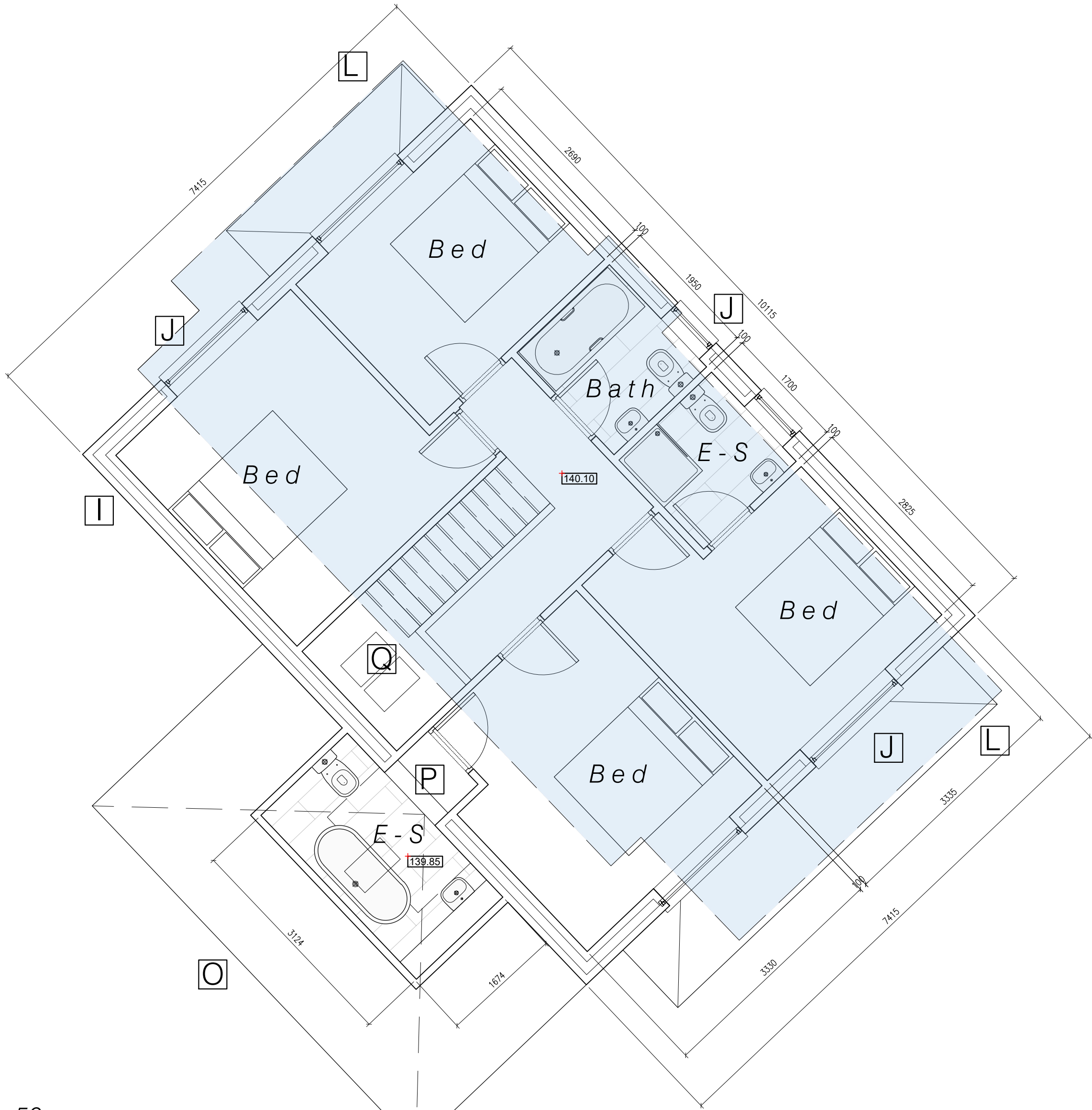
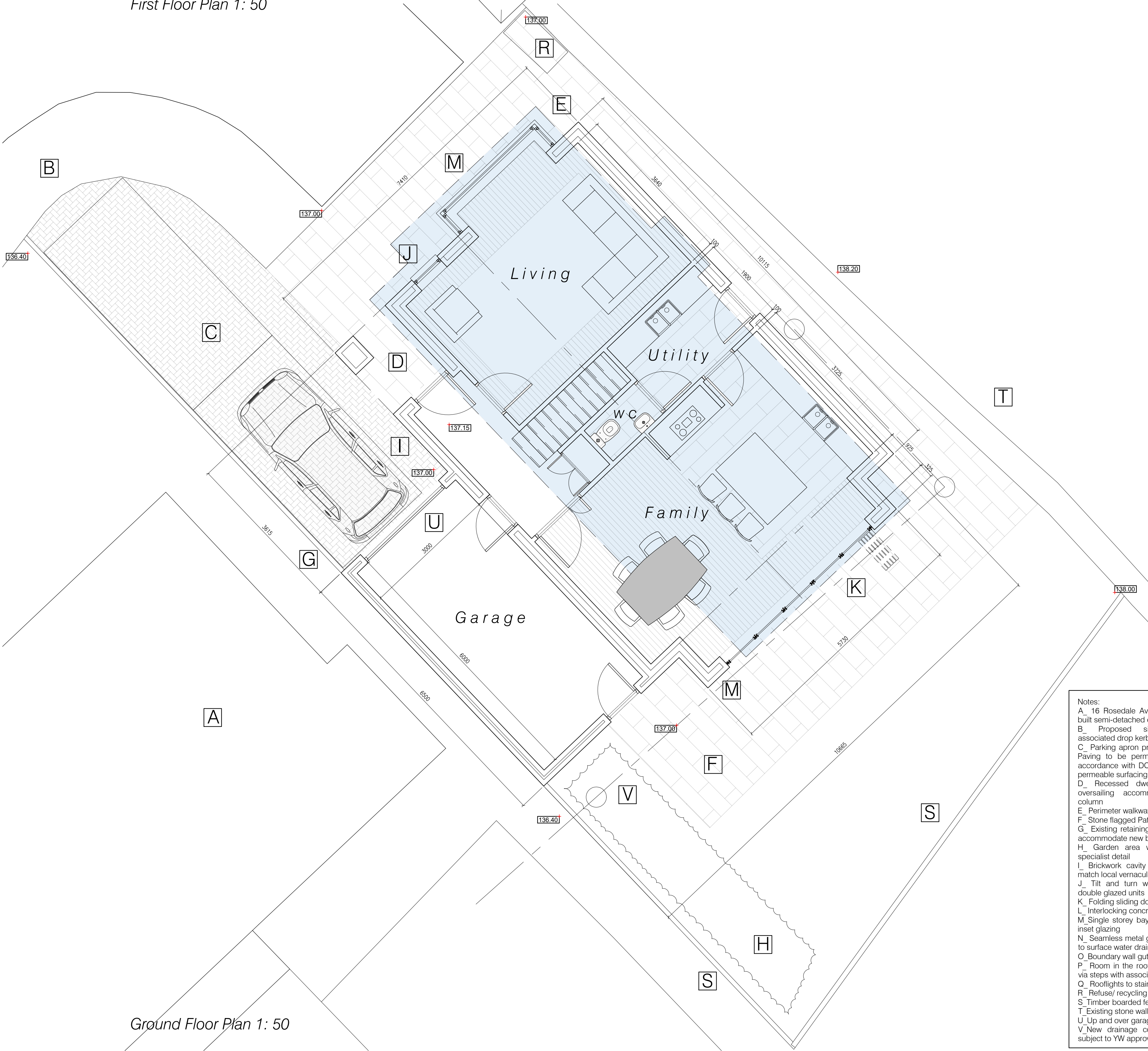




