



HERITAGE IMPACT ASSESSMENT

Clough House, Birstall

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On behalf of:

Ms Rosie Carr and Mr Bruce Williams

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1.0 Introduction

- 1.1 This Heritage Impact Assessment has been prepared on behalf of Ms Rosie Carr and Mr Bruce Williams in support of a full planning and listed building consent application for the conversion of a house and barn into 6 no. flats, and the erection of 17 no. terraced and semi-detached houses at Clough House, 236 Leeds Road, Birstall, Batley, WF17 0HW (**Plate 1**).
- 1.2 Clough House and Clough Barn are Grade II Listed buildings, listed as 'Clough House, including associated barn and garden wall' (List Entry No. 1473101). As such, they are protected by law and by national and local planning policy.
- 1.3 Paragraph 194 of the National Planning Policy Framework ('NPPF') requires applicants to describe the significance of any heritage assets affected by a development proposal with a view to understanding the potential impact upon their significance. This Heritage Impact Assessment aims to satisfy the requirements of NPPF Paragraph 194.

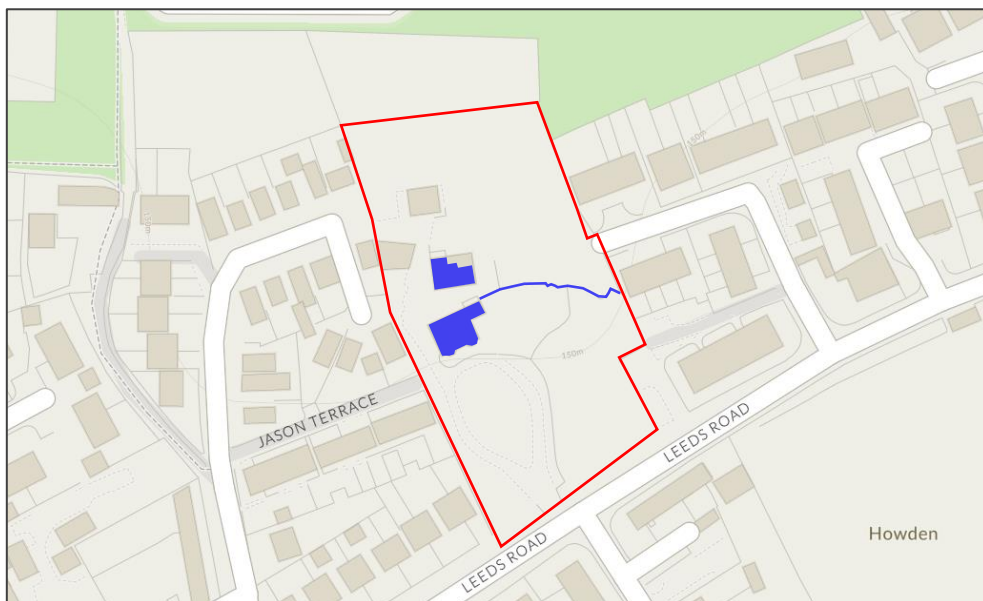


Plate 1 – Modern OS map showing application site (red) and identified listed buildings (blue).

2.0 Planning Policy Context

- 2.1 Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 establishes that “in considering whether to grant permission which affects a listed building or its setting, the local planning authority, or as the case may be, the Secretary of State, shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”

Relevant National Planning Policy and Guidance

- 2.2 The NPPF was revised in July 2021 and sets out the Government’s planning policies for England and how these should be applied. It establishes that the purpose of the planning system is to contribute to the achievement of sustainable development by pursuing three interdependent objectives, which are economic, social and environmental. It is considered that the historic environment poses implications and opportunities for the achievement of sustainable development in relation to all three objectives.
- 2.3 Section 16 of the NPPF relates specifically to ‘conserving and enhancing the historic environment.’ Paragraph 189 establishes that heritage assets are “an irreplaceable resource, and should be conserved in a manner appropriate to their significance, so they can be enjoyed for their contribution to the quality of life of existing and future generations.”
- 2.4 NPPF Paragraph 194 requires applicants to describe the significance of any heritage assets affected by a proposed development, including any contribution made by their setting. It clarifies that the level of detail should be “proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.”
- 2.5 The NPPF defines heritage ‘significance’ as “the value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.”
- 2.6 The ‘setting of a heritage asset’ is defined in the NPPF as “the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.”
- 2.7 The NPPF does not have a definition for archaeological, architectural, artistic or historic interest with respect to heritage significance. However, Paragraph 16 of the Principles for Selection of Listed Buildings (DDCMS 2018) provides the following definitions:

Architectural interest – “to be of special architectural interest a building must be of importance in its design, decoration or craftsmanship. Special interest may also apply to particularly significant examples of building types or techniques... and significant plan forms. For more recent buildings in particular, the functioning of the building... will also be a consideration. Artistic distinction can also be a factor relevant to the architectural interest of buildings and objects and structures fixed to them.”

