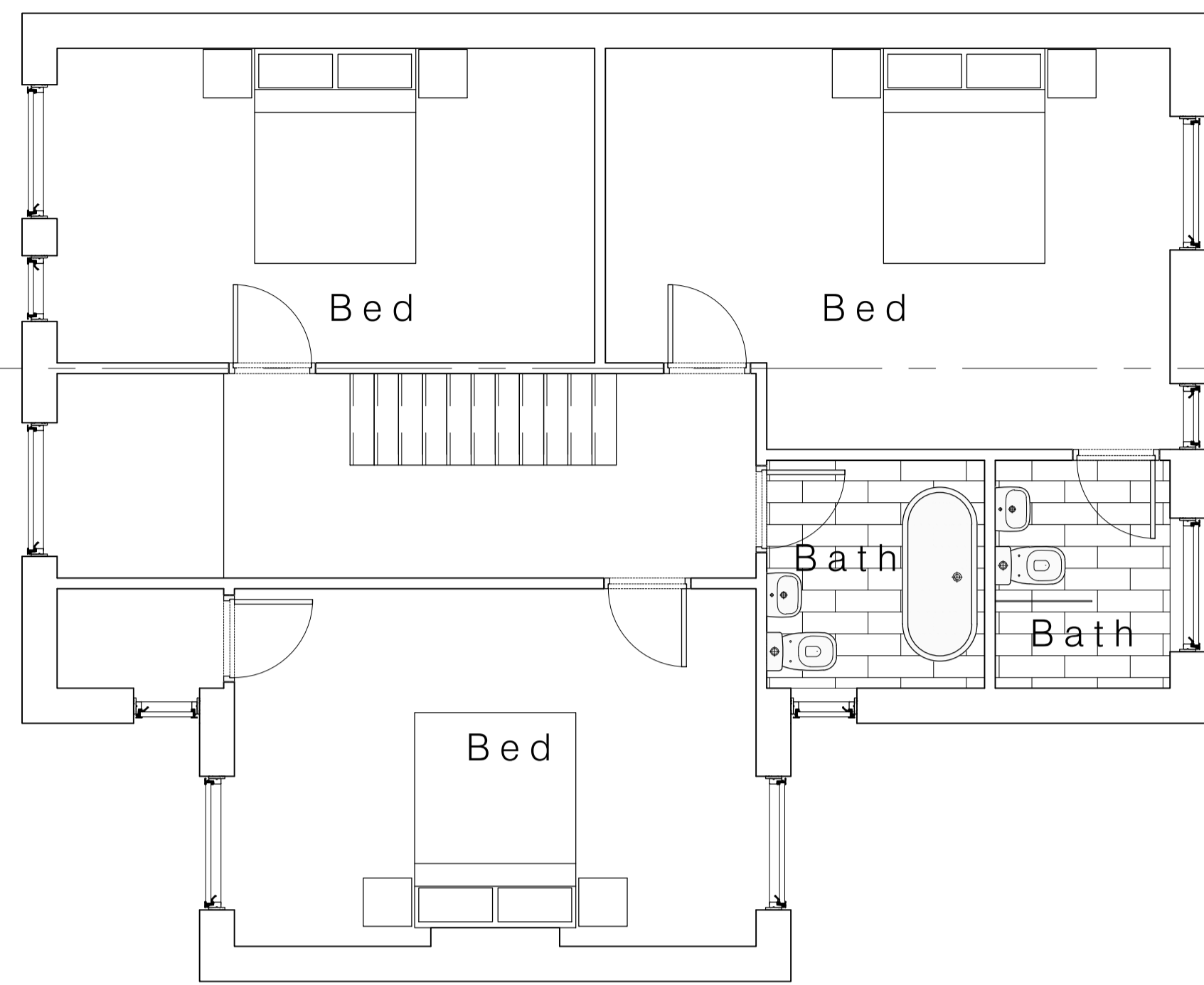
