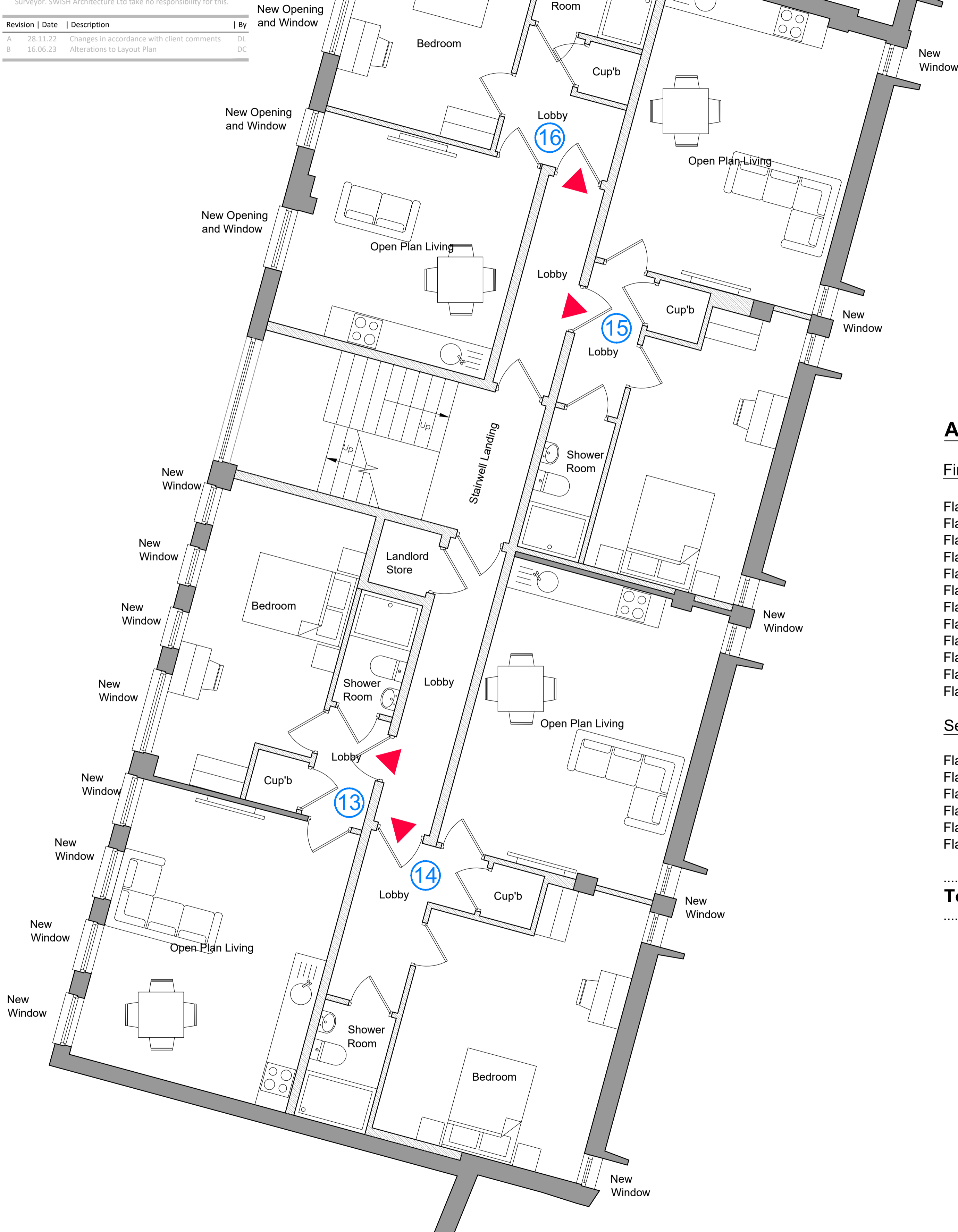


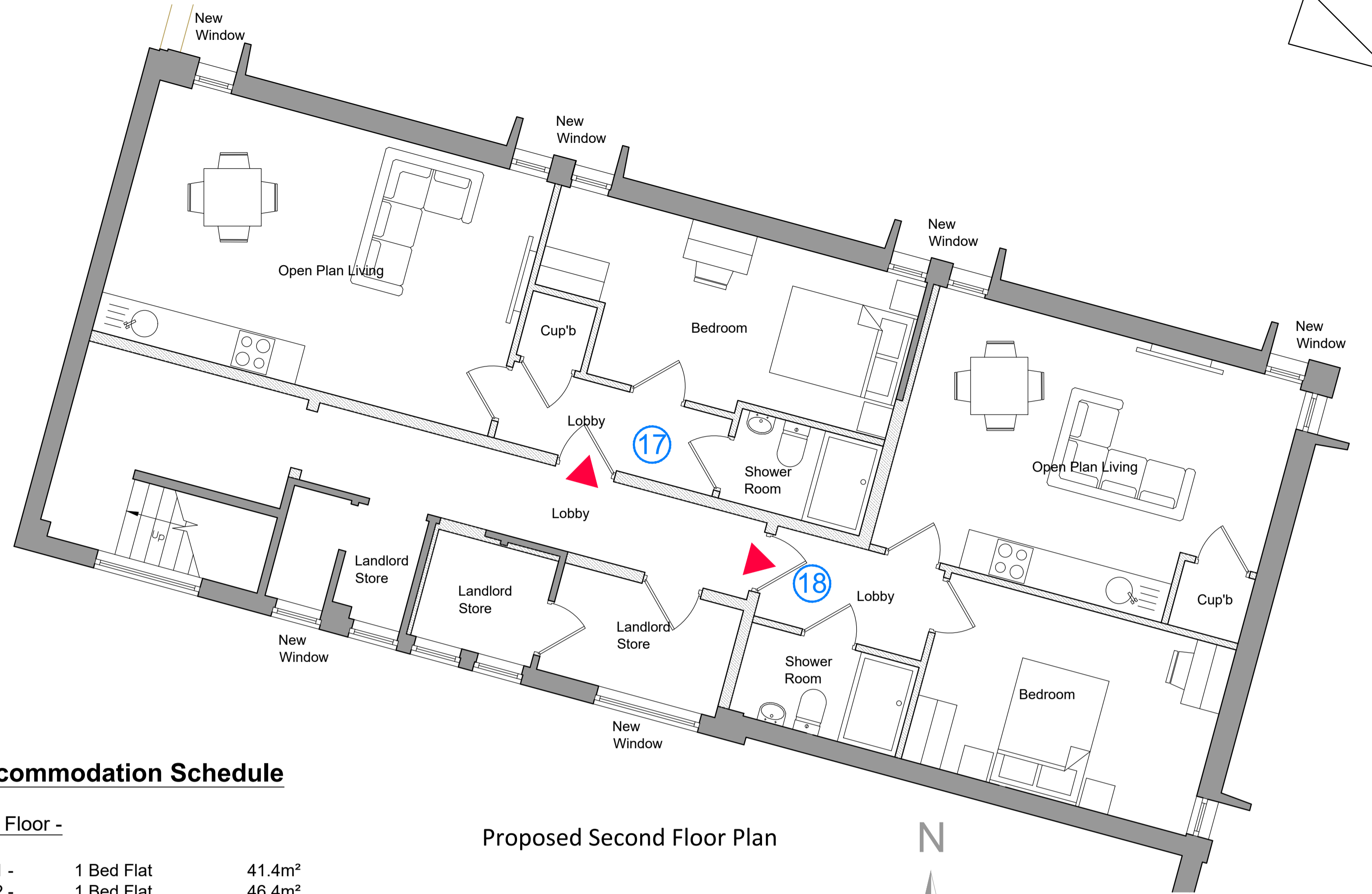
**Important Notes**

1. Prior to the commencement of work, the contractor and client are to check on-site all exterior dimensions, boundary positions and details to verify and agree upon. Any errors, omissions or design changes should be reported immediately to enable amended plans to be prepared and submitted for approval.
2. The contractor will be responsible for locating all hidden services that may be affected by the proposal and stopping off or diverting as necessary. Drainage runs shown are assumed and must be checked on site before work commences.
3. The requirements of the "Party Wall Act 1996" will apply to certain schemes. The "Building Owners" will in writing inform and agree with the "Adjoining owner(s)" if the proposed work affects the Party Wall or is within 3 meters of the foundations of the nearby building. If an agreement cannot be made then professional advice should be sought prior to commencement of work on site, by a Party Wall Surveyor. SWISH Architecture Ltd take no responsibility for this.

Revision	Date	Description	By
A	28.11.22	Changes in accordance with client comments	DL
B	16.06.23	Alterations to Layout Plan	DC



