

New estate road (min 5.5m wide) is utilised as a shared surface to reduce vehicle speed within the development.

The kerb is to be edged with contrasting coloured tarmac providing a 600mm wide strip to both sides along the full length. Dropped crossings provide level access onto each drive from the public highway.

Every dwelling has an integral garage and an off road parking space to the front of the dwelling. SUDS compliant Trogler blocks with the gravel fill to the joints. Paths to the front doors of the dwellings will be a contrasting coloured paving stone, again with gravel filled joints to ensure a free draining surface.

The turning head at the South end of the access road has been designed and laid out by VJA solutions to provide a transport assessment for details. A level area (ride truck see Transport Assessment for details).

Note: All layouts of the dwellings and car parking is subject to numbers.

Note: Material applications for design layout, materials and

Plots 1 to 8 are to have minimal cut work carried out and is to utilize the level section of the site.

Possible location of Mine Shaft. Identified as approximate location on the Mining Report. The location of the shaft is determined on site prior to detailed ground works being established.

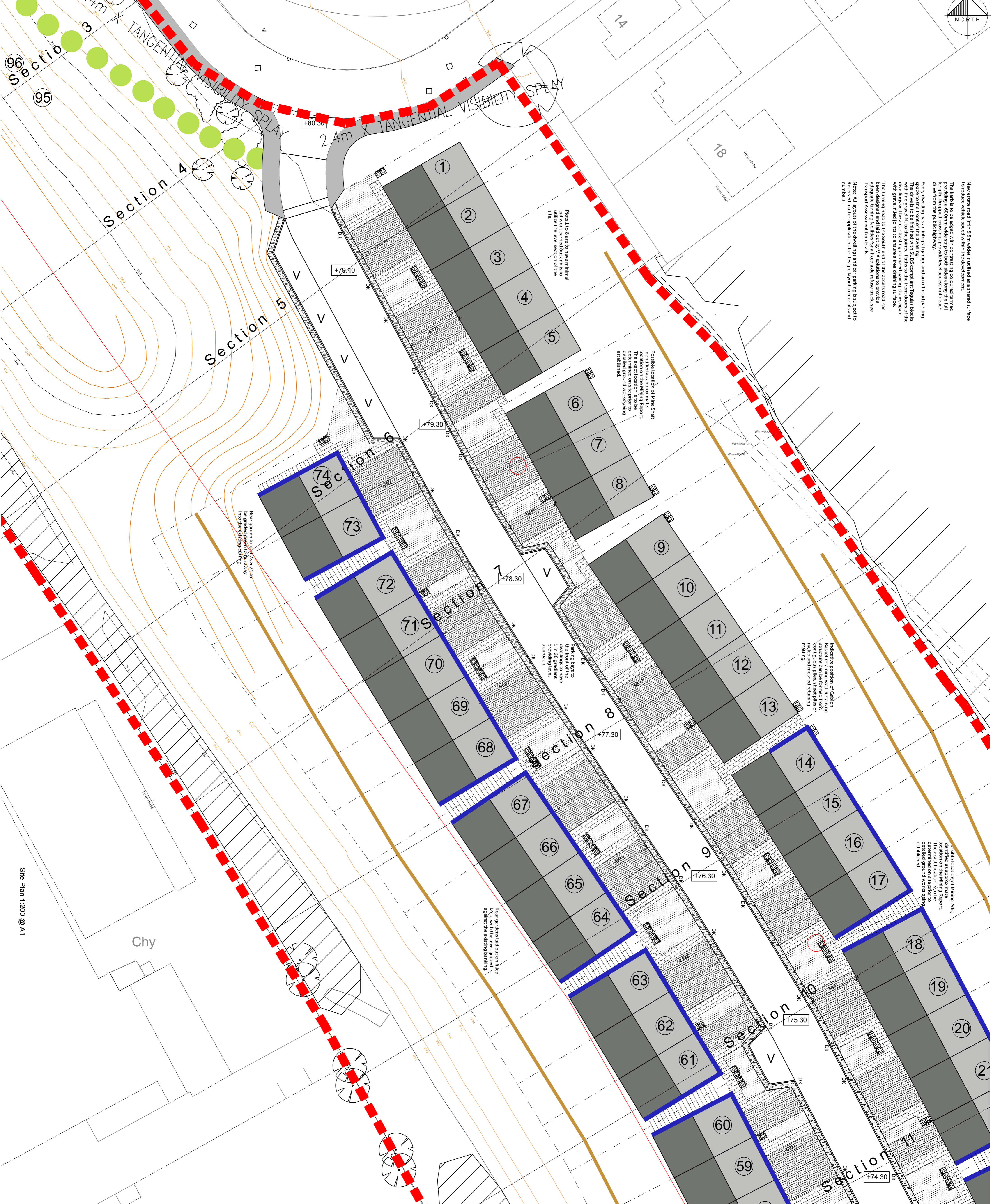
Indicative position of Gabion structure can be formed from contiguous piles, sheet piles or milled and meshed retaining.

Possible location of Mining Adit. Identified as approximate location on the Mining Report. The location of the adit is determined on site prior to detailed ground works being established.

Rear garden laid out on filled land with level graded against the existing banking.

Rear garden to Plot 73 & 74 to be graded down to hill away into the existing cutting.

- 600mm Overall perimeter edging the shared surface.
- Private drives to be finished with Trogler Blocks providing a SUDS compliant surface.
- Private paths from the highway to the entrance door finished with paving to provide SUDS compliant surface.
- Private gardens, lawns or low level planting to ensure open views along the development.



Site Plan 1:200 @ A1

Rev	Description	Date	By	App'd

Client:	Ernest Gordon Ltd
Project:	Outline Residential Use at Disused Railway Cutting, Heckmondwike.
Drawing Title:	Proposed Part Site Plan
Project No:	2014-034
Drawn No:	PL220
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By:	AR

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1 of 2
PLANNING

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