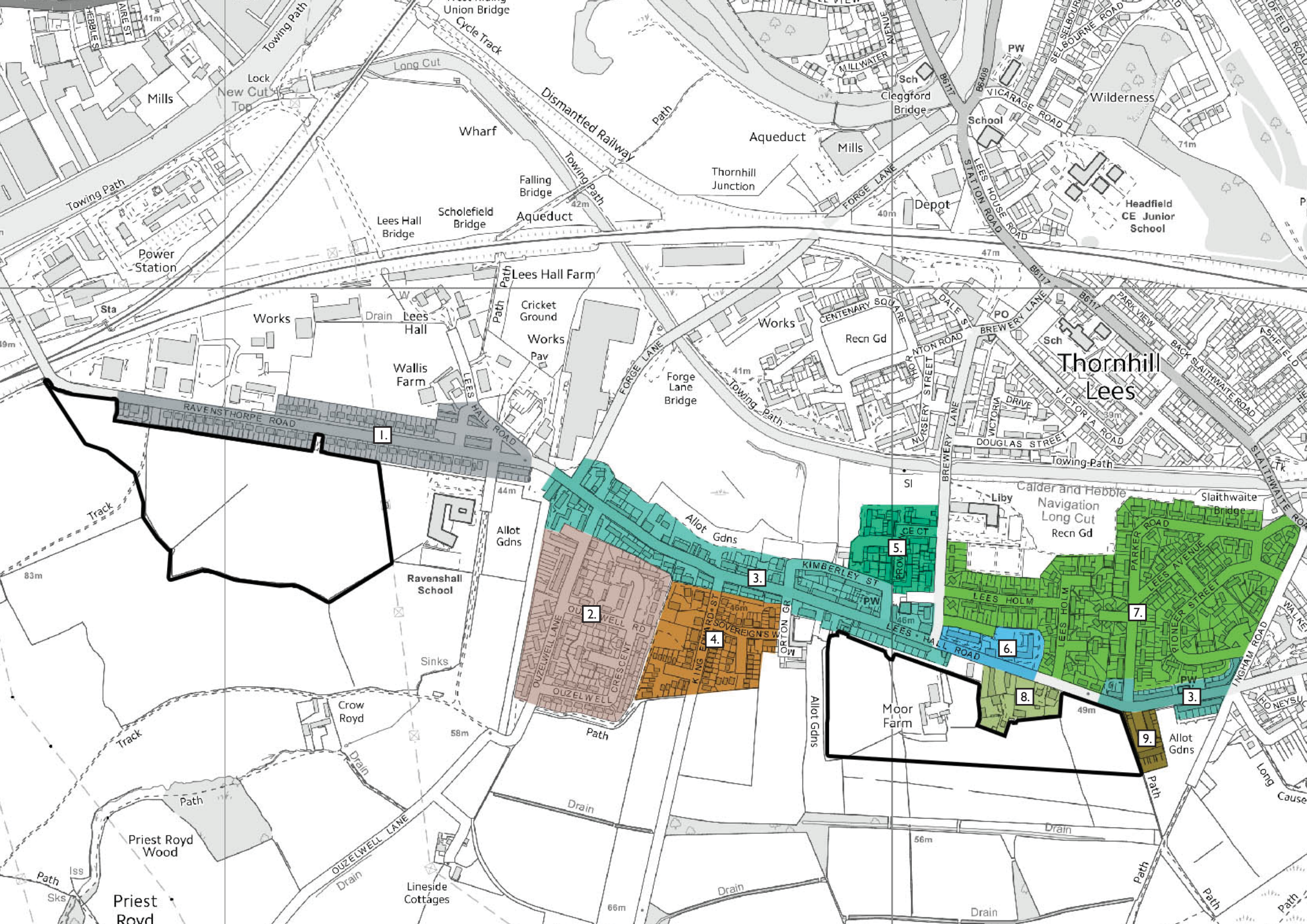
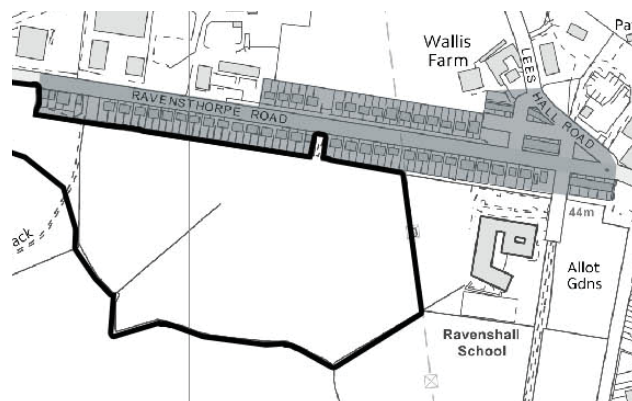