Historic interest – “to be able to justify special historic interest a building must illustrate important aspects of the nation’s history and/or have closely substantiated historical associations with nationally important individuals, groups or events; and the building itself in its current form will afford a strong connection with the valued aspect of history.”

- 2.8 Historic England's Conservation Principles, Policies and Guidance (2008) also offers useful definitions which underpin a value-orientated approach to assessing heritage significance. In this document, heritage values fall into four categories, which are broadly comparable to those expressed in the NPPF:

Evidential value – the potential of a place to yield evidence about past human activity.

Historical value – The ways in which past people, events and aspects of life can be connected through a place to the present. This can be illustrative or associative.

Aesthetic value – The ways in which people draw sensory and intellectual stimulation from a place.

Communal value – The meaning of a place for the people who relate to it or for whom it figures in their collective experience or memory.

- 2.9 Paragraph 197 of the NPPF states “in determining applications, local planning authorities should take account of:

- a) The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- c) The desirability of new development making a positive contribution to local character and distinctiveness.”

- 2.10 NPPF Paragraph 199 relates to development proposals affecting designated heritage assets such as listed buildings. It states “when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.”

- 2.11 NPPF Paragraph 200 states “any harm to, or loss of, significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.”

- 2.12 NPPF Paragraph 201 establishes that “where a development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a) The nature of the heritage asset prevents all reasonable uses of the site; and
- b) No viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- c) Conservation by grant funding or some form of not-for-profit, charitable or public ownership is demonstrably not possible; and
- d) The harm or loss is outweighed by the benefits of bringing the site back into use.”

- 2.13 NPPF Paragraph 202 states “where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”

- 2.14 The most recently revised Planning Practice Guidance provides a useful definition of ‘public benefits’. It states “public benefits may follow from many developments and could be anything that delivers economic, social or environmental progress as described in the National Planning Policy Framework. Public benefits should flow from the proposed

development. They should be of a nature or scale to be of benefit to the public at large and should not just be a private benefit. However, benefits do not always have to be visible or accessible to the public in order to be genuine public benefits.”

- 2.15 Historic England advises in Historic Environment Good Practice Advice in Planning 3 (Second Edition) The Setting of Heritage Assets (2017) that where a development may affect the setting of a heritage asset, a staged approach to proportionate decision-taking should be adopted, in the form of the following five steps:

Step 1 – Identify which heritage assets and their settings are affected.

Step 2 – Assess the degree to which these settings make a contribution to the significance of the heritage asset(s) or allow significance to be appreciated.

Step 3 – Assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it.

Step 4 – Explore ways to maximise enhancement and avoid or minimise harm.

Step 5 – Make and document the decision and monitor outcomes.

- 2.16 This staged approach closely informs the layout and methodology of this assessment, with Steps 1 and 2 being covered in Section 3, and Steps 3 and 4 being addressed in Section 5. Step 5 is beyond the scope of this report and will be the responsibility of the applicant and local planning authority upon the implementation of the development.

Statutory Development Plan

- 2.17 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the development plan unless material considerations indicate otherwise.
- 2.18 The development plan for Kirklees District consists of the Kirklees Local Plan, which was formally adopted on 27th February 2019.
- 2.19 Local Plan Policy LP 24 is concerned with design. It underlines how “good design should be at the core of all proposals in the district and should be considered at the outset of the development process”. Proposals should ensure, among other things, that “the form, scale, layout and details of all development respects and enhances the character of the townscape, heritage assets and landscape”.
- 2.20 Policy LP 35 relates specifically to the historic environment. Part (1) states “development proposals affecting a designated heritage asset... should preserve or enhance the significance of the asset.”
- 2.21 Part (3) states “proposals should retain those elements of the historic environment which contribute to the distinct identity of the Kirklees area and ensure they are appropriately conserved, to the extent warranted by their significance, also having regard to the wider benefits of development. Consideration should be given to the need to:
- a) Ensure that proposals maintain and reinforce local distinctiveness and conserve the significance of designated and non-designated heritage assets;
 - b) Ensure that proposals within Conservation Areas conserve those elements which contribute to their significance;
 - c) Secure a sustainable future for heritage assets at risk and those associated with the local textile industry, historic farm buildings, places of worship and civic and institutional buildings constructed on the back of the wealth created by the textile industry as expressions of local civic pride and identity;
 - d) Identify opportunities, including the use of new technologies, to mitigate, and adapt to, the effects of climate change in ways that do not harm the significance of heritage

assets and, where conflict is unavoidable, to balance the public benefit of climate change mitigation measures with the harm caused to the heritage assets' significance;

- e) Accommodate innovative design where this does not prejudice the significance of heritage assets;
- f) Preserve the setting of Castle Hill where appropriate and proposals which detrimentally impact on the setting of Castle Hill will not be permitted."

