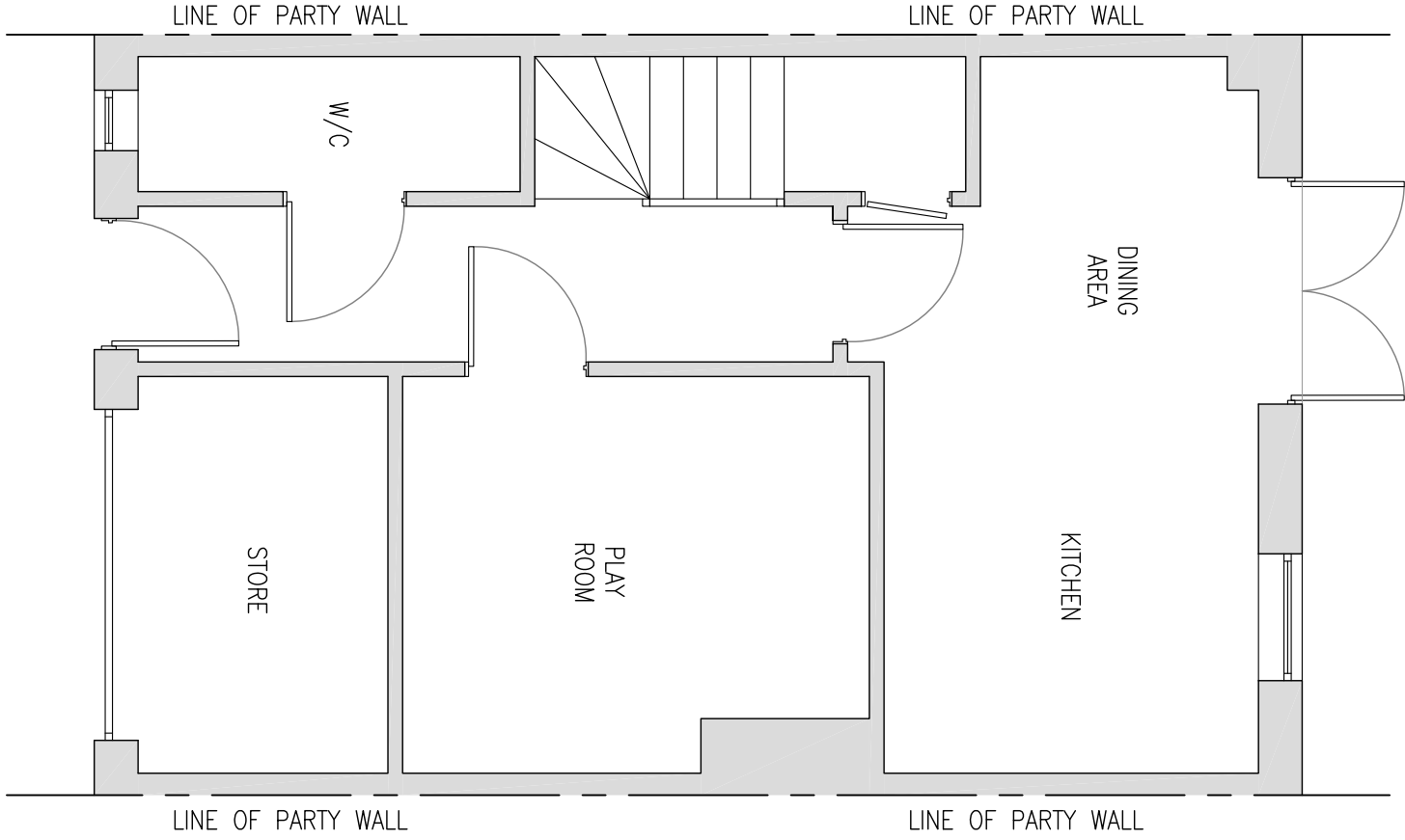