Character Area Appraisal

Character Area I - Ravensthorpe Road

- This character area is linear and defined by the main road running through the area
- The width of the street is approximately 30m from front elevation to front elevation.
- The roads and pavement are wide with larger front gardens of the semi detached units which are the predominant housing types in this area
- Other house types can be found, in particular, behind the pocket park off Ravensthorpe Road is a row of red brick terraced units with back yards fronting out over the park
- The housing is made up of 2 story homes with some loft conversions
- Other than the pocket park there is little greenery many residents have driveways with some low lying vegetation
- The width of Ravensthorpe Road suggests that avenue trees have been removed.



Row of Victorian terrace housing towards the roundabout of Forge Lane and Lees Hall Road.



Main house type found in the character area was built around early mid 20th century. Hard surfaces dominate. Mature trees form focal points.



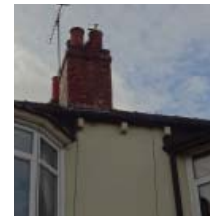
The large semi detached properties make up most of the housing and building materials vary to front elevations.



A small Radburn estate between Lees Hall Road and Brewery Lane adjacent to public open space



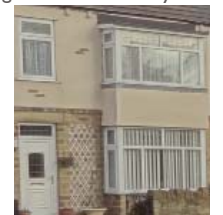
Surface Treatment: Tarmac roads with slabs and concrete blocks on pavements and driveways



Roofing: Slate, clay or concrete roof tiles. Steeply pitched, hipped roof with deep eaves and central chimneys



Boundary Treatment: Mainly walled boundaries of either brick or concrete. Between plots some low metal fencing but this does vary



Brick Work: The brick work changes with each house type. The semi detached units have a variety of bay window treatments

Character Area 2 - Ouzelwell

- The area is a standard block estate pattern with main through route leading to a farm track
- The area is mainly made up of early to mid 20th century Local Authority housing
- More commonly 22m from front elevation to front elevation
- Small front and back gardens, predominantly grass at the front
- The massing is mainly semi-detached units, wide plot format, all 2 story
- There are areas of landscaping but this is mainly grassed over with an area of planting beds at the entrance
- Trees can be seen in gardens and in the Blackers Crescent area, however these are few and far between
- Not all homes have driveways and therefore on street parking is clearly seen



Photographic Street-scape Summary



Blackers Crescent cul-de-sac is made up of a small Radburn estate located at the entrance of Ouzelwell Lane



Mainly redbrick public housing make up the terrace row with gables on the end facing onto Ouzelwell Lane



1970's - 1980's housing facing Lees Hall Road. Based on a Radburn layout with informal parking on the pavement

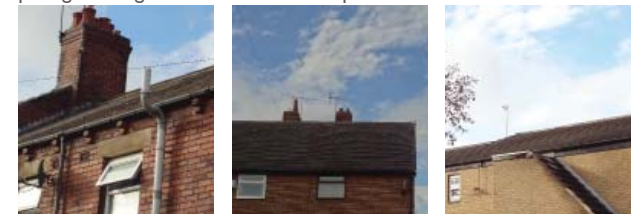


Similar to the street scape shown above, this estate is made up of the semi-detached units facing onto Ouzelwell Road and Ouzelwell Crescent

Materials Study



Surface Treatment: The area is made up of tarmac roads with some paving defining the boundaries of the pavements



Roofing: High pitched dual tiled roofing on the red brick dwellings. On the Blackers Crescent housing, the pitch is lower and asymmetric



Boundary Treatment: Some walls are used in front of dwellings but grass or other vegetation is more widely used

