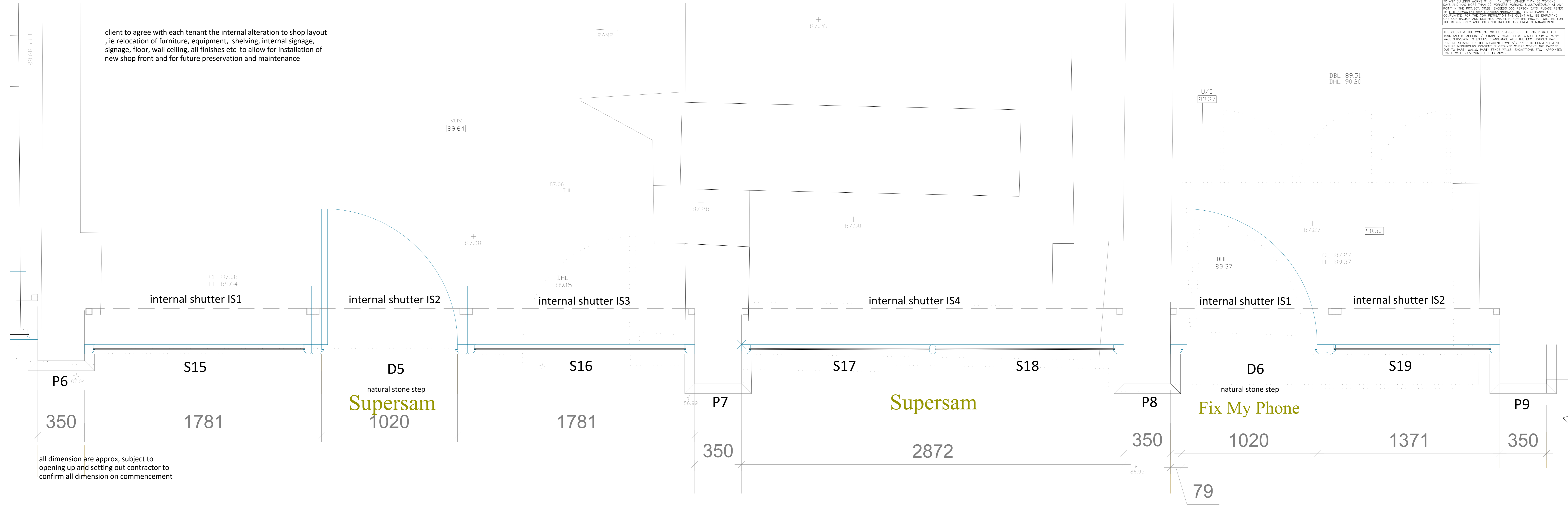


client to agree with each tenant the internal alteration to shop layout, ie relocation of furniture, equipment, shelving, internal signage, signage, floor, wall ceiling, all finishes etc to allow for installation of new shop front and for future preservation and maintenance

all dimension are approx, subject to opening up and setting out contractor to confirm all dimension on commencement