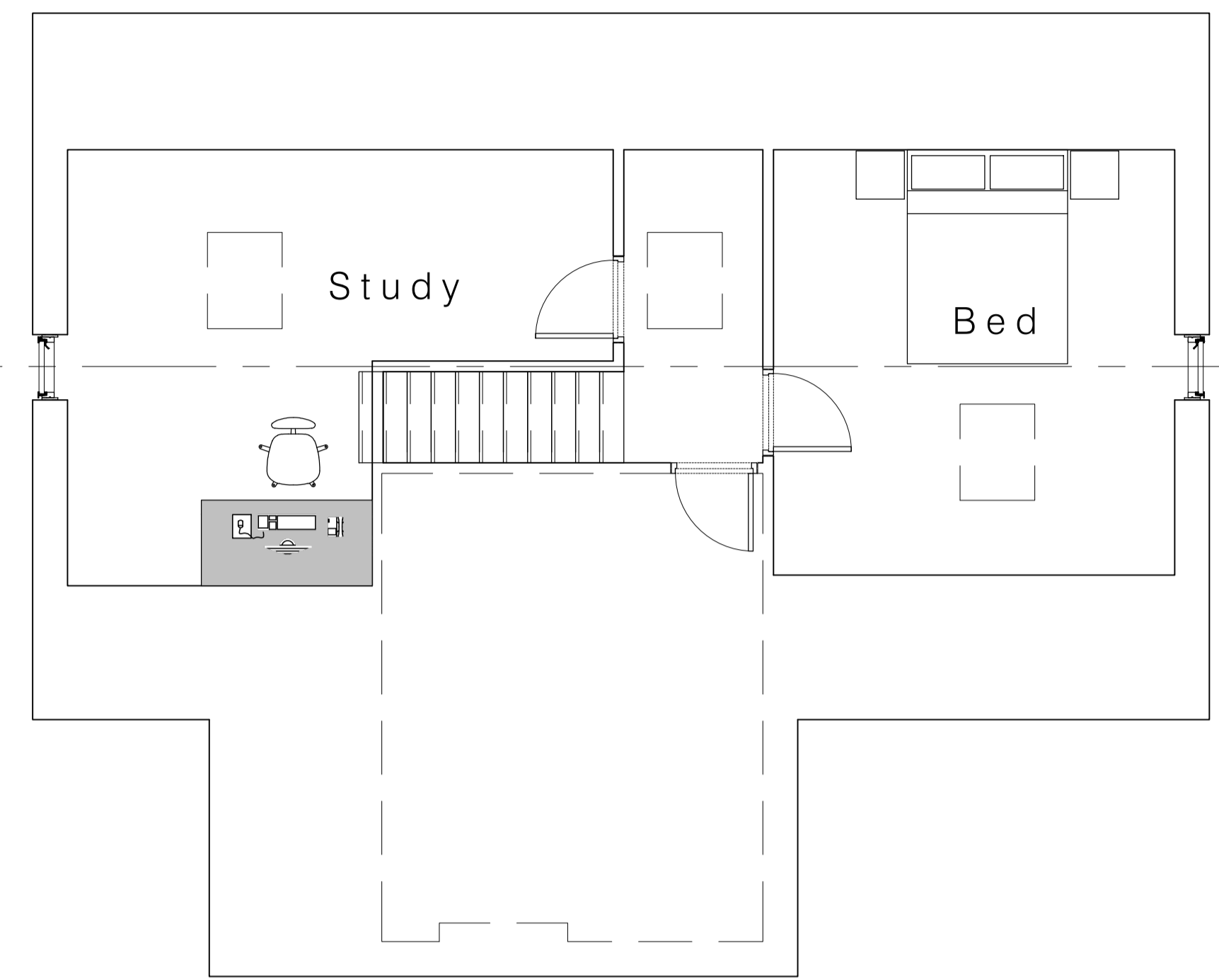