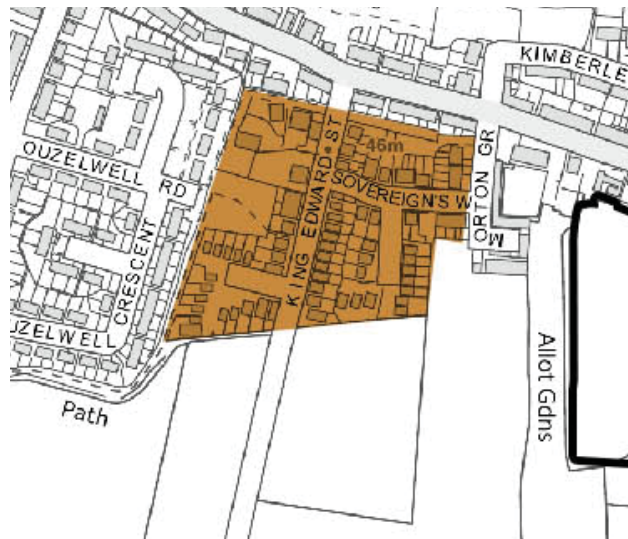


Brick Work: Red/brown bricks are more commonly used apart from the Blackers Crescent housing which is made up of buff bricks

Character Area Appraisal

Character Area 3 - Area off King Edward Street

- The area is mainly made up of late 20th and early 21st Century housing
- 18m - 22m from front elevation to front elevation with an offset building line
- Front gardens manicured and well kept with a variety of shrubs used. Open plan boundaries defined by shrub planting
- The massing is a varied range from terraces, semi-detached and detached and also varies from 1, 1 1/2 to 2 story homes
- The areas of landscaping are manicured and well kept
- There are few large trees in the area but more shrubs and other low lying vegetation
- Most homes have driveways but on street parking is still evident.



Photographic Street-scape Summary



Street scape near the entrance to King Edwards Street is made up of a range of different house types before typology becomes more uniform



Housing along Sovereign's Way varies in storey heights from one to two story dwellings. Building materials are uniform.



Terraced housing along Morton Grove constructed in natural stone, newer homes appear to be constructed in artificial stone for continuity.



Sovereign's Way and Tudor Way have bugalows opposite two story homes. Front boundaries are low and comprise soft landscape

Materials Study



Surface Treatment: Both the pavements and the roads are made up of tarmac with curb stones defining the separation



Roofing: It varies in roof pitches and plastic gable end verge materials, however, the roof tiles themselves appear to be concrete or natural slate

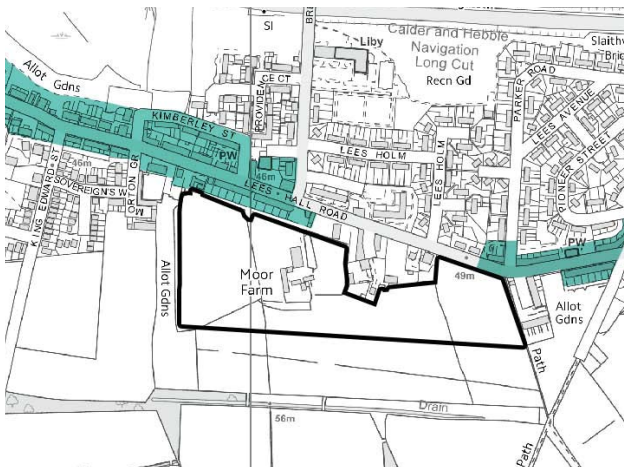


Boundary Treatment: The boundary treatments are a mixture of shrubs, planting, fencing and grassed areas



Brick Work: buff colours predominate and although dwellings were constructed at different times, the colour gives continuity

- This character area is linear and defined by the main road running through the area
- The area is mainly made up of late 19th Century Victorian stone terraces
- The front elevation distances vary from 15m to 22m with areas where the road gets very narrow
- The terraced units have small front gardens and some houses sit at the back of the pavement
- The massing is mainly two storey terraced units.
- There is limited landscaping at the front of the properties and very little public open space or significant landscape features along the street
- Parking is mainly on street at the front of the properties. The road is narrow and parked become traffic calming features as they restrict the available highway width for two way traffic.



A photograph showing a row of traditional stone terraced houses in a residential street. The houses are built of light-colored stone and have multiple windows. A large, dark evergreen tree stands in front of one of the houses. The street is paved, and a red car is visible on the right side. The sky is overcast.

