

DESIGN & ACCESS STATEMENT

12.04.2021

for
Planning Application for change of use
and kitchen ventilation
at
Former Music Room
St. John's Place
Cleckheaton
BD19 3RR

Produced by

insight
DESIGN

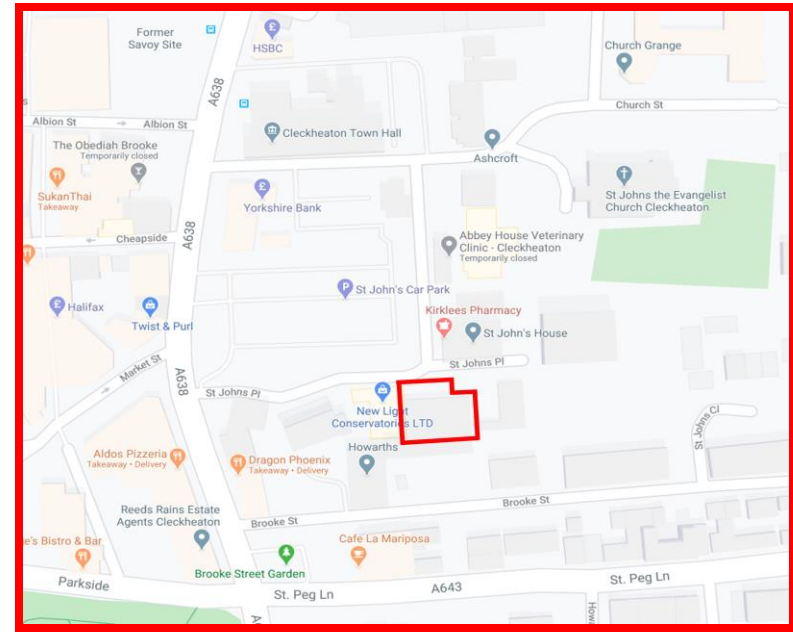
Innsight Design Ltd has prepared this design and access statement in support of a planning application for change of use of ground and first floors, granted under previous permission ref: 202/62/93195E, from Class E (a) 'display or retail sale of goods' to Class E (b) 'sale of food and drink for consumption on premises' / Sui Generis, 'drinking establishment with expanded food offer' and a new external roof kitchen extract ventilation. at former Music Room, St. John's Place, Cleckheaton, West Yorkshire BD19 3RR.

This statement should be read in conjunction with the following detailed drawings:

2343_P01 1:1250 scale Site Location Plan

2343_P05 1:100 scale Plans & Elevations as Existing

2343_P06 1:100 scale Plans & Elevations as Proposed



Location plan of former Music Room, St. John's Place, Cleckheaton

Property Description

The property, formerly the Music Room, is located in the centre of Cleckheaton on St. John's Place, adjacent to St. John's Car Park.



Aerial view of former Music Room, St. John's Place, Cleckheaton

Site Characteristics

The north facing elevation, off St. John's Place and St. John's Car Park, is of three storeys, ground, first and second floors. The elevation would have originally been coursed brickwork, has since been rendered and is to be lined in coursed stonework / slips. A central opening over ground, first and second floors is of glazed curtain walling.

A steel fire escape stair provides emergency access from first, second and mezzanine floors.



North facing elevation from St. John's Place

South, west and east facing elevations were originally of coursed brickwork, but are currently being rendered under previous planning permission. South and west elevations have adjoining buildings under separate ownership.

The roof is of composite slate tile with apex roof light and Velux style roof lights to North elevation. A forecourt to the front, provides parking space for approx. 6 vehicles.

The building is not listed and is not located within a conservation area.



North facing elevation from St. Johns Car Park pre 202/62/93195E application



South facing elevation from Brooke Street pre 202/62/93195E application

Site use

There is limited historical reference available. From estate agent information, the building is believed to date from 1900. Currently the property is under-going refurbishment under planning permission 202/62/93195E, previously being the Music Room, which sold musical equipment to the ground floor and first floor with repair and storage space to the second floor and loft.

Scheme and design proposals

It is proposed that ground floor and first floor are to be used as a licensed bar / restaurant under change of use to class E (b) / Sui Generis.

Second floor and mezzanine currently have approval for separate office space B1 (a), which was approved under application 202/62/93195 E.

