



Areas

Overall Site
1.78ha (4.4acres)

Site allocated for housing
0.95ha (2.3acres)

P.O.S (Public Open Space) requirement
@ 0.2ha per 50 units
= 0.11ha (0.27) required

P.O.S acheived
0.83ha (2.1acres)

Units

Total Number
27

Of which are affordable
05

Key

- Block Paving Type
- Block Paving Type
- Slab Paving
- 2m
- 5.5m Adopable Road
- Affordable Housing
- Gas
- Electric
- Electric charge
- Swift
- Small bird box
- Bat box
- Bat box
- Retaining wall
- Dwarf
- 1.8m Close boarded fence with 300mm trellis. All gates shown to be lockable.
- Hedgehog

Electric Vehicle Charging Points

EVCP to be 32Amp with Type 2 Mennekes connections, Mode 3 (on a dedicated circuit).

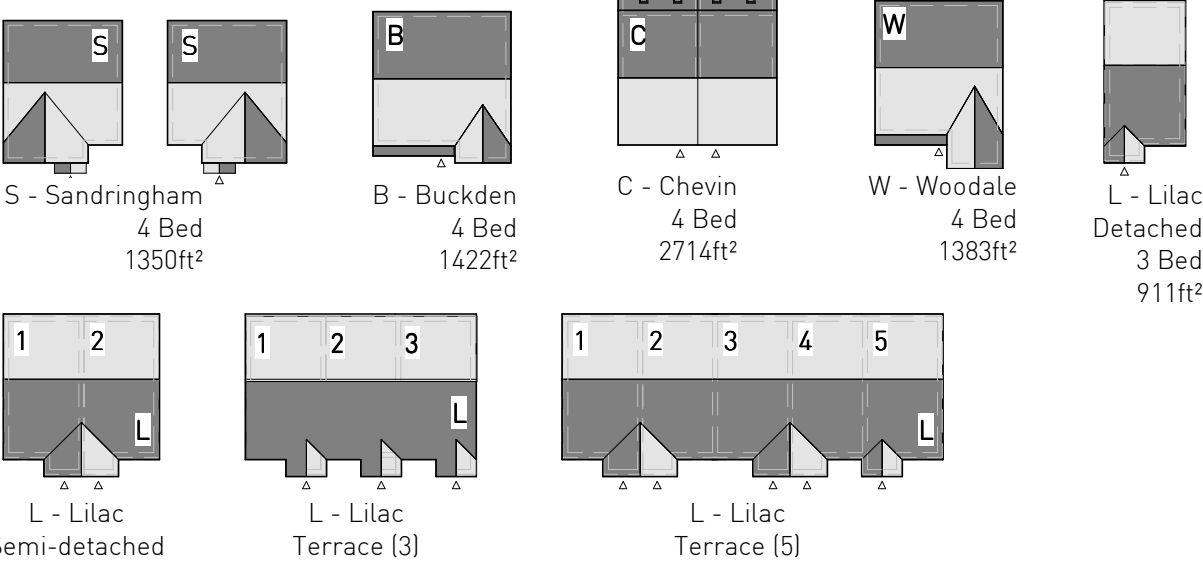
(GIA) House Type Schedule

House Type	Quantity	Total Area m2	Total Area sqft
Buckden	3	396.2 m ²	4265 ft ²
Chevin	2	504.3 m ²	5428 ft ²
Chevin - Stepped	1	252.2 m ²	2714 ft ²
Lilac - Main Internal and Elevations		1354.4 m ²	14578 ft ²
Sandringham	2	250.8 m ²	2700 ft ²
Woodale	1	128.5 m ²	1383 ft ²
		2886.4 m ²	31069 ft ²

Parking Allocation

2 No. spaces per each 2-3 bed dwelling
3 No. spaces per 4 bed dwelling
1 No. visitor parking per 4 dwellings

House Types



Site Plan
1 : 500

1 : 500

0 10 20 30m

N

Contractor must verify all dimensions on site before commencing any work or shop drawings. If this drawing exceeds the quantities taken in any way the Architects are to be informed before the work is initiated. Only figured dimensions to be taken from this drawing. Do not scale off this drawing. Drawings based on Ordnance Survey and / or existing record drawings - design and drawing content subject to Site Survey, Structural Survey, Site Investigations, Planning and Statutory Requirements and Approvals. Authorised reproduction from Ordnance Survey Map with permission of the Controller of Her Majesty's Stationery Office. Crown Copyright reserved. Enjoy Design Ltd.

Notes.

00 Series General Arrangement Notes

1. Any areas indicated on the plans are approximate. They relate to the likely areas of the building at the current state of the design and are calculated using the stated eg (N/A) method from the Code of Measuring Practice 5th Edition RICS/BSA. Any decision to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements or the like, should include due allowance for design development and building tolerances. Floor areas are subject to Planning, Building Control and other statutory approvals.

2. Any structural, services or fit out detail shown is for coordination only, refer to relevant Consultants/Clients information for details.

3. Refer to Enjoy NBS for full outline performance specification of Architectural Elements.

4. THE CONTENT OF THIS DRAWING IS FOR DESIGN INTENT AND REQUIRES FURTHER DESIGN DEVELOPMENT AND COORDINATION WITH ALL RELEVANT CONSULTANTS, SUB-CONTRACTORS, SPECIALIST DESIGNERS AND STATUTORY AUTHORITIES.

5. Line of drainage easement, site boundary and extents of flood zone 01 approximate based on overlaid PDF information. Upon determination of exact positions amendments to the proposed layout about may be required.

U Flexi-Pave added to path to Stretchgate in lieu of Crushed Stone 13.05.2021

T Bin Collection points added 17-21 and 25-27 WD 29.04.2021 WD

S Flood line amended to meet levels. Abbey Gardens sign note added. Bin locations for collection added. WD 26.03.2021 WD

R Flood line at 146.5m AOD added. Telecom Line added. 04.03.2021

Q Landscape to POS added WD 27/02/2020 WD

P Footpath extended to meet end of private drive. Note added to stair to Stretchgate. WD 05/02/2020 WD

Rev. Des. By Date Ch Status:

Client: Scottfield Ltd Job No: 18,019

Project: Abbey Road, Shepley

Title: Proposed Site Plan

Date: 08/23/18 Scale: As indicated BA1 Checked by: WD

Drawing No: 00-103 Drawn By: MH Revision: U

The Old Brewery High Court Leeds LS2 7ES Tel: 0113 242 3622 www.enjoy-design.co.uk

ENJOY DESIGN