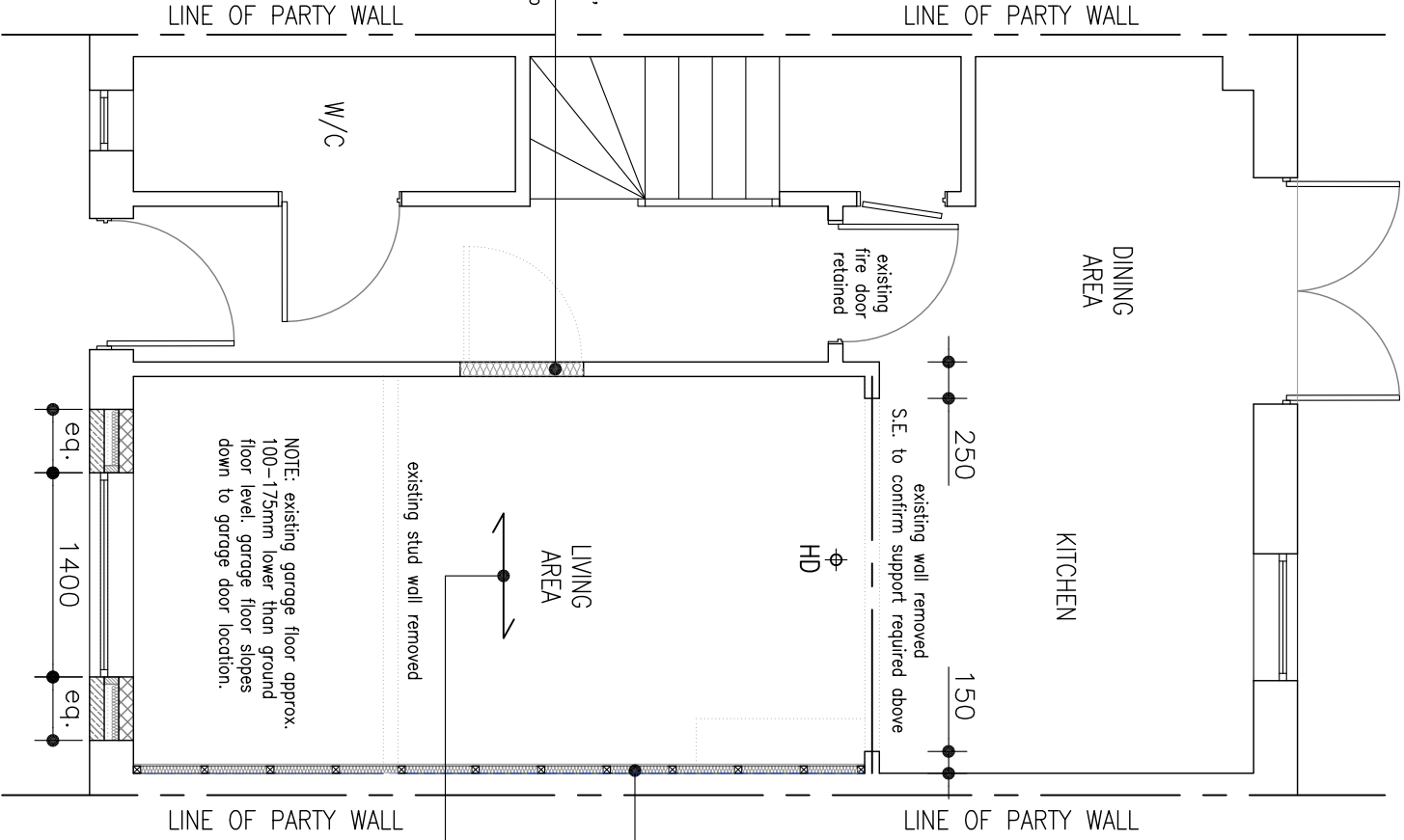