Economic and Social impact

When purchased recently the existing property was vacant and in a deteriorating state of repair. It has a detrimental visual impact on the centre of Cleckheaton and in particular from the main town centre St. John's car park.

The proposed class E (b) / Sui Generis use to two floors would provide an attractive proposition to the town centre, providing job opportunities and adding to the existing, thriving, town centre shopping experience.

Access Statement

A forecourt to the front, provides parking space for approx. 4 vehicles, including the opportunity for disabled person parking spaces in compliance with AD M Diagram 2. St. John's Car Park opposite offers free 4 hour parking to 6pm and free thereafter.

The property is central to the town centre and provides excellent road links to nearby towns and the M62. Cleckheaton bus station is located 250 metres to the south.

Deliveries to the property are made via St. John's Place, accessed directly off the A638 Northgate to the west.

Refuse is located in the existing refuse compound accessed off St. John's Place.

Access from the forecourt to entrance doors to be level, where this isn't possible due to site constraints, then the gradient to be as shallow as possible and not more than 1:20. A surface width of 1800mm is to be achieved in front of access doors. Where site constraints restrict this a minimum of 1200mm to be achieved, subject to Building Control agreement.

Routes to principal entrances are to be clearly identified and well lit. Thresholds to entrance doors are to be level or if unavoidable, not more than 15mm. Door entry system to the offices are to be accessible to deaf and hard of hearing and those that cannot speak. Manual controls for powered entrance doors are to be clearly distinguishable against backgrounds and to be located so that users do not need to move to avoid contact with the door as it opens.

Weather protection canopies are to be provided over all entrances.

Manually operated door furniture is to contrast visually with the surface of the door and not be cold to touch. Doors with glazing, glazed screens and glazed shopfronts are to have sufficient manifestations to identify the glazing in accordance with AD K, Section 7 and AD K5.2: 'Manifestation of glazing'.

Internal mats on entrance are to be of materials that do not hinder the movement of wheelchairs and to be level.

The passenger lift, providing access to ground, first and second floors is to be in accordance with AD M paragraphs 3.29 to 3.34 and diagram 11.

The main stair core and staircase between ground and first are to comply with AD M 'Stepped Access', paragraphs 1.27 to 1.37 and diagrams 4 (except hazard warning surface), diagrams 5, 6 and 7 and AD K Section 1: 'Stairs and ladders', diagrams 1.1, table 1.1, diagrams 1.2, 1.3, 1.4, 1.11, 1.12, and 1.13.

All doors are to be in compliance with AD M paragraphs 3.7 to 3.10. Notably, to be wide enough to allow unrestricted passage for a variety of users in accordance with AD M Table 2 and diagram 9.

Doors are to have sufficient glazed elements to allow people to see other people when approaching to avoid collision. Self-closing devices on manually operated non-powered swing doors to have an opening force, at the leading edge of the door, of not more than 30N, from door closed position to 30 degrees and not more than 22.5N from 30 to 60 degrees.

Glazing in doors in compliance with AD K4 diagram 5.3.

Lobbies, with single doors, to be in compliance with AD M diagram 10 and paragraphs 2.25 to 2.29 and allowing a wheelchair user or person with a pram, sufficient space to move clear of one door before opening another.

Toilet accommodation to ground and first floor is to be provided by a future tenant and under space application were necessary.

A new compliant external fire escape staircase is proposed, providing escape from all floor levels. Lobbies to escape stairs on first and second floor are to include a wheelchair refuge in accordance with AD B1 Vol 2 diagram 3.2.

Consultations

Consultations have been made with:

Butler & Young
Approved Building Inspectors,
Unit 8, Howley Park Business Village
Pullan Way, Morley
Leeds, LS27 0BZ

In order to determine the viability and conformity to current Building Regulations & British Standards.

Energy Unique Ltd
Building Services Consulting Engineers
Clifton House,
Bradford Road
Bailliff Bridge
Brighouse
HD6 4JJ

In order to determine preliminary proposals for
mechanical and electrical services to the property.

Stevenson Calam
Structural Engineers
Ornhams Hall
Boroughbridge
York
YO51 9JH

In order to assess the structural integrity of the existing
building and the proposals.

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