

HERITAGE STATEMENT

(Incorporating Design & Access Statement)

Dated 16th April 2021

Applicant:	Roberto's Restaurant
Proposed Development:	Demolition of porch canopy and erection of external dining canopy (in a conservation area)
Site Address:	14-15 Market Place, Batley WF17 5DA

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1 Introduction

- 1.1 This Statement has been prepared and submitted in support of our planning application.
- 1.2 It must be read in conjunction with our submitted drawings and any other documents submitted for approval as part of our application.
- 1.3 Any illustrations within this document do not take precedence over the formal application scheme drawings and are intended primarily to illustrate points made in the text.

2 Proposal

- 2.1 Planning Consent is sought for the following
 - **Demolition of an existing single storey canopy in a conservation area**
 - **Erection of a new single storey canopy for outside dining**

3 Purpose of Development

- 3.1 To provide create an area for outside dining suitable to meet the needs of Covid 19.

4 Site Description

- 4.1 Roberto's restaurant occupies the ground floor of the former Head Post Office and Sorting Office. The building forms part of an important group of buildings within the outstanding Batley Market Place Conservation Area. The facade is its most important asset. To the rear lies the former Sorting Office (an extension mainly built in red brick) and a tarmacked yard. The yard is enclosed by a concrete retaining wall and a steel palisade fence.



Figure 1: Aerial photo of site location and its context (courtesy of Google Earth Pro)



Figure 2: Aerial photo close-up of site (courtesy of Google Earth Pro)

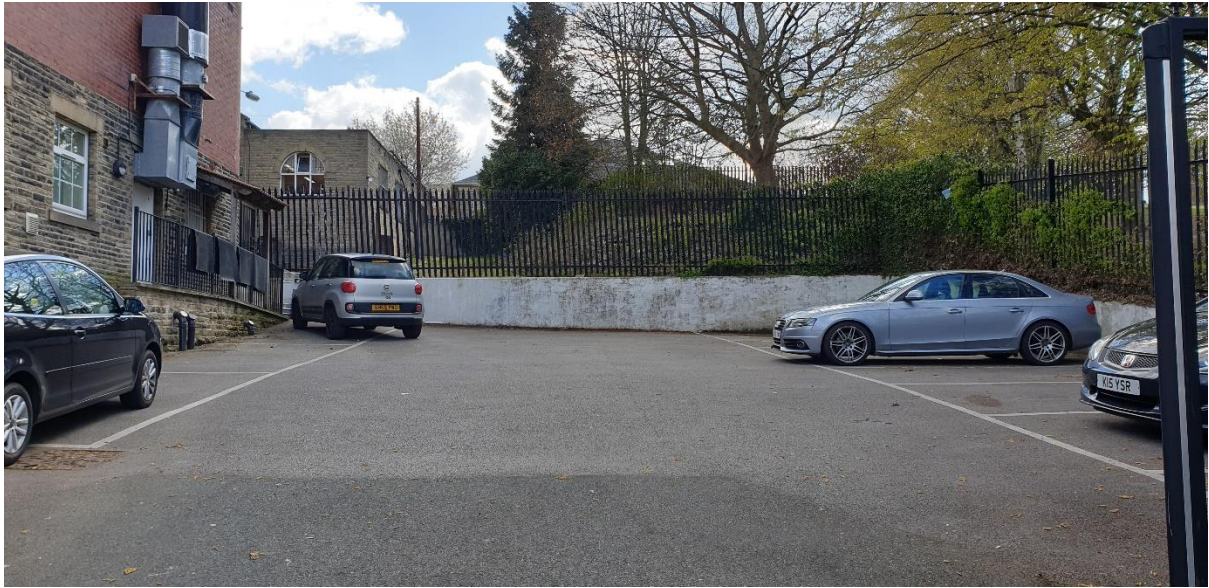


Figure 3: Rear Yard

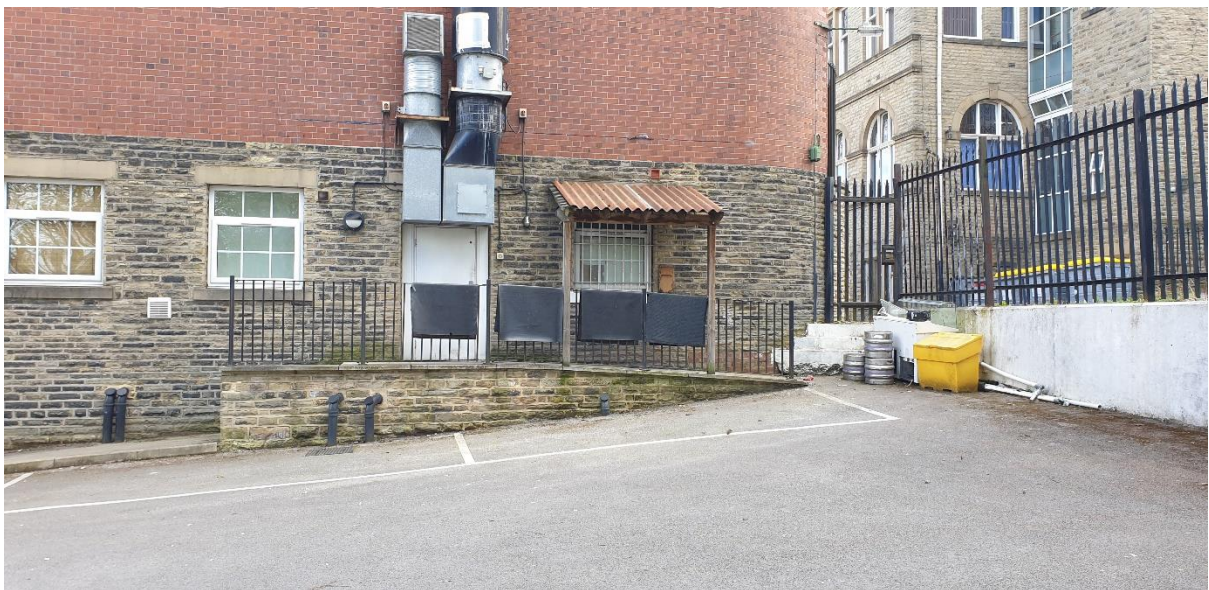


Figure 4: Site of proposed canopy

4.7 Site Details

Post Code: WF17 5DA

Grid Reference: SE 24242324

Easting: 424238 Northing: 414245

5 Planning Support Statement

- 5.1 The existing yard lies at the rear of the building facing onto a 'no-descript' area of unused open space over-looked by the backs of other properties. The view is unattractive consisting of a mixture of different materials and building styles.
- 5.2 The proposed canopy will replace an existing timber lean-to structure. It will have timber walls and a corrugated sheet roof. The structure is not regarded as permanent but is necessary to provide outside dining to help support the restaurant through ongoing Covid 19 measures and assist it to trade and remain competitive as the business re-builds after the pandemic.
- 5.3 The canopy is discretely located at the rear surrounded by a fence and screened in part by trees from wider views. The canopy is not visible from within the Market Square and as such will not have an adverse effect upon primary views, nor will it have a detrimental impact upon the character and appearance of the conservation area. The structure could easily be removed without damaging the building, at some time in the future when it is no longer required.
- 5.4 It is requested that the exact details of the materials to be used be agreed in writing with the local planning authority prior to a decision being issued, to avoid a discharge of conditions application and ensure work can commence with immediate effect.
- 5.4 The canopy is an essential new addition to enable Roberto's to trade in difficult times, thus ensuring the Old Post Office building remains occupied and the fabric of the building is maintained in a good state of repair.