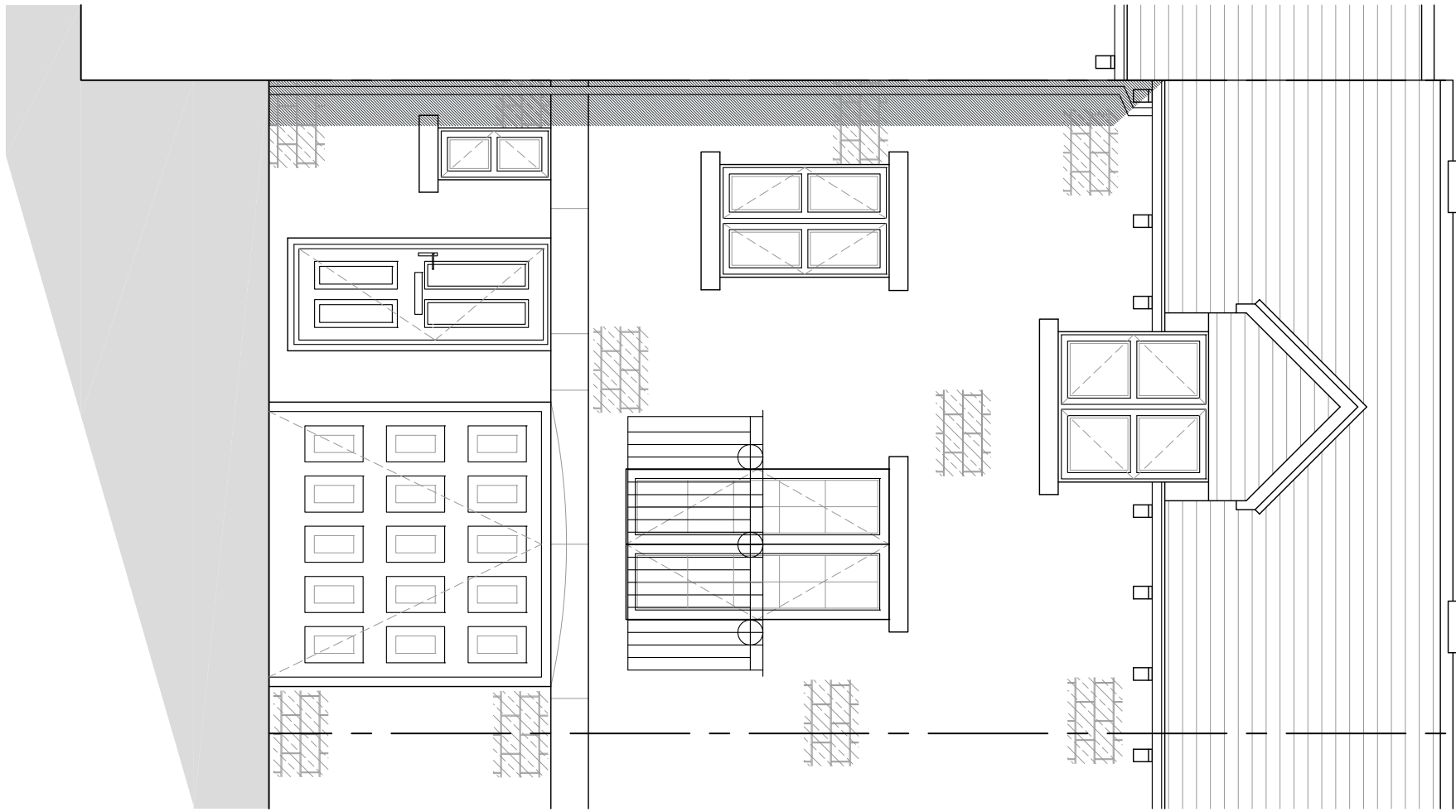


EXISTING GROUND FLOOR PLAN
SCALE 1:50

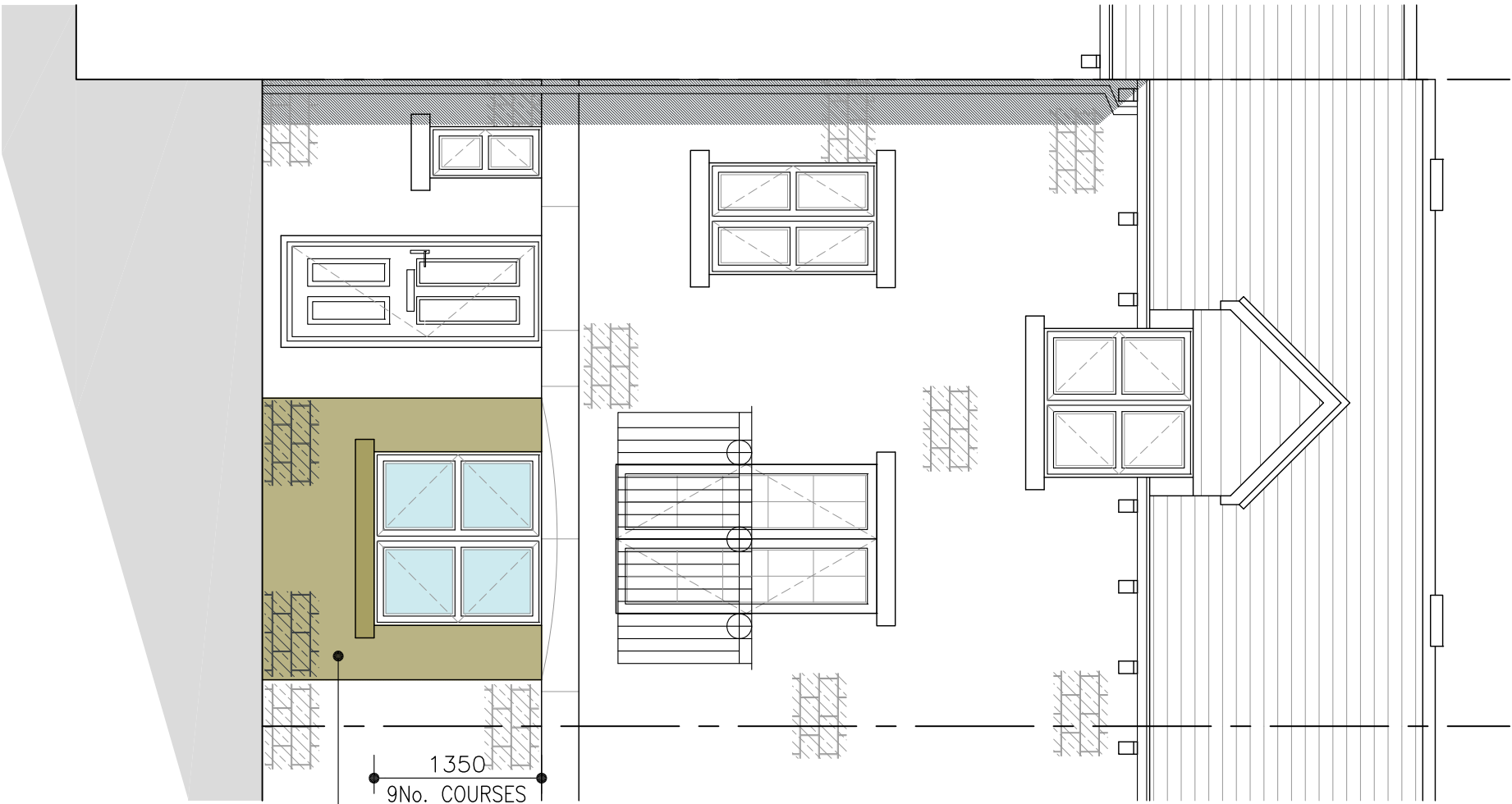


NOTE: CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE PRIOR TO ANY FABRICATION OR CONSTRUCTION

PROPOSED GROUND FLOOR PLAN
SCALE 1:50



EXISTING NORTH EAST FACING ELEVATION
SCALE 1:50



PROPOSED NORTH EAST FACING ELEVATION
SCALE 1:50

5.00 ELECTRICAL AND MECHANICAL VENTILATION

The electricals are to be designed, installed, tested and certified by a person competent to do so.

- a. Provide self contained smoke alarms to BS5839-6:2004 within circulation areas on every floor permanently wired to lighting circuit at the distribution board and interconnected where more than one unit is used, or in accordance with Approved Document B1 Section 1.
- b. All light fittings throughout to be energy efficient.
- c. External lighting to be controlled by sensors and max 15W.

- d. All electric switches and socket outlets to be located between 450mm and 1200mm from floor level.
- d. Accessible consumer units should be fitted with a child proof cover or installed in a lockable cupboard.

- e. Habitable rooms to have background ventilation of 500mm² equivalent Ventilation.

- f. Utility rooms to have extract fan with a min. extract rating of 30 litres/sec.

- g. All fans to be ducted to outside air, fitted with suitable terminal.

6.00 HEATING

6.01 Central Heating

- a. Existing boiler to be assessed by certified specialist to ensure suitability for proposed/defined demand.

