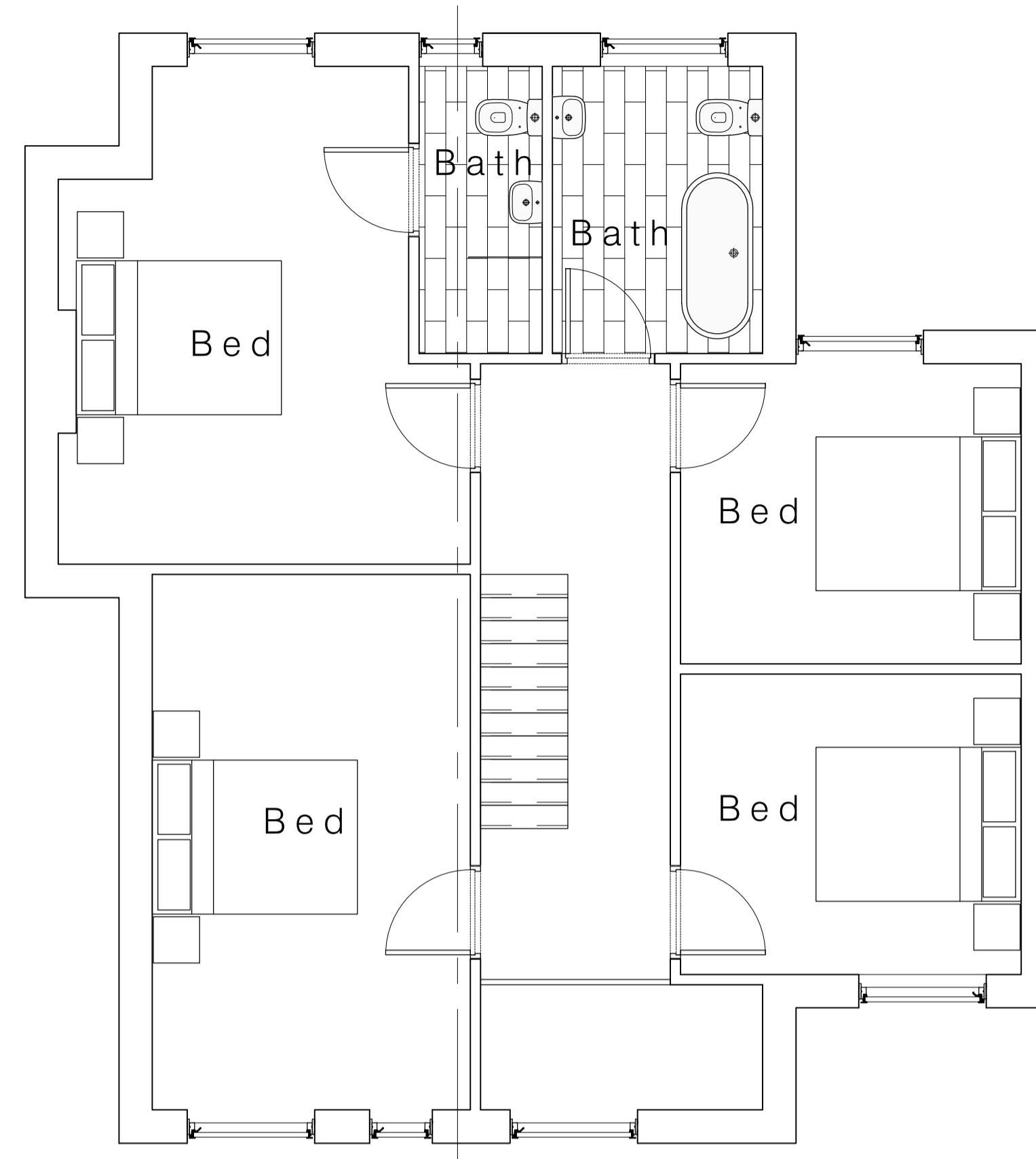