First Floor Plan 1: 50



Ground Floor Plan 1: 50

- Notes:
- A. 16 Rosedale Avenue - existing brick built semi-detached dwelling
 - B. Proposed site entrance with associated drop kerb
 - C. Parking apron providing 2 car spaces
 - D. Paving to be permeable undertaken in accordance with DCLG Guidance on the permeable surfacing of front gardens note
 - E. Recessed dwelling entrance with oversailing accommodation on brick column
 - F. Perimeter walkway to rear
 - G. Stone flagged Patio area
 - H. Existing retaining wall reconfigured to accommodate new building
 - I. Garden area with landscaping as specialist detail
 - J. Brickwork cavity wall construction to match local vernacular
 - K. Tilt and turn windows with 'low- e' double glazed units
 - L. Folding sliding doors
 - M. Interlocking concrete tile roof finish
 - N. Single storey bay window feature with inset glazing
 - O. Seamless metal gutters and nwp linked to surface water drainage
 - P. Room in the roof bathroom accessed via steps with associated rooflight
 - Q. Rooflights to staircore
 - R. Refuse/ recycling
 - S. Timber boarded fence
 - T. Existing stone wall
 - U. Up and over garage door
 - V. New drainage connected to existing subject to YW approval

Drawings based on Ordnance Survey (Streetwise License No 100047474) and preliminary survey - design and drawing content subject to further Site Surveys, Structural Survey, Site Investigations, Planning and Statutory Requirements and Approvals.

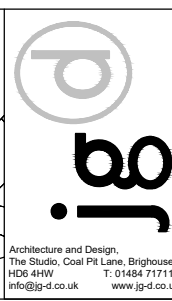
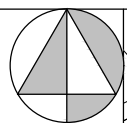
Rosedale Avenue

Rev. Des.

Date By

Footprint of approved scheme 2020_91393

0 0.5 1 1.5 2 2.5m
Scale 1:50



Project	Proposed dwelling adjacent 16, Rosedale Avenue, Hartshead WF15 8AU
Client	Martin Dyson Homes Ltd c/ o agent
Dwg Title	(20850)1_Plans as proposed
Scale	1:50 @ A1
Date	Mar 21