Most commonly found terraced housing along Lees Hall Road along the same building line made from stone



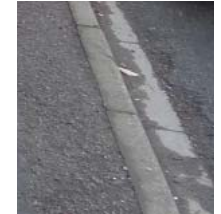
Small cul-de-sac of terraced units with gable ends facing Lees Hall Road, made from buff stone



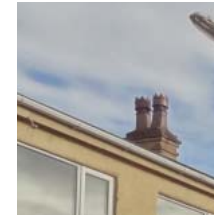
Lees Hall Road east of the fish and chip shop. The front façades are not all the same with some painted brickwork and different windows and doors



Materials Study



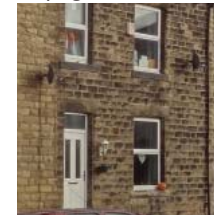
Surface Treatment: The area is made up of tarmac roads with concrete kerbs and edgings.



Roofing: Slate roofs pitched front to back with chimneys halfway down the roof. Shallow eaves with brackets and fascia boards tight above lintel



Boundary Treatment: The front yards boundary treatments vary from low walls to fencing. Mostly low maintenance landscaping



Brick Work: Mainly stone of differing colours

Character Area Appraisal

Character Area 5 - Providence Court

- New Miller Homes housing estate with one point of access from Brewery Lane and no through route
- Built around the last 10 years
- Well enclosed streets and squares
- More commonly 21m from front elevation to front elevation but building lines vary
- Small front gardens front boundaries railings hedges or shrubs. Street trees traffic calm in key locations
- The massing varies from a row of town house terraces to semi-detached and detached units.
- Story heights are 2, 2.5 and 3 storey
- There is a landscaped public open space with play equipment



Photographic Street-scape Summary



Providence Court southern cul-de-sac with a range of 2 and 2 1/2 story terrace dwellings with parking court for residents



Apartment homes above garage space

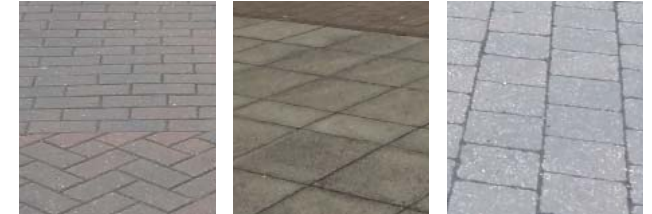


Providence Court buff and red brick homes with the buff dwelling turning the corner

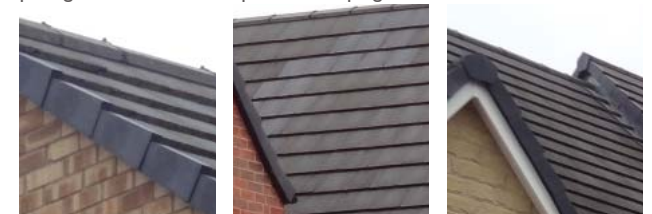


Main street scape towards the estate entrance with bollards helping reduce parking in area where it would restrict resident vehicles moments

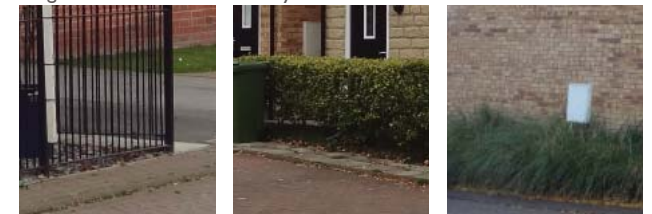
Materials Study



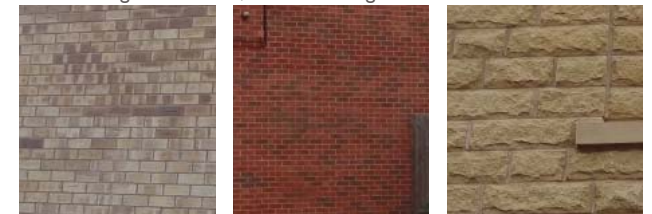
Surface Treatment: The surface treatment is made up of different paving with a variation of patterns, helping to define different areas



Roofing: Standard modern roofing materials with plastic gable end verge materials and no chimneys