3.0 Assessment of Significance

- 3.1 This section provides an overview of the historical development of the application site before describing the significance of the identified heritage assets, including any contribution made by their setting, with a view to understanding the potential impact of the development proposal on their significance.

Historical Context

- 3.2 The site is located in the historic settlement of Howden Clough, which is now largely incorporated into the wider residential environment of Birstall, Kirklees. It is bound to the south by Leeds Road, which was once the principal road between Birstall and Leeds, passing through Morley and Beeston, prior to the creation of the nearby M62 and M621 (Plate 2).



Plate 2 – Extract from 1854 OS County Series Map of Yorkshire, 6 inches to the mile.

- 3.3 The site is broadly rectangular in form, stretching lengthways from southeast to northwest with the land rising gradually with distance from Leeds Road. The principal listed building is Clough House, a two storey dwelling which is believed to have been built in 1799 and is reflected in maps from the 1840s onwards. The house was constructed for the locally prominent Gott family who owned a large amount of land including much of Howden Clough, and the house is known to have been in their ownership at least until the late-19th century.
- 3.4 The house is constructed of coursed millstone grit with ashlar dressings beneath an artificial stone slate roof. The principal elevation is fronted in ashlar masonry with prominent quoins, facing southeast towards Leeds Road. It consists of a central classical doorway flanked by two-storey canted bay windows topped by a parapet with blind panels and a neat cornice, presenting a symmetrical and polite facade toward the road (Plate 3). The house is approached by an oval-shaped drive set around a central lawn, a configuration which is reflected in the 1854 OS Map and may well be an original landscape feature (Plate 4).
- 3.5 The left and right return and rear elevations of Clough House are not faced in ashlar and the exposed millstone grit is more reflective of the local vernacular, although there are some notable architectural features including quoins, a bracketed eaves and tall stair window with ashlar dressings. Projecting from the east wall of the house is a C21 conservatory and adjoining single storey outbuilding which is of traditional construction

but much altered. The fabric of this outbuilding contains two possible beebole openings, one of which now contains a window and the other is repositioned.

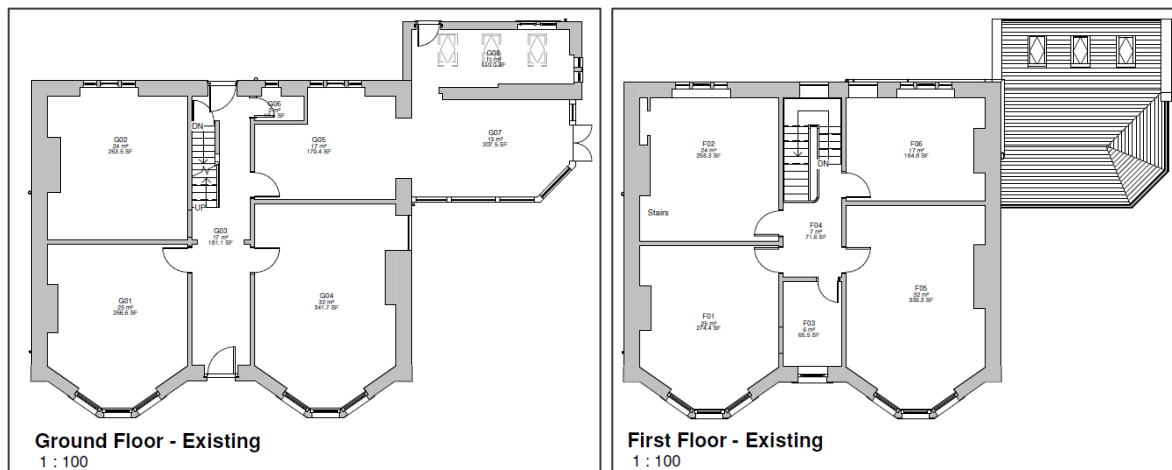


Left **Plate 3** – View of Clough House principal elevation and conservatory from within site to southeast.



Right **Plate 4** – View of Clough House from gated main entrance to site from southeast.

- 3.6 Internally, Clough House has an axial hallway plan comprising a central hallway or landing on both floors, with two rooms accessed from it to the left and right hand sides (**Plates 5 and 6**). The hall has a panelled dado, moulded cornice and a moulded arch in front of the stairs. The front left room has a moulded cornice and frieze with festoons, and a servant's bell push next to the fireplace. The front right room also has a classical frieze and cornice with elements of classical ceiling decoration surviving. There is also a C20 brick fireplace and a moulded arched opening through to the rear room which is blocked from the other side.