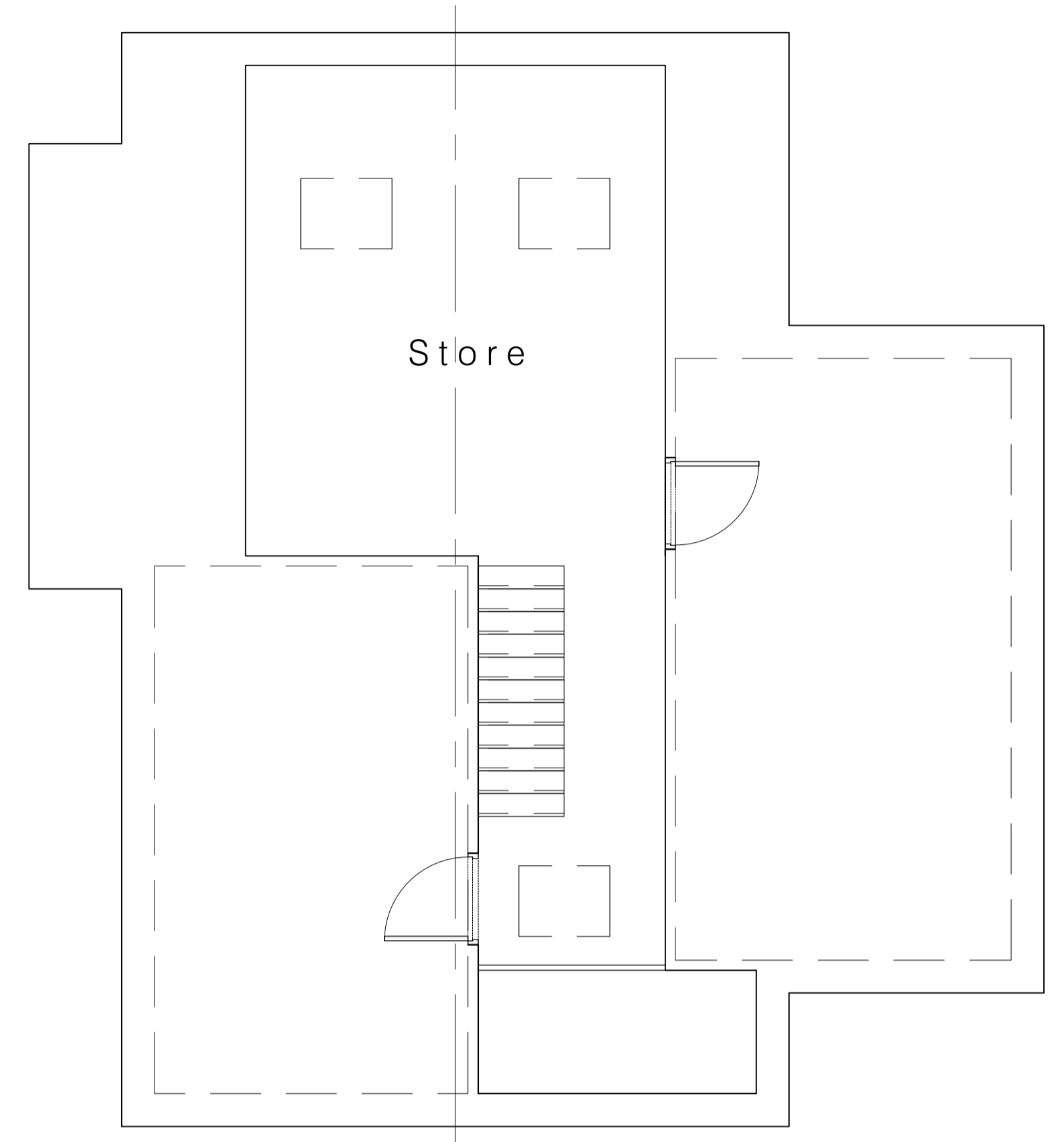