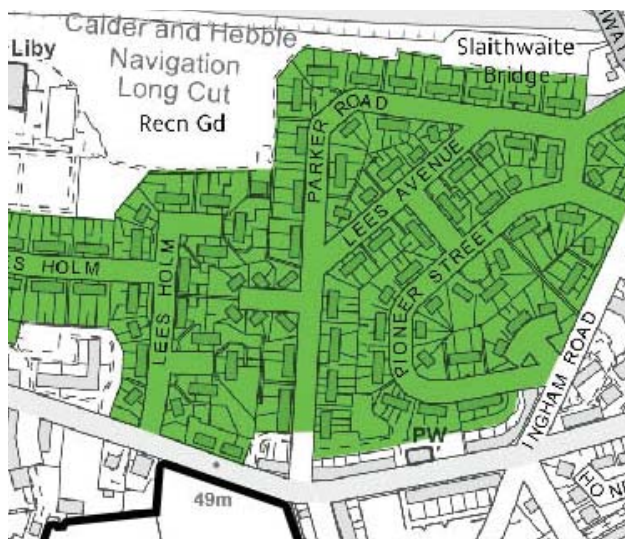
Boundary Treatment: These are made up of small bushes or shrubs, black fencing and bollards, with areas of grass land



Brick Work: This varies in colour from red to buff with artificial stone

Character Area 6 - Parker and Lees Roads

- Early to mid 20th Century Local Authority housing following garden suburb principles
- Front elevation to front elevation approximately 23m
- The housing tends to have large front gardens, some with driveways, however on street parking is commonplace.
- Higher front boundary treatments create the perception of a narrower street width.
- The housing typology is predominantly terrace and semi-detached units with some single storey but mainly 2 storeys.
- Some large well established trees can be found in pockets of landscaping / public open space. These are individual trees in grassed areas.



Photographic Street-scape Summary



Cul-de-sac of Lees Holm. The street is very narrow with areas of public open space being used for parking



End of Lees Holm looking towards the estate entrance off Lees Hall Road



Standard row of 4 terraces with parking court in front of dwellings



Large terraced units with walled boundaries and no driveway

Materials Study



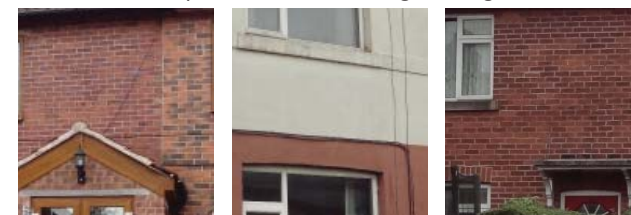
Surface Treatment: Both the pavements and the roads are made up of tarmac with concrete curb stones defining the pavement edge



Roofing: Original tiles are profiled red clay pantiles. Gables articulate mid terraces or bookend end units. Some solar panels are in evidence.



Boundary Treatment: The boundary treatments are higher than elsewhere and comprise brick, timber fencing and hedges.

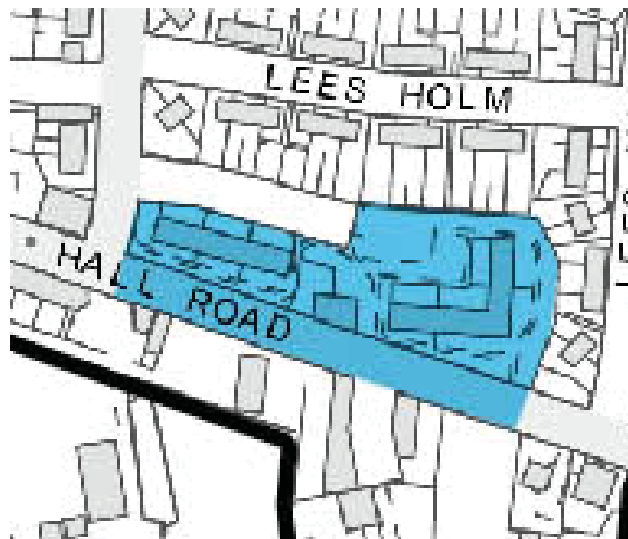


Brick Work: Red bricks dominates this character area with some houses having red and white render

Character Area Appraisal

Character Area 7 - Lees Hall Road Centre

- This is a small Radburn estate built around the late 20th Century
- The building form are terraces based around a cul-de-sac with back gardens and resident parking on Brewery Lane
- Front elevation to front elevation on Lees Hall Road is approximately 24m, this is much greater at the rear of the properties
- The boundary treatments are low walls separating the back gardens from the parking court
- The dwellings are all 2 stories, with small windows facing out towards the communal parking court
- Homes facing Lees Hall Road are stepped back from the main road with grassed landscaped public open space in front of the properties



Photographic Street-scape Summary



End of Brewery Lane showing the housing typology and large trees in the public space. Bollards prevent parking in some areas



Rear gardens of the Radburn estate fenced off for security, over looking the parking court



Front elevations over looking Lees Hall Road with landscaped grassed area in front of properties with a large tree lining the road



Front elevations over looking Lees Hall Road.