Left **Plate 5** – Ground floor plan, as existing.

Right **Plate 6** – First floor plan, as existing.

- 3.7 The rear left room has no discernible historic features. It has a chimney breast with alcoves either side on the south-west wall. The rear right room has been knocked through to the C21 conservatory. Underneath the staircase is a shorter flight down to the basement which is formed of barrel vaults and contains stone slab tables, stone shelves and ceiling hooks.
- 3.8 The main stairs are stone with a balustrade formed by alternating stick and wavy iron balusters topped by a mahogany handrail. The hallway dado continues up with the stairs

to the landing which also has a moulded cornice. The half-landing contains a tall stair window with a moulded segmental-arched head and timber glazing bars.

- 3.9 The first floor rooms have some corncicing and retain their chimney breasts, but few other historic features. The dressing room to the front centre of the house has a historic door, architrave, skirting boards and a timber two-pane sash window (glass broken) with its architrave but missing the window apron. The rear left room contains a timber winder stair accessing the attic which reveals the queen post roof structure, front dormer windows and small windows in the side elevations set under the arched junction of the chimney flues.
- 3.10 To the north of the main house and separated by a small courtyard area is a detached two storey barn built in the same coursed millstone grit as the house (**Plate 7**). There is a large central segmental-arched cart opening in the south elevation with a quoined surround and original pitching-eyes to first floor level which would have originally served a hay loft. Most of the remaining windows appear to be C20 insertions, while the fenestration to the rear (north) is partly concealed by two single storey C20 lean-to extensions in red and buff brick (**Plate 8**).



Left **Plate 7** – View of south elevation of barn to rear of Clough House from within site to south.

Right **Plate 8** – View of east and north elevation of barn to rear of Clough House from within site to east.

- 3.11 Internally, the barn has been altered by its conversion to offices in the mid-C20, involving the insertion of a floor within the formerly open central section and the replacement of floor joists of the former hay loft. The walls have also been finished with modern materials and concrete block partitions inserted. The building is open to the roof trusses which are a mix of modern and historic, with some king post trusses visible.
- 3.12 Also accessed from the courtyard are two detached C20 outbuildings of no historic interest, one of which is two storeys and clad in white corrugated sheet metal, and the other is single storey and formed mostly of red brick with some areas of cladding and cement render (**Plates 9 and 10**). The buildings are of limited architectural interest and, when taken alongside the brick extensions to the barn, make a negative contribution to the setting of the listed buildings.
- 3.13 The arched garden wall to the east of the main house is included as part of the listing along with the former barn. The wall is constructed of red brick on the south face and coursed millstone grit on the north face, which is also detailed with ashlar copings and low buttresses (**Plates 11 and 12**). Roughly at the centre of the wall is a red brick bothy or garden shelter with a curved rear wall, flagged floor and an open archway formed of prominent ashlar millstone grit. Towards the west end, close to the house, is a doorway which originally led into another small outbuilding that is reflected in historic OS maps to 1933.



Left **Plate 9** – View of two storey C20 outbuilding to west of barn from within site to southeast.



Right **Plate 10** – View of single storey C20 outbuilding to north of barn from within site to east.



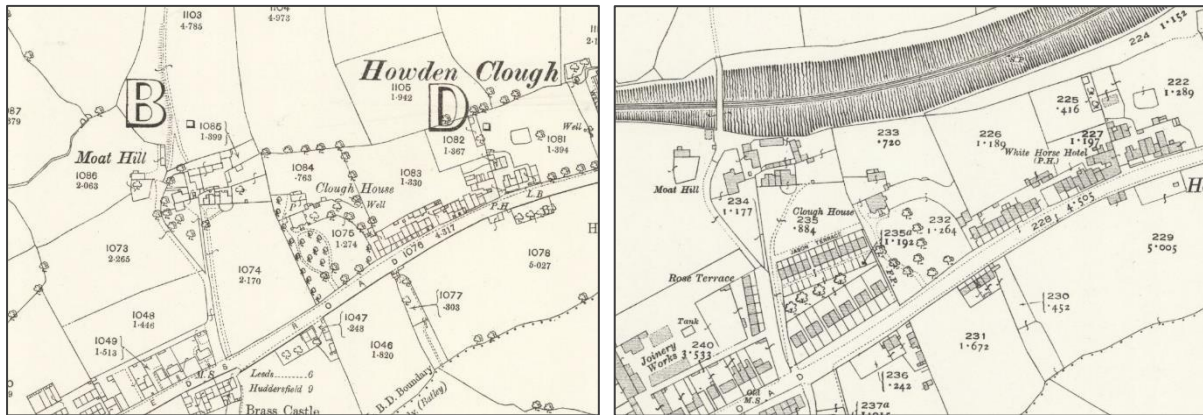
Left **Plate 11** – View of north face of garden wall from within site to northwest.