- b. If new boiler is required it is to be a wall mounted gas fired central heating boiler with an assessed life to have gas, steel cage externally min. 500 mm from any window or door opening.

- b. boiler to achieve 90% seasonal standard with zone and timing controls, weather compensation control and thermostatic radiator valves.

- c. hot water pipes and cylinders to be insulated in accordance with Part L1A, 2006 edition.

- d. Heating Engineer is responsible for sizing radiators required to heat the space adequately.

7.00 DRAINAGE

7.01 Above Ground Drainage

- a. 40mm diam. bath, shower and sink wastes 32mm diam. wash hand basin wastes 100mm w.c. wastes.

- b. All fittings to have anti-siphon pressure traps with 75mm deep seals to wash hand basins and sinks and 50mm deep seals to baths and w.c.s

- c. No connections to be made to soil pipes within 200mm below w.c. connection, vent pipe to either terminate to external or 900mm above openings within 5m and finished with cage or to terminate internally where appropriate and ventilated with air disturbance valve.

U-VALUES

Materials used in the conversion must meet the following U-Values:

- Walls – 0.3W/M²K
- Roof – 0.20W/M²K
- Windows – 1.8W/M²K
- Floor – 0.22W/M²K

8.00 Secure by Design

PART 0 – UNARMED ACCESS

- All easily accessible windows, doorsets which provide access to a dwelling (including garage doorsets) should either meet PAS 24:2012 or another equivalent standard. Bespoke timber doors should be designed in accordance with Appendix B of AD Q

1.00 GENERAL

Do not scale from drawing.

All figured dimensions to be taken in preference to scaled dimensions and all dimensions to be checked on site prior to construction or assembly, and any discrepancies to be reported.

- 1.01 All work to be carried out in accordance with the current Building Regulations and Approved Documents A through G, BS 5268, British Standards and the current edition of NBS Registered House Builders Handbook if relevant.

- 1.02 All structural timber to be dressed, graded to BS 5268. The timber used is to be a species and grading as specified in the Building Regulations and RIBA Design Aid DA 1/2004 and to be C24 or C16 as specified.

- 1.03 All relevant construction materials shall carry the CE Mark in accordance with the provisions of the Construction Products Regulations.

- 1.04 Construction to be to accredited details as Part L1A 2006.

2.01 Existing Foundations

- a. Existing foundations to be assessed and deemed acceptable by Structural Engineer and Local Authority Building Inspector.

2.02 Works Below D.P.C.

- a. Blockwork used in external walls to outer leaf below ground level and inner leaf below d.p.c. level to have density exceeding 1500 kg/m³ or a compressive strength not less than 7 N/mm². Concretes to be filled below ground level with weak mix concrete.

- b. Blockwork used in external walls to below ground level to be 7N/mm² lightweight foundation blocks

2.03 Dump Proof Courses

- a. Dump proof courses generally to be Viqueux Zedex High Bond Dump proof course of similar approved in 100 mm or 150mm ribs or as approved by the manufacturer.

- All cavities cleared at door and window openings in external walls incorporating 150mm wide vertical d.p.c's. Horizontal d.p.c's in external walls minimum 150mm above ground level and at all openings.

- b. Cavity tray with weep holes to be provided over openings and at junctions and abutments. Cavity trays to be formed using Viqueux Zedex or similar approved dpc rail 450mm wide.

2.00 WALLS

2.01 External Walls

- a. 100mm natural stone to match the existing.

- b. Outer leaf / 50mm clear cavity / 50mm Kingspan Thermawall T850 insulation (min. 100mm thick) / 50mm Kingspan Thermawall T850 inner leaf with plastic clips fixed to wall ties with 7N Blocks, 100mm wide, in class (ii) mortar inner leaf. (Wall construction to have a U-value not greater than 0.22W/m²K)

- c. Cavity to be closed around all openings by fitting insulated cavity closures to avoid thermal bridging. Eaves and verges closed with mineral wool cavity closure.

- d. Wall ties to be s.s. type B double triangular built in at 450mm vertical centres and 750mm horizontal centres and at every block course at reveals.

- e. Lateral restraint to be provided to external walls at verge, top floor ceiling with 30 x 5mm x 1100mm long galv. m.s. strips at 2m centres.