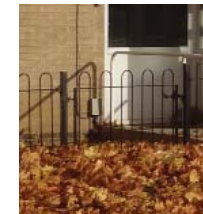
Materials Study



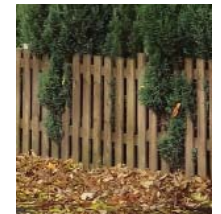
Surface Treatment: Both the pavements and the roads are made up of tarmac



Roofing: Low pitched dual pitched roof with shallow eaves



Boundary Treatment: Varies from fencing, grass land or fencing



Brick Work: Predominant facing materials are brick, hung tiles or weatherboard in buff brick and light coloured weatherboard



Character Area 8 - Chestnut Terrace

- This is a small cul-de-sac of houses and made up of mainly terraced homes built around the late 19th Century
- There are some detached homes, that are newly built and have taken into account the surrounding aesthetic in colour
- The boundary treatments between gardens are low lying shrubs or fencing with some properties having no boundary between the garden and the road to allow the front garden to be used for parking
- The homes are mainly 2 stories with 1 newer built property having a loft conversion making it 1 1/2 story
- The community centre also gives the area a village feel



Photographic Street-scape Summary



The frontages of the terraced units near the entrance to Chestnut Terrace have varying garden qualities, with brick and fence boundaries



Terraced units near the street entrance to Chestnut Terrace opposite the community centre

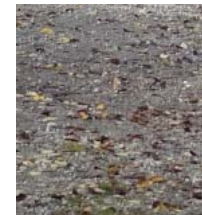


Driveway to terraced refurbished units. Possibly one dwelling with pebbled driveway and established trees



New build home on Chestnut Terrace made of sympathetic materials to match the surrounding housing

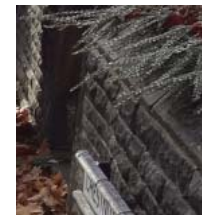
Materials Study



Surface Treatment: The pavements and the roads are made up of tarmac with some gravel driveways.



Roofing: The roof material on the older properties are slate, the newer buildings could be artificial slate



Boundary Treatment: The treatments vary from stone walls to shrubs and also fencing

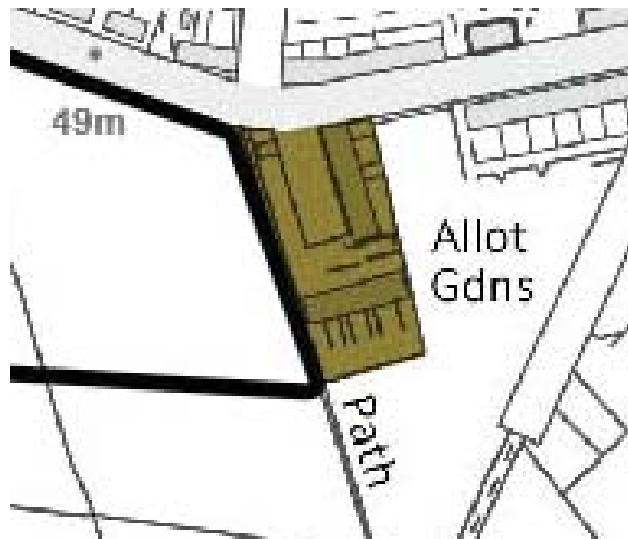


Brick Work: natural stone predominates

Character Area Appraisal

Character Area 9 - Olympia Gardens

- New housing estate with one point of access from Lees Hall Road with no through route
- Built around the last 10 years
- This small estate has no front elevation facing each other but does have homes looking at gable ends and this distance is around 14m
- Small front gardens predominantly used for driveways with grass verges for separation between plots
- The massing is mainly terraced units with rooms over garages
- Story heights are 2 and 2 1/2 throughout the small site
- There is no public open space within this development



Photographic Street-scape Summary



Olympia Gardens streetscape cul-de-sac showing of 2 and 2 1/2 story terrace dwellings with parking out front