Right **Plate 12** – View of south face of garden wall, including opening to bothy, from south.

- 3.14 The remaining area of the site consists of garden land that appears to have remained open and undeveloped since Clough House was built in c. 1799. Various OS Maps between 1854 and 1955 indicate that the grounds were historically planted with trees to the south of the garden wall, notably along the southern and western boundaries and dotted within the area to the south of the house. Most of the remaining trees appear to have been removed in the last five years and the site is now more visually permeable as a result. The garden wall appears to have historically formed a boundary between a garden to its south and an open field to the north, probably with an agricultural use.
- 3.15 The remaining area of the site consists of garden land that appears to have remained open and undeveloped since Clough House was built in c. 1799. Various OS Maps between 1854 and 1955 indicate that the grounds were historically planted with trees to the south of the garden wall, notably along the southern and western boundaries and dotted within the area to the south of the house. Most of the remaining trees appear to have been removed in the last five years and the site is now more visually permeable as a result. The garden wall appears to have historically formed a boundary between a garden to its south and an open field to the north, probably with an agricultural use.
- 3.16 As the 1854 OS Map shows, the wider setting of the listed buildings and grounds originally consisted of agricultural land punctuated by a relatively small number of dwellings and farm buildings. Over time, new dwellings were created within the setting of the buildings in tandem with the growth of the settlement as a whole, notably to the

west along Jason Terrace and Leeds Road. The Heaton Lodge and Wortley Railway line was also established to the north of the site in c. 1900, later being closed and dismantled in the second half of the 20th century (**Plates 13 and 14**). Today, the listed buildings are experienced as part of a continuous residential environment of suburban character and scale, with cul de sacs and terraced rows having supplanted many of the former agricultural fields that once surrounded the site. The land to the north of the site is predominantly in commercial use and contains a network of large warehouses, outdoor storage and lorry loading areas (**Plate 15**).



Left **Plate 12** – Extract from 1894 OS County Series Map of Yorkshire, 25 inches to the mile.

Right **Plate 13** – Extract from 1933 OS County Series Map of Yorkshire, 25 inches to the mile.



Plate 12 – Modern aerial view of the site and surrounding area.

- 3.17 It is therefore clear that the wider setting of the listed buildings has transformed, particularly over the last half decade, such that it makes only a very limited contribution to their significance. The immediate setting of the listed buildings, on the other hand, has remained relatively consistent in character and configuration, except for the addition of some unsympathetic C20 outbuildings. The interrelationship between the house, barn, garden wall and the garden land is therefore considered to be a positive feature of the site, which enhances the significance of the buildings and our ability to understand their historic configuration.
- 3.18 The survival of the oval-shaped drive to the south of the main house is also part of this original configuration, with a clear 'key view' being available from the gated entrance to Leeds Road up towards the principal elevation.

Significance of the Listed Buildings

- 3.19 Clough House is an example of a high-quality Georgian house, which exhibits an interesting mix of polite and vernacular styles. The front elevation of the house has a high-quality architectural treatment of coursed ashlar, prominent quoins and neat decoration in the form of a cornice and parapet with blind panels. The central doorway flanked by two-storey canted bay windows exhibits the symmetry and proportion which was the dominant architectural fashion of the period, giving it a high degree of architectural interest.
- 3.20 Further significance can be identified in the vernacular style of the house to the rear, which contains mullioned window openings rather than the proportioned sash windows at the front. Internally, the surviving decorative features show a conscious and high-quality architectural treatment to the interiors, suggesting high status of the occupiers. The stone shelves and hooks in the basement hold historical value, conveying the former use of the space for storage and food preparation.
- 3.21 The C21 conservatory attached to the outbuilding is of neutral significance as it has no defining aesthetic value. The outbuilding itself has limited significance due to the high degree of alteration, although the possible beebole openings hold some evidential value and reflect the private keeping of bees to provide honey and wax for the occupants of the house.
- 3.22 The Barn has special architectural interest owing to its high-quality materiality and architectural treatment with similar features to Clough House. The quoined cart arch opening reflects the treatment of the house's facade, and the lunette window with its keystone faces the same style opening of the stair window on the house. The pitching-eyes have their own aesthetic merit, and convey evidential value for the former hayloft at the top of the barn.
- 3.23 The garden wall also has architectural interest in its unusual layout and incorporated garden shelter which has a quoined arch of millstone grit and a stone flagged floor. As a group, the buildings hold both aesthetic and historical value, sharing common materials and forming a group which conveys the former use of the site.
- 3.24 The materiality of the listed buildings is also of architectural interest, being of the local millstone grit, reflecting the vernacular style of the area.