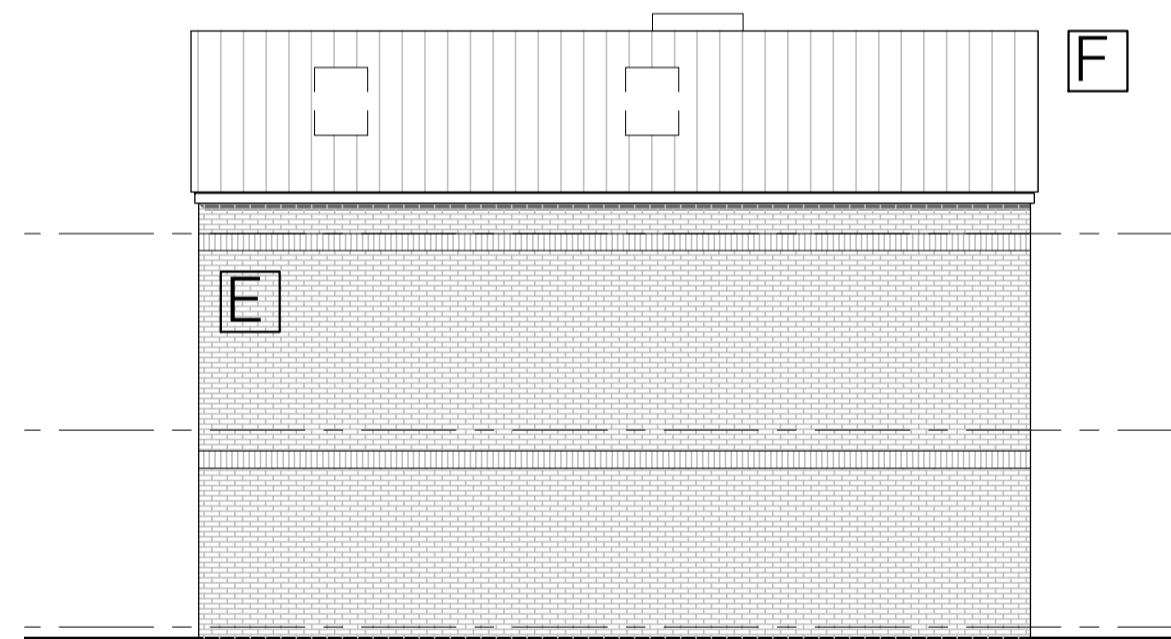
Ground Floor Plan 1: 50



First Floor Plan 1: 50



Second Floor Plan 1: 50



1_Side Elevation 1: 100



2_Front Elevation 1: 100



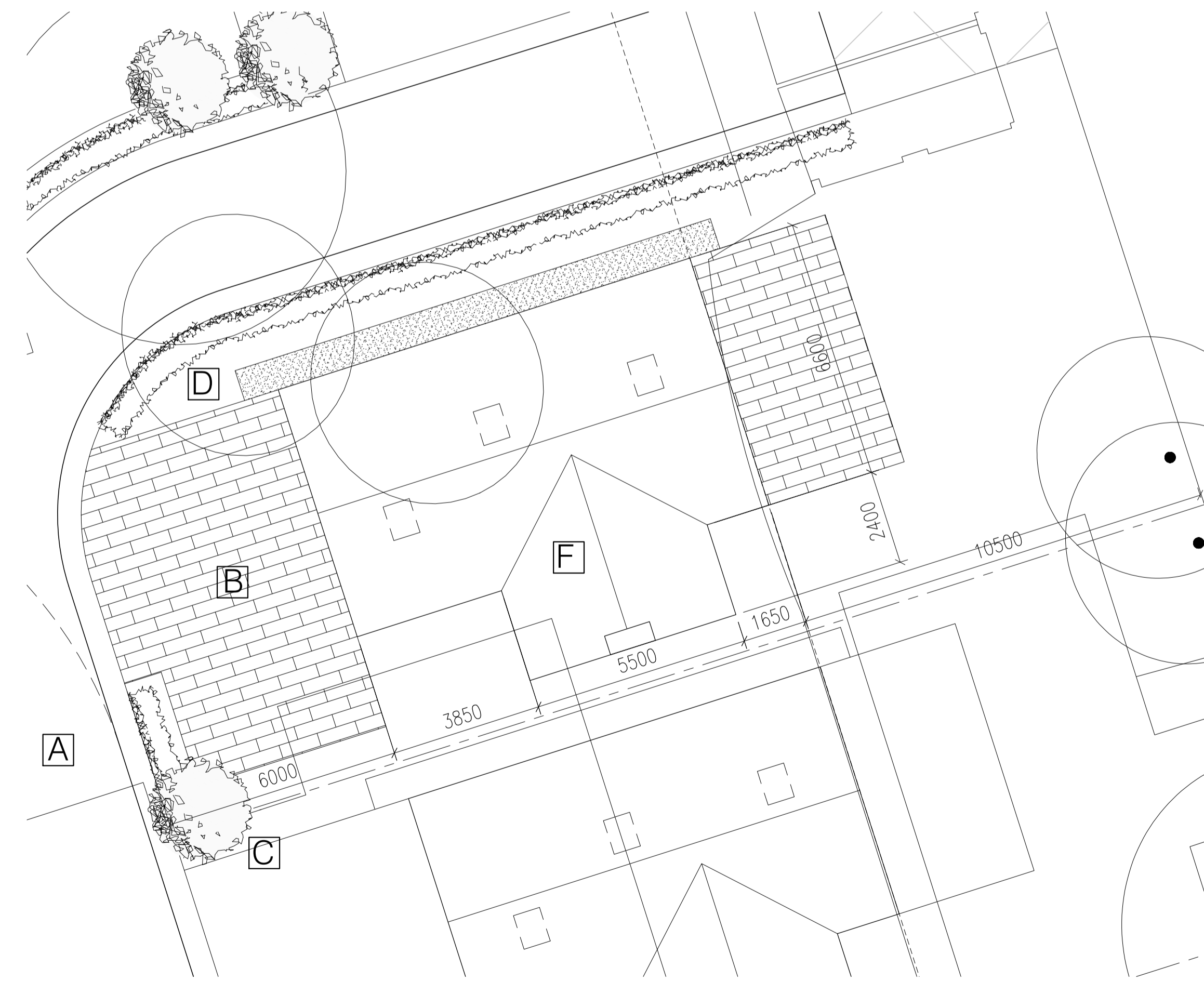
3_Rear Elevation 1: 100



4_Side Elevation 1: 100

Plot 8:
 Site area_ 329.9sqm
 4 bedroom detached property:
 Footprint_ 85.8sqm
 Total net internal area_ 184.0sqm

Key:
 A Access Road as Highway Engineer detail - nominally 5.5m wide with 600mm margins
 B Vehicular apron with contrasting paving materials to be permeable in accordance with DCLG Guidance
 C Landscaped private areas as specialist detail
 D Refuse/ recycling storage
 E Brickwork cavity wall construction with string course detailing
 F Artificial slate roof with Velux style rooflights installed in-line with manufacturer's recommendations
 G Single ply roofing with kerb to proprietary rooflight
 H Tilt and turn style composite windows
 I Feature glazed entrance slot with boarded versize front door with level approach and threshold
 J Slim profile sliding doors providing access to external spaces
 K Up and over aluminium garage door colour coated to match windows



Site Plan 1: 100