The homes at the streets entrance either side are larger and made from a different material

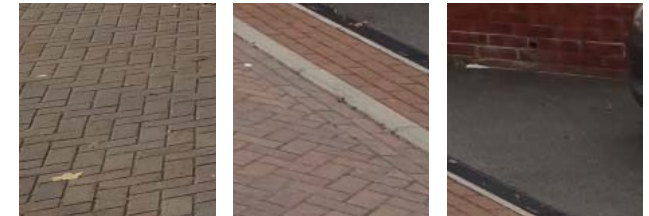


Homes at the end of Olympia Gardens cul-de-sac where the housing fronts are dominated by driveways and cars

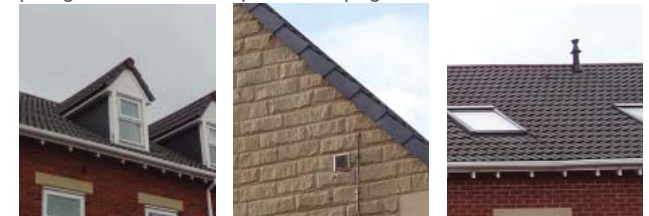


Olympia gardens entrance home made from buff stone and its a larger detached unit compared to the others within the street

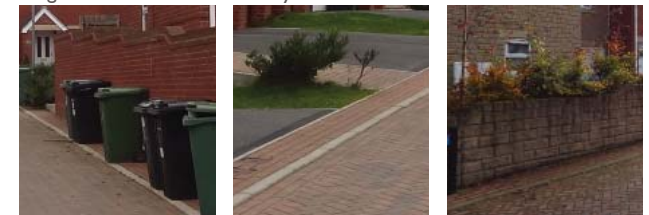
Materials Study



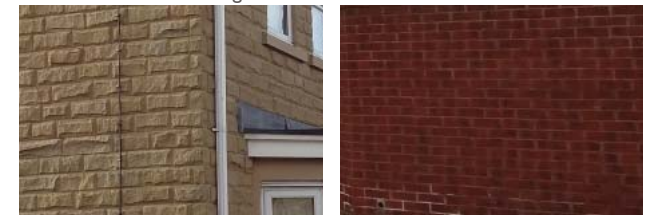
Surface Treatment: The surface treatment is made up of different paving with a variation of patterns helping to define different areas



Roofing: Standard modern roofing materials with plastic gable end verge materials and no chimneys



Boundary Treatment: These area made up of small walls, grass bounders and street tiling material



Brick Work: There are 2 main materials, red for the main housing within Olympia Gardens and buff stone for the entrance dwellings



Summary of Character Area Analysis.

Land off Ravensthorpe Road

The built forms adjacent to the allocated site are mainly two storey semi-detached homes, set within a wide street zone. Whilst some homes have drives to the side of houses, many are reliant on street parking, creating a strong sense of continuity and enclosure to the street space. Roves pitch front to back and many are hipped on Ravensthorpe Road. There are a variety of bay window treatments, to front elevations and the later addition of porches and extensions to many of the dwellings breaks down strict uniformity to the character of the area. Therefore whilst interfaces with the existing may respect the massing of the existing area, there are opportunities to create a different built form and character within the new development.

Land off Lees Hall Road

The several character areas in the immediate vicinity of Site B are predicated on mainly two storey terraced forms in both formal streets and informal village arrangements with gable forms onto the main street frontage. The site would offer opportunities to replicate these approaches within the new development, or take an alternative approach with different housing typologies within the body of the site.