Ground Floor Plan 1: 50



First Floor Plan 1: 50



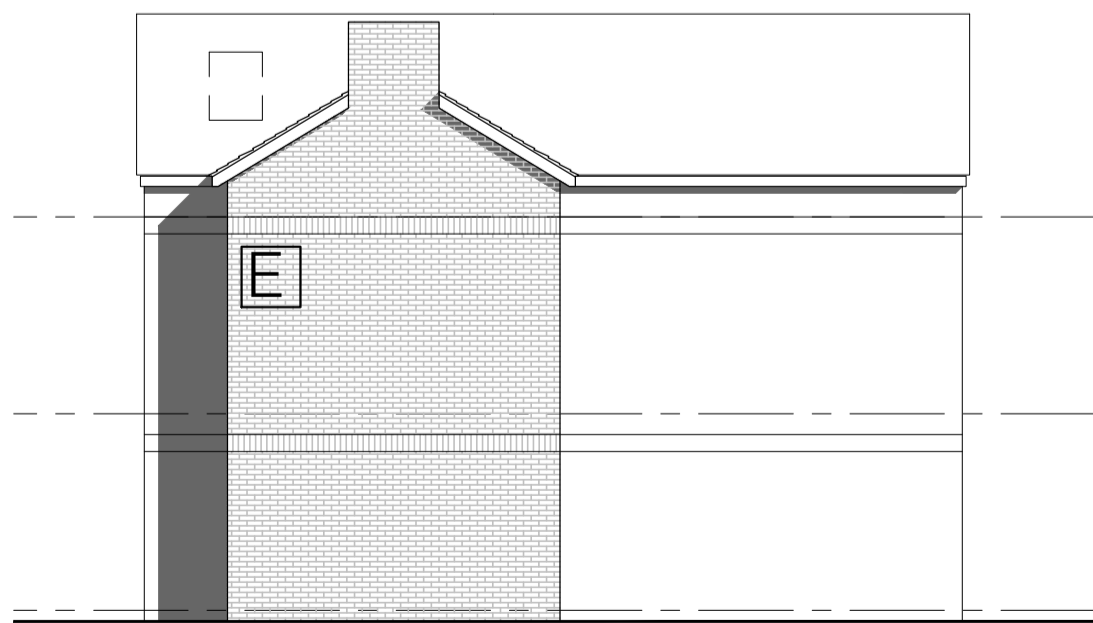
Second Floor Plan 1: 50



1\_Side Elevation 1: 100



2\_Front Elevation 1: 100



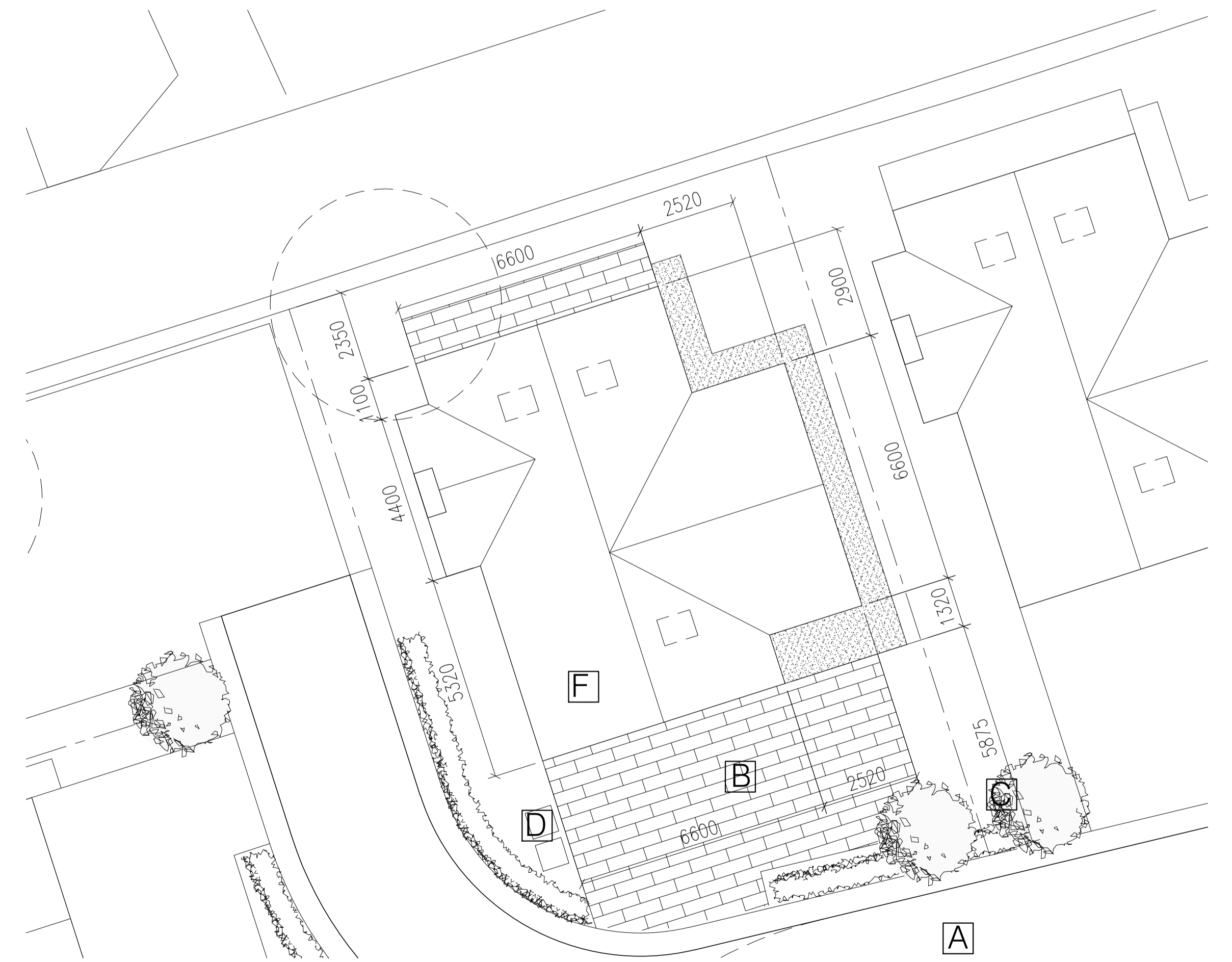
3\_Rear Elevation 1: 100



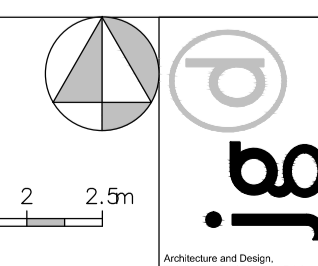
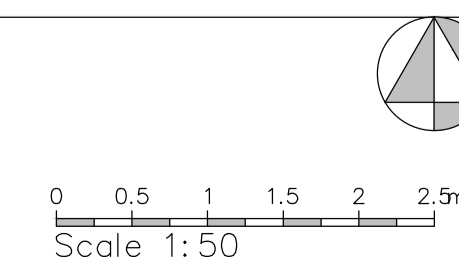
4\_Side Elevation 1: 100

Plot 5:  
 Site area\_ 235.4sqm  
 4 bedroom detached property:  
 Footprint\_ 92.1sqm  
 Total net internal area (excl garage)\_ 201.6sqm

Key:  
 A Access Road as Highway Engineer detail - nominally 5.5m wide with 600mm margins  
 B Vehicular apron with contrasting paving materials to be permeable in accordance with DCLG Guidance  
 C Landscaped private areas as specialist detail  
 D Refuse/ recycling storage  
 E Brickwork cavity wall construction with string course detailing  
 F Artificial slate roof with Velux style rooflights installed in-line with manufacturer's recommendations  
 G Single ply roofing with kerb to proprietary rooflight  
 H Tilt and turn style composite windows  
 I Feature glazed entrance slot with boarded verisize front door with level approach and threshold  
 J Slim profile sliding doors providing access to external spaces  
 K Up and over aluminium garage door colour coated to match windows



Site Plan 1: 100



Project	Proposed residential development at former Combs Hostel site, Hall Lane, Thornhill
Client	YT Developments Ltd, Tadis House, Wesley Place, Wellington Road, Dewsbury, WF13 1HD
Dwg Title	(17519)5_Plot 5
Scale	1: 200, 100, 50 @ A1
Date	June 17

Drawings based on Ordnance Survey (Streetwise License No 100047474) and preliminary survey - design and drawing content subject to further Site Surveys, Structural Survey, Site Investigations, Planning and Statutory Requirements and Approvals.	Combs Hostel	Rev. Des.	Date
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