Contribution of Setting

- 3.25 As set out above, the wider setting of the listed buildings has been transformed by development, particularly over the course of the last half decade. This has impacted our ability to appreciate the buildings in their wider context and has slightly diminished their significance. The fact that Clough House was not listed until 2021 in part speaks to this diminishment, although it is clear that some positive aspects of setting do still remain.
- 3.26 The plot in which Clough House was built retains its original form and boundary. It also retains a generally open character about the listed buildings, which is impacted only in part by the siting of the unsympathetic C20 outbuildings to the north. The physical interrelationship between the house, barn, garden wall and surrounding garden land allows us to understand the historic configuration of the site and to better appreciate its past use.
- 3.27 The north-facing view from the main gate towards the principal elevation of the house, overlooking the formal oval-shaped drive and lawn, is likely a designed view intended for anyone passing or entering the site. The view emphasises the prominence of the house in the streetscene and, by extension, the importance of the family living there. This is reinforced by the external architectural treatment of the building, which is more polite and ordered in the southern elevation. The view towards the house from the gated entrance is therefore considered to be a key view and a positive aspect of setting.

4.0 Proposed Development

4.1 The proposals are for the refurbishment and conversion of Clough House and Clough Barn to flats, alongside the erection of 17 new dwellings within the grounds (**Plate 13**). Full details of the proposed scheme are contained within the Design & Access Statement submitted in support of the application.

4.2 The proposals involve the adaptive reuse of Clough House to create 4 no. flats across the ground, first and attic floors. Externally, the existing windows are proposed to be replaced with slimline double-glazed timber sash windows to the principal front elevation, with slimline double-glazed timber casements to the rear and conservation rooflights added to the rear (north-west) roof pitch. A non-original window opening to the first floor of the rear elevation is to be blocked and infilled with matching stone.

4.3 The early C21 conservatory is proposed to be demolished, along with the altered outbuilding. Internally, two flats will be created on the ground floor either side of the central hallway with a small number of new partitions inserted and the use of existing openings to access each flat. On the first floor, two flats will be created, with one extending up into the attic to create the living, dining and kitchen space. Throughout, historic features such as the panelled dado, cornices, architraves etc. will be replaced where missing or damaged to match existing profiles, and where openings are not needed, existing doors will be fixed shut.

4.4 Clough Barn would be converted to create 2 no. flats, both over two floors, with the demolition of the mid C20 extensions to the north. A new opening will be created in the north elevation to serve as an entrance to one of the flats and all window openings will be fitted with slimline double-glazed timber windows.

4.5 The two mid-C20 outbuildings are to be demolished, enabling the building of 11 no. terraced and semi-detached dwellings to the north and north-east of Clough House and Barn, with a further 6 no. semi-detached dwellings to the south-east. The dwellings are specified to be of reconstituted stone, utilising a passive solar design, high levels of insulation and high performance windows and doors to ensure energy efficiency. The dwellings would range between 2 and 2.5 storeys in height and would have dual pitched roofs.



Plate 13 – Proposed site layout plan.

5.0 Impact Assessment

- 5.1 This section seeks to explore the potential impacts of the proposed development on the significance of Clough House and the associated Clough Barn and garden wall, as designated heritage assets.

Impact on Clough House

- 5.2 The proposed scheme involves changes to the physical fabric of Clough House and within the curtilage of the building, creating potential for direct impacts on its significance. These impacts are not necessarily always harmful, and in some cases are able to enhance and better reveal their significance.
- 5.3 The proposed external alterations involve the reinstatement of windows within the original openings using slimline double-glazed timber units, and the blocking of a non-original window opening on the rear elevation. These interventions will have a positive effect on the building's significance by reinstating windows which are presently missing or damaged beyond repair. The conservation rooflights to be installed on the rear (north-east) pitch of the roof will enable use of the attic storey, while leaving the front 'polite' elevation unaltered.
- 5.4 The demolition of the C21 conservatory and adjoining outbuilding have varying degrees of impact on the significance of the building. The conservatory is of no heritage value and is in a derelict state, such that its removal would enhance the significance of the principal listed building.
- 5.5 The adjoining outbuilding, while of traditional construction, has been much altered and partially rebuilt such that it has lost some of its significance. The loss of the possible beebole openings on the outbuilding would remove some evidence of the domestic keeping of bees, however, as noted in the list description, the south-west wall has been repositioned altering the original context of this feature and diminishing its significance. It is proposed to replace the outbuilding and conservatory with a bin store for the flats on a similar footprint, justified by the benefit of bringing Clough House and the barn into a viable use.
- 5.6 The proposed internal development to create 4 no. flats will overall enhance the significance of the building. At present, the interior is in a highly degraded state and the proposals will conserve and reinstate historic features such as dados, skirtings and cornices to match the profiles of existing features which survive in an otherwise incomplete or poor state of repair.
- 5.7 The retention of the existing staircase in the design allows for access to the upper floors without needing to install an external stair. This enables the original central doorway and axial corridor to be retained so as to keep the original plan form and its deliberate symmetry, which will sustain the significance of the building. Additionally, the treatment of doors and door openings will also sustain the significance of the building by using existing doorways as the entrances to each flat and fixing shut those which are not needed, therefore offering reversibility and an impression of the original centrifugal plan form.