- f. All blockwork walls to be dry lined with 9.5 mm tapered edge gypoc wallboard with filled and taped joints and gypoc drywall top coat or 9.5mm standard wallboard and skim. When dry lining provide a continuous slab of gypoc outside perimeter seal around openings of room corners and around socket boxes.

1.02 New Internal Walls

- a. Non-load bearing partition walls to be constructed of 70 x 50mm softwood studing or 70 mm gypoc metal framing with 15mm Gypoc Freeline board and skim to both sides and insulation quilt between studs.

1.02 Existing Perimeter Wall

- a. Provide new stud liner wall to existing perimeter wall, 50x50mm C16 timber studs with stud spacing at 400mm (4 centres) at 900mm c/c. Provide 50mm rigid urethane insulation board infill (Kingspan T850 or similar approved), 500g polythene vapour barrier over framing, 125mm wallboard tan and skim plaster skim and polish finish.

2.00 FLOORS

2.01 Ground Floor

- a. Existing gypoc floor approx. 200-250mm lower than existing dwelling ground floor level. Garage floor slopes down to garage door location.

- b. Flooring floor comprising of 18mm grade C4 T60 modular resistant chipboard with glued joints on 50x175 C24 timber joists with 80mm Kingspan Thermofloor T770 urethane insulation between on 1200 gauge polyethylene vapour barrier linked into existing DPC. Underside of new floor to be covered with 100mm rigid urethane insulation board infill to tie in with existing house level. No void is to be present beneath the new floor construction.

3.00 CEILINGS and FIRE PROTECTION

- a. Ceilings to be underdram with to be 15mm Gypoc Freeline Board and skim nailed with 40 mm nails at 150mm centres.

- b. All steelwork to be encased in 15mm Gypoc Freeline Board and skim to provide half hour fire resistance.

- c. Skid and vent pipes shall be encased with 2 layers of 12.5 mm plasterboard with staggered joints. All pipes and trench connections within protected shaft to be bound in unfaced mineral wool and boxing packed with insulation.

- d. Ceiling to garage conversion to be 15mm Gypoc Freeline Board and skim to provide half hour fire resistance.

- e Ceiling to over new utility area to be 15mm Gypoc Freeline Board and skim to provide half hour fire resistance.

- f. Incorporate 100mm Mineral wool insulation in between existing first floor joists.

4.00 WINDOWS and DOORS

- a. Any glazing to windows within 800 mm of floor level, any glazing to doors within 1500 mm of floor level and 300 mm either side to be laminated or toughened glass unless in small panes not exceeding 0.5m².

- b. All windows to be draught sealed and fitted with sealed double glazing with 16mm air gap and low E glass, with 0.05mm soft coating, to achieve average 1.8 U value.

- c. Windows to habitable rooms to have opening light area min. 1/20th of floor area and to be fitted with permevents to provide background trickle ventilation to meet Part F 2006 Table 1.26 and to be calculated for each individual unit.

- d. Windows to kitchens, utility rooms, bathrooms and w.c.'s to be fitted with permevents to provide background trickle ventilation of not less than 2500mm² equivalent area.

- e. Escape window to be provided to suit unobstructed openable area that is at least 0.33m² and at least 450mm high and 450mm wide (the route through may be at an angle rather than straight through) the bottom of window to be at least 1100mm above finished floor level and to be confirmed to confirm with Local Authority Building Inspector that the existing openings are adequate.

NOTES

- 1. No dimensions to be scaled. IF IN DOUBT ASK.

- 2. All dimensions must be checked and verified on site by the Contractor prior to the commencement of works and Hinchliffe Architecture & Design Ltd. to be notified of any discrepancies.

- 3. The copyright of these drawings remains the property of Hinchliffe Architecture & Design Ltd. They must not be reproduced in any way without prior written consent from the originator (Hinchliffe Architecture & Design Ltd.)

- 4. Any works undertaken on site prior to obtaining full written approval from Planning and Building Control is at the Contractor/Clients own risk. Works should not commence until full approval is granted.

Scale (at A1)	Date
AS SHOWN	08.04.2021
Dwg. no.	Rev.
030-21-LD01	A

EXISTING & PROPOSED FLOOR PLANS & SPECIFICATION

hinchliffe

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