Proposed Second Floor Plan



Proposed Second Floor Plan

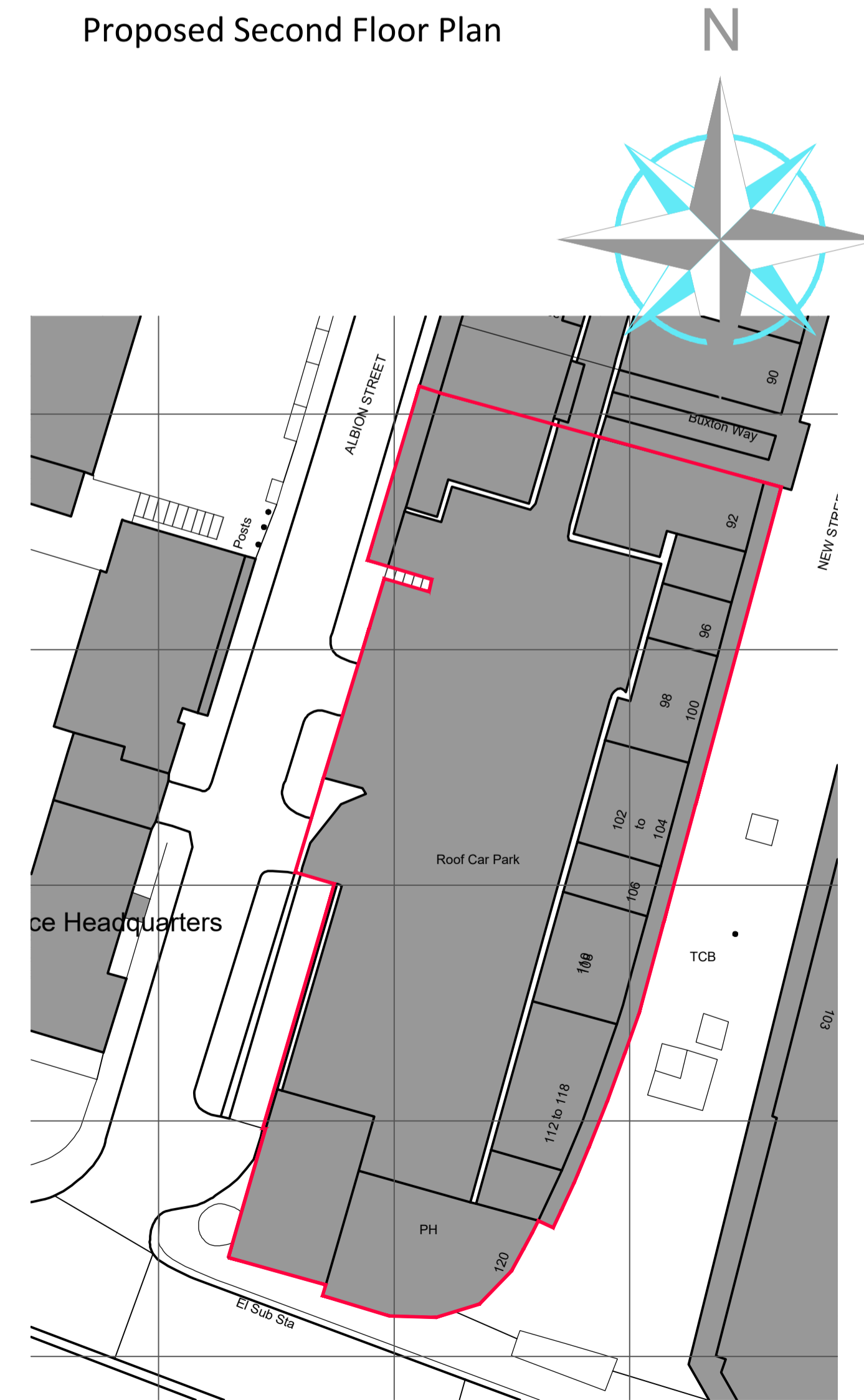
**Accommodation Schedule**

<b>First Floor -</b>		
Flat 1 -	1 Bed Flat	41.4m <sup>2</sup>
Flat 2 -	1 Bed Flat	46.4m <sup>2</sup>
Flat 3 -	1 Bed Flat	37.2m <sup>2</sup>
Flat 4 -	1 Bed Flat	40.6m <sup>2</sup>
Flat 5 -	1 Bed Flat	39.6m <sup>2</sup>
Flat 6 -	1 Bed Flat	37.0m <sup>2</sup>
Flat 7 -	1 Bed Flat	44.4m <sup>2</sup>
Flat 8 -	1 Bed Flat	40.0m <sup>2</sup>
Flat 9 -	Studio Flat	39.9m <sup>2</sup>
Flat 10 -	1 Bed Flat	41.1m <sup>2</sup>
Flat 11 -	Studio Flat	39.0m <sup>2</sup>
Flat 12 -	Studio Flat	44.2m <sup>2</sup>
<b>Second Floor -</b>		
Flat 13 -	1 Bed Flat	46.8m <sup>2</sup>