Impact on Clough Barn

- 5.8 Externally, the proposals for Clough Barn involve the insertion of slimline double-glazed timber windows into existing openings. The infilling of the pitching-eyes on the first floor causes a slight degree of harm owing to the fact their original use was as open access to a hay loft. However, the insertion of the windows is justified by the need to provide natural light and ventilation to bedrooms and en-suites. Their unique shape and location

on the building mean that even with windows the openings are identifiable as pitching-eyes and therefore the original use of the building would still be legible. Similarly, the insertion of feature glazing and doorway in the former cart entrance on the south elevation will cause a low degree of harm but it is a clearly modern, sympathetic intervention which retains the form of the original opening.

- 5.9 The insertion of windows into the ground floor window openings and the first floor openings on the north elevation has no impact on the significance of the building as these are pre-existing mid-C20 openings created for office use.
- 5.10 The demolition of the detracting mid-C20 extensions abutting the north elevation will enhance the significance of the barn by revealing parts of the original structure and allowing its intended form to be appreciated. Removing these extensions also allows for the insertion of a new doorway in the north elevation with a timber door and glazed side panels, providing natural light and access.
- 5.11 Internally, the creation of the two apartments is justified by bringing the building back into a viable and sustainable use. The originally open central section was altered in the mid-C20 by the insertion of a floor, therefore the present proposal for two storeys will not cause any further harm to the significance of the building, and will in fact enhance it through its restoration.

Impact on the Setting of Clough House, Barn and Garden Wall

- 5.12 The proposed scheme for the erection of 17 no. new dwellings within the plot surrounding Clough House, the barn and garden wall has the potential to cause harm to the setting of the listed buildings, as the garden land is reflective of the original configuration of the site and holds a degree of historical interest. Any new development within this garden land has the potential to cause harm, the level of which has to be mitigated through informed design.
- 5.13 The proposed layout of the development aims to protect and reinforce the key designed view of Clough House from the south on Leeds Road by retaining the oval drive and grassed lawn which are shown on historic maps from the 1840s onwards. The active use of this area as public open space and the planting of new trees will therefore have a positive impact on the setting of Clough House.
- 5.14 The erection of houses to the south-east of Clough House will cause some harm by definition to the setting of the listed buildings, as this area has historically been an undeveloped garden ancillary to the house. The topography of the site, which slopes down towards Leeds Road, somewhat mitigates this harm by allowing the houses to step down away from the listed buildings. A degree of harm is acknowledged and is considered to be justified by the need to deliver new development in the setting to ensure the viability of the overall project, which involves the sympathetic refurbishment and reuse of two vacant listed buildings in poor states of repair.
- 5.15 The proposed development has incorporated the positive garden wall as a natural division between the northern and southern portions of the site. The dwellings nearest to the wall have been intentionally set back behind areas of car parking and open space in order to give an acceptable amount of breathing space to the wall, allowing it to continue to be experienced as an historic garden feature in connection to the other listed elements of the site.
- 5.16 The proposed new dwellings in the northern portion of the site would have a lesser impact on the setting of Clough House as a result of their siting and distance from Leeds Road. The proposed tree planting in this area will also provide a soft buffer between the modern and historic buildings, enabling the two parcels to be experienced separately.

This is also reinforced by the separate vehicle accesses to the southern and northern portions of the site, from Leeds Road and Moat Hill Farm Drive, which will facilitate a degree of psychological disconnection between the two.

- 5.17 The proposed houses in the northern portion of the site are sited as far away from the Barn as the site allows, giving the listed building an acceptable amount of breathing space. However, there will be some harm to the setting of the garden wall due to the proximity of the housing and the loss of its original context of separating the formal garden from what is presumed to have been farmland.
- 5.18 The two detached C20 outbuildings to the north of the site currently have a negative impact on the significance of the listed buildings. Their replacement with car parking and landscaped public open space to the north of the barn will have a positive impact on its significance by creating a more open setting to the listed building.
- 5.19 The proposed road access from Moat Hill Farm Drive to the northern portion of the site is also beneficial as it allows the original drive to be retained in its historic configuration, negating the need for it be altered beyond comprehension to accommodate higher volumes of traffic to pass by the listed buildings.