NO CONSTRUCTION WORK SHOULD COMMENCE UNTIL PLANNING PERMISSION, BUILDING REGULATION APPROVAL, TOWNSCAPE STATE OF CONSERVATION (WHERE APPLICABLE) APPROVALS HAVE BEEN OBTAINED IN WRITING. ALL PLANS (EVEN MARKED PRELIMINARY) DO NOT CONSTITUTE INSTRUCTION TO PROCEED WITH WORK. OWNER AND ANY PROVIDERS FOR DESIGN CONSULTATION. ALL WORK CARRIED OUT MUST FOLLOW THE PLANNING APPROVAL, DRAWINGS AND CONDITIONS ATTACHED AND THE BUILDING REGULATION APPROVED PLANS. STRUCTURAL ENGINEERS REPORT/CALCULATIONS AND ANY CONDITIONS ATTACHED. CLIENT TO ENSURE ALL NEIGHBOURHOOD CONSULTATION PROCEDURES APPROVED. COULD BE OBTAINED TO THE CONTRACTOR. CHECK THE SITE WORKS. ALL WORK TO BE INSPECTED BY THE APPROPRIATE LOCAL AUTHORITY INSPECTOR. ENSURE YOURSelves WITH INSPECTOR APPROVALS VISIT FOR ALL WORKS CARRIED OUT TO BE WORK PUBLIC WORKS OR WORK IN RESPECT TO THE DESIGNATED INTEREST. CLIENT TO ENSURE ALL NEIGHBOURHOOD WORKS ARE BUILT ON AND OVER OWN LAND. ENSURE FOUNDATION SPREAD AND EASES OVERWAY DO NOT PROJECT INTO PUBLIC HIGHWAY. IF IN DOUBT CONSULT NEIGHBOUR AND OTHER LEGAL ADVICE. ALL DETAILS SHOWN ON THE DRAWINGS ARE INDICATIVE ONLY TO NATURE OF WORKING WITH EXISTING BUILDINGS. SUBJECT TO SITE OPENING UP AND SETTING OUT. CONFIRM ALL LEVELS AND DIMENSIONS TO DATA ALL DIFFERENCE, UNUSUAL, OR DIFFERING DETAILS TO BE REPORTED TO DATA FOR FURTHER GUIDANCE. CON REGULATIONS - THE CLIENT & CONTRACTOR MUST ABIDE BY THE CONSTRUCTION DESIGN AND MANAGEMENT REGULATIONS 2015 WHICH RELATE TO ANY BUILDING WORKS WHICH DO LASTS LONGER THAN 30 WORKING DAYS AND HAS MORE THAN 20 WORKERS WORKING SIMULTANEOUSLY AT ANY POINT IN THE PROJECT (OR) EXCEEDS 500 PERSON DAYS. PLEASE REFER TO THE REGULATIONS FOR FURTHER INFORMATION. FOR CONTRACTING AND CONSTRUCTION FOR THE DESIGN CONSULTATION THE CLIENT WILL BE SUFFERING. THE CONTRACTOR AND DATA RESPONSIBILITY FOR THE PROJECT WILL BE FOR THE DESIGN ONLY AND DOES NOT INCLUDE ANY PROJECT MANAGEMENT. THE CLIENT & THE CONTRACTOR IS REMOVED OF THE PARTY SHALL ACT WITH AND TO APPROVE / OBTAIN SEPARATE LEGAL ADVICE FROM A PARTY SHALL OBTAIN TO ENSURE COMPLIANCE WITH THE LAW. NOTICES MAY REQUIRE SIGNING ON THE ALPHABET SIGNATURES PRIOR TO COMMENCEMENT. FOR TO HAPPY WALLS, PARTY FENCE WALLS, EXCAVATIONS ETC. APPOINTED PARTY WALL SURVEYOR TO FULLY ADVISE.

PRELIMINARY

DO NOT USE THIS DRAWING FOR CONSTRUCTION OR TENDER, DETAILED BUILDING REGULATION DRAWINGS AND STRUCTURAL DESIGN CALCULATIONS TO FOLLOW, USING APPROVED BUILDING INSPECTORS.



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PROJECT: REINSTATEMENT, REFURBISHMENT AND REPAIR OF 6NO SHOPS	
ADDRESS: 17 - 33A JOHN WILLIAM STREET, HUDDERSFIELD HD1 1BR	
DRG: JOINERY DETAILS - SHOPFRONT PLANS	
STATUS: PLANNING APPLICATION subject to approval	
DATE: 22.09.2022 SCALE: 1:10 SIZE: A0	DRAWN: AHD CHECKED: ANK DRG NO.: 22-2714-09
INDICATIVE PLAN FOR DESIGN CONSIDERATION PURPOSES ONLY. SUBJECT TO APPROVALS, DETAILED DESIGN AND STRUCTURAL CALCULATIONS. DO NOT USE FOR CONSTRUCTION	
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