Flat 14 -	1 Bed Flat	55.2m <sup>2</sup>
Flat 15 -	1 Bed Flat	47.8m <sup>2</sup>
Flat 16 -	1 Bed Flat	41.0m <sup>2</sup>
Flat 17 -	1 Bed Flat	47.5m <sup>2</sup>
Flat 18 -	1 Bed Flat	44.5m <sup>2</sup>

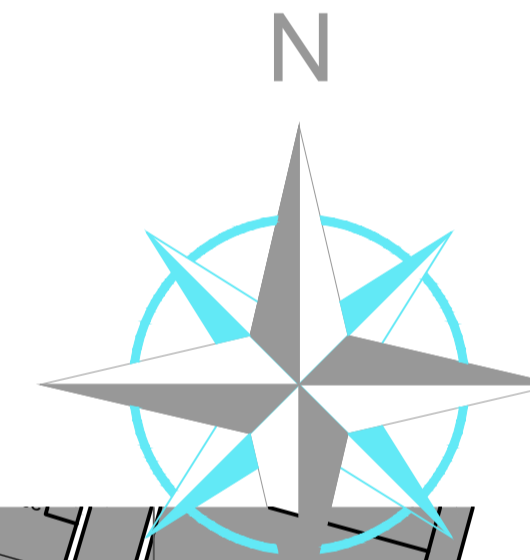
**Total: 18 Flats**



Proposed Site Location Plan 1:1250



Proposed Site Block Plan 1:500



Notes



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Client	ALB KIRKLEES LTD.
Status	Planning Permission
Project	NEW STREET & ALBION STREET, HUDDERSFIELD, HD1 2TR.
Drawing	PROPOSED SECOND FLOOR PLANS.
Scale	1:50.
Sheet Size	A1
Drawn By	DL
Date	Nov-22
Project No.	22-60 05
Drawing No.	B
Revision	

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