Overall Impact on the Historic Environment

- 5.20 Overall, the proposed development will have a varied impact on the significance of Clough House and the associated barn and garden wall. The opportunity for the conservation of the listed buildings through their conversion will have a positive impact on their significance, especially Clough House which will retain its plan form and have historic features restored. As set out above, the level of harm to its significance has been mitigated as far as reasonably possible by retaining the axial corridor plan form, repairing and reinstating historic decoration, and fixing shut doors rather than removing them.
- 5.21 The proposals are expected to cause a low degree of less than substantial harm to the significance of Clough House. This low degree of harm is justified by the need to refurbish the building and to restore a viable and sustainable use. The refurbishment and reuse of the building is a significant public benefit which, when combined with the delivery of other enhancements to the wider site and creation of a total of 23 new dwellings in a sustainable location, is considered to outweigh the identified harm in accordance with NPPF Paragraph 202.
- 5.22 The adaptive reuse of Clough Barn will secure its future with a similarly low degree of less than substantial harm to its significance. This is also considered to be outweighed by the securement of a sustainable and viable use for the building which is vacant and no longer used for its initial purpose.
- 5.23 NPPF Paragraph 206 states that local planning authorities should look for new opportunities for development within the setting of heritage assets, and that “proposals that preserve those elements of the setting that make a positive contribution to the asset...should be treated favourably”. The scheme has been sensitively designed to retain the oval-shaped drive and lawn and therefore preserve the designed view of Clough House from Leeds Road, which is one of the most significant contributors to the building's setting. This also accords with Kirklees Local Plan Policy LP 35 Part (1).
- 5.24 The less than substantial harm of the housing units can be weighed against the very real public benefits of providing high-quality housing in a sustainable location and the conservation of the designated heritage assets, as per NPPF Paragraph 199. It is also in accordance with Kirklees Local Plan Policy LP 24 which concerns the form, scale and layout of development. The design of the houses comprises gabled roof forms and a mix

of 2, 2.5 and 3 storey terraced and semi-detached dwellings, all of which are prevalent in the surrounding townscape.

- 5.25 The development of the wider plot is further justifiable by the proposed landscaping to include new trees and public open space which will enhance the setting of the listed buildings.
- 5.26 Overall, the proposed development will enhance the significance of Clough House and Clough Barn by restoring the buildings and bringing them into a sustainable and viable use. The low degree of harm to their significance as designated heritage assets is justified and outweighed by the public benefits of restoring the listed buildings and providing high-quality new housing, in accordance with NPPF Paragraph 202. The proposed conservation of Clough House and Clough Barn also meet Kirklees Local Plan Policy LP 35 Part (3), to secure a sustainable future for heritage assets associated with the textile industry (the later tenants were local mill owners) and historic farm buildings.
- 5.27 The proposed development therefore accords with all local and national planning policy relating to the conservation of the historic environment and should be supported, subject to the satisfaction of other planning policy considerations.

6.0 Conclusions

- 6.1 This Heritage Impact Assessment has been prepared on behalf of Ms Rosie Carr and Mr Bruce Williams in support of a full planning and listed building consent application for the conversion of the Grade II listed Clough House and Barn into 6 no. flats, and the erection of 17 no. terraced and semi-detached houses on adjacent land.
- 6.2 The proposed development has been found to cause a low degree of less than substantial harm to the significance of the designated heritage assets, while also enhancing other aspects of significance through the restoration and adaptive reuse of the currently vacant and deteriorating listed buildings and the demolition of existing unsympathetic C20 buildings within the site.
- 6.3 The erection of new dwellings has the potential to cause harm to the setting of the listed buildings but this was recognised at an early stage in the design process and the level of harm has been mitigated by locating the new dwellings as far from the heritage assets as the site allows, retaining the positive landscape feature of the oval drive and reinforcing the key designed view from Leeds Road. The identified low level of less than substantial harm is justified by the public benefits of the scheme, in accordance with NPPF Paragraphs 199 and 202.
- 6.4 The proposed houses have been designed in reflection of the surrounding townscape and building forms – predominantly gabled roofs and 2 to 3 storey terraced and semi-detached houses – thus meeting the requirements of Kirklees Local Plan Policy LP 24. The associated landscaping will enhance the character of the heritage assets by providing breathing space and retaining the historic drive.
- 6.5 In conclusion, the proposed development will deliver the viable adaptive reuse of the listed buildings. The identified harm to their significance is outweighed by the public benefits of their effective conservation and the provision of high-quality new homes, as required by national and local planning policies relating to the historic environment.
- 6.6 It is therefore respectfully requested that full planning permission and listed building consent is granted for the proposed development, subject to the satisfaction of other planning policy considerations.