
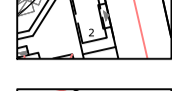


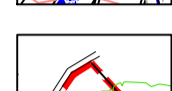
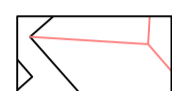



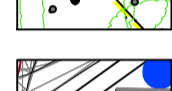


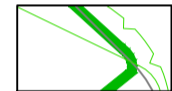

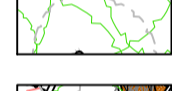



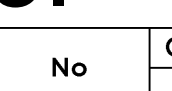
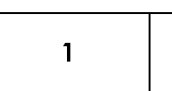


Key

-  Plot gate access.
-  Plot parking.
-  Plot front door and level access.
-  Plot rear access.
-  Private drive.
-  Red line submission boundary.
-  House type reference and plot number.
-  2m high screen wall.
-  1.8m high screen fence.
-  Existing 1.3m high drystone wall with 2.4m high Weldmesh fence behind.
-  Existing 2.4m high weldmesh fence with neighbours timber fence behind to be retained.
-  1.0m high metal railings and gates.
-  Min 2.2m high (from Brigade land) brick wall with piers and infill timber panels.
-  New 2.4m high Green Steel Weldmesh and timber acoustic fence.
-  New 2.4m Green Steel Weldmesh fence.
-  Existing neighbours post/timber fence and bushes retained.
-  New 0.45m knee rail fence to delineate protected private woodland.
-  Existing tree's retained with RPA zone.
-  Existing tree's to be removed.
-  Grit bin locations, detail to be agreed.

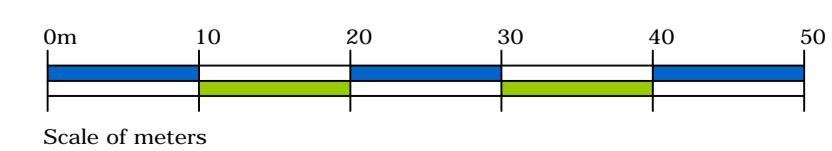


Schedule.

| TYPE ABB | TYPE NAME | No | GROSS INTERNAL FLOOR AREA (GIA) | | GIA TOTALS PER TYPE | | Tenure |
|----------|-------------|----|---------------------------------|--------|---------------------|--------|--------|
| | | | SQFT | SQM | SQFT | SQM | |
| Ry(a) | Ryedale A | 1 | 902 | 83.80 | 902 | 83.80 | |
| Ry(b) | Ryedale B | 1 | 950 | 88.26 | 950 | 88.26 | |
| Ry(C) | Ryedale C | 1 | 965 | 89.65 | 965 | 89.65 | |
| Ny | Newby | 1 | 1085 | 100.80 | 1,085 | 100.80 | |
| Nu | Nunnington | 4 | 1109 | 103.03 | 4,436 | 412.10 | |
| St | Studley | 4 | 1167 | 108.41 | 4,668 | 433.66 | |
| Ha | Harewood | 2 | 1429 | 132.75 | 2,858 | 265.51 | |
| In | Ingleton | 2 | 1446 | 134.33 | 2,892 | 268.67 | |
| No | Nostell | 2 | 1500 | 139.35 | 3,000 | 278.70 | |
| Sa | Sandringham | 2 | 1596 | 148.27 | 3,192 | 296.54 | |
| Sh | Shelley | 3 | 1600 | 148.64 | 4,800 | 445.92 | |
| Co | Collingham | 2 | 1826 | 169.64 | 3,652 | 339.27 | |
| Ba | Bamburgh | 3 | 2248 | 208.84 | 6,744 | 626.52 | |

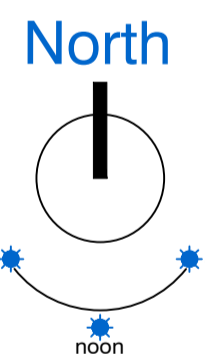
Affordable Units

| | | | | | | | |
|----|--------|---|-----|-------|-------|--------|--|
| Be | Bedale | 2 | 884 | 82.12 | 1,768 | 164.25 | |
|----|--------|---|-----|-------|-------|--------|--|



Designers of the Built Environment

Scale: 1:500 @ A1
Date: 27/11/17
Dwg No: SK-04



Client: Rouse Homes Ltd.
Site: Birkenshaw
Plan: Boundary Layout 1:500.