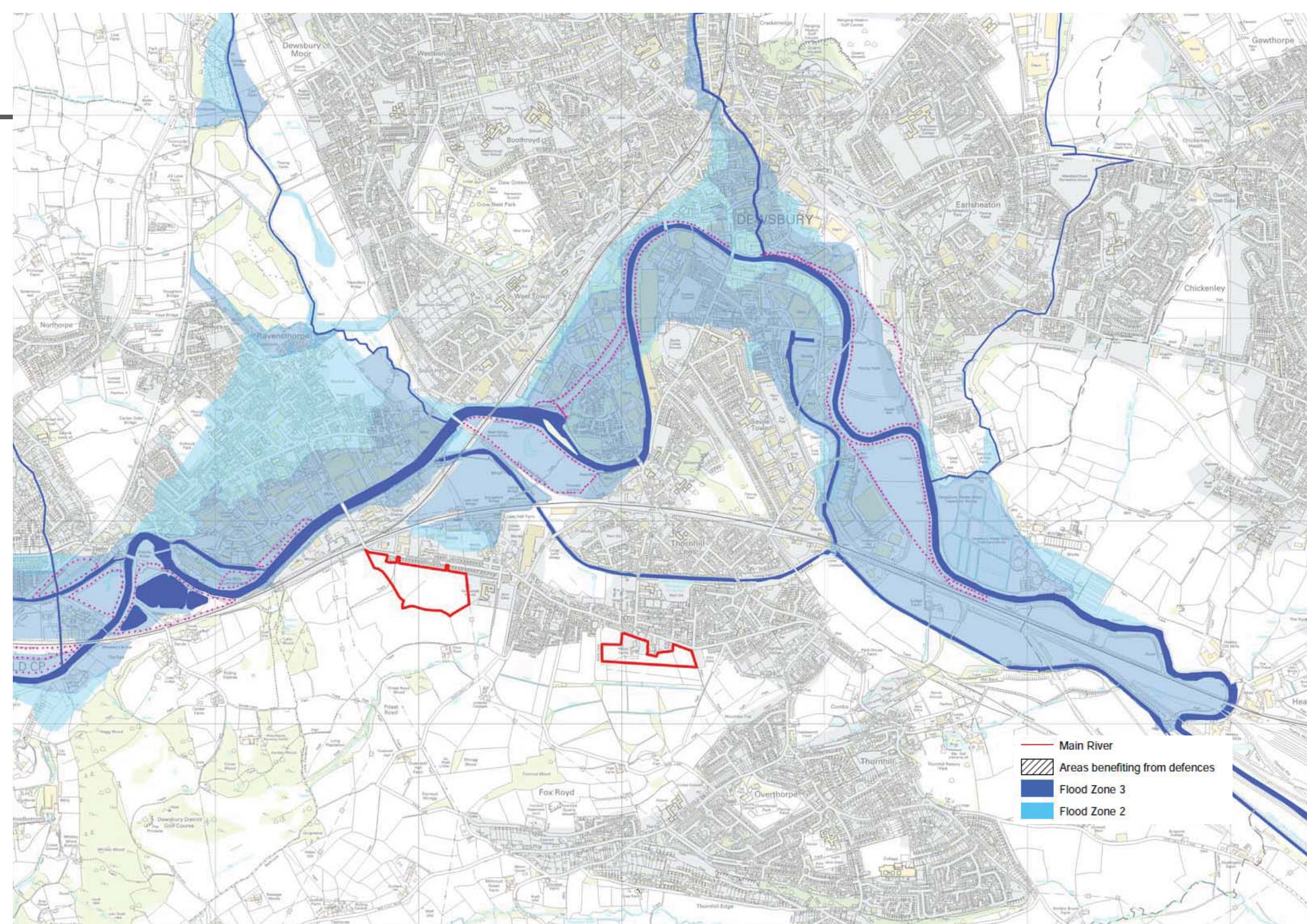
Retention of the existing farm house and stone built barns could offer the opportunity to create a distinctive space within the proposed development

The photograph over illustrates the mixture of older terraced housing and newer detached house in an informal arrangement to the rear of Thornhill Lees Village Hall. It should be noted that the character areas identified are on comparatively flat or gently sloping sites. An altogether

different village morphology exists on the steeper slopes to the south. These areas fall outside the scope of this document.

Emerging Design Principles:

- Respect the existing character of areas at any interface with those areas as part of the new development.
- Because of a multiplicity of building typologies and materials within the immediate vicinity, there is scope to enrich the townscape within the local area by taking a different approach to place making, within the new developments.



- Main River
- ▨ Areas benefiting from defences
- Flood Zone 3
- Flood Zone 2

Flood Risk and Drainage: Initial Assessment

The sites lie within Environment Agency flood risk zone 1 and therefore are considered sequentially preferable for development from a flood risk point of view.

There is adequate area within the sites to provide Sustainable Urban Drainage solutions (SUDs). Use can be made of the existing off site water courses to optimise attenuation within the sites.

In accordance with NPPF it is considered that the site are not affected by flooding and subject to attenuation of run off to greenfield rates with a consideration for climate change. Delivery of development will not exacerbate flooding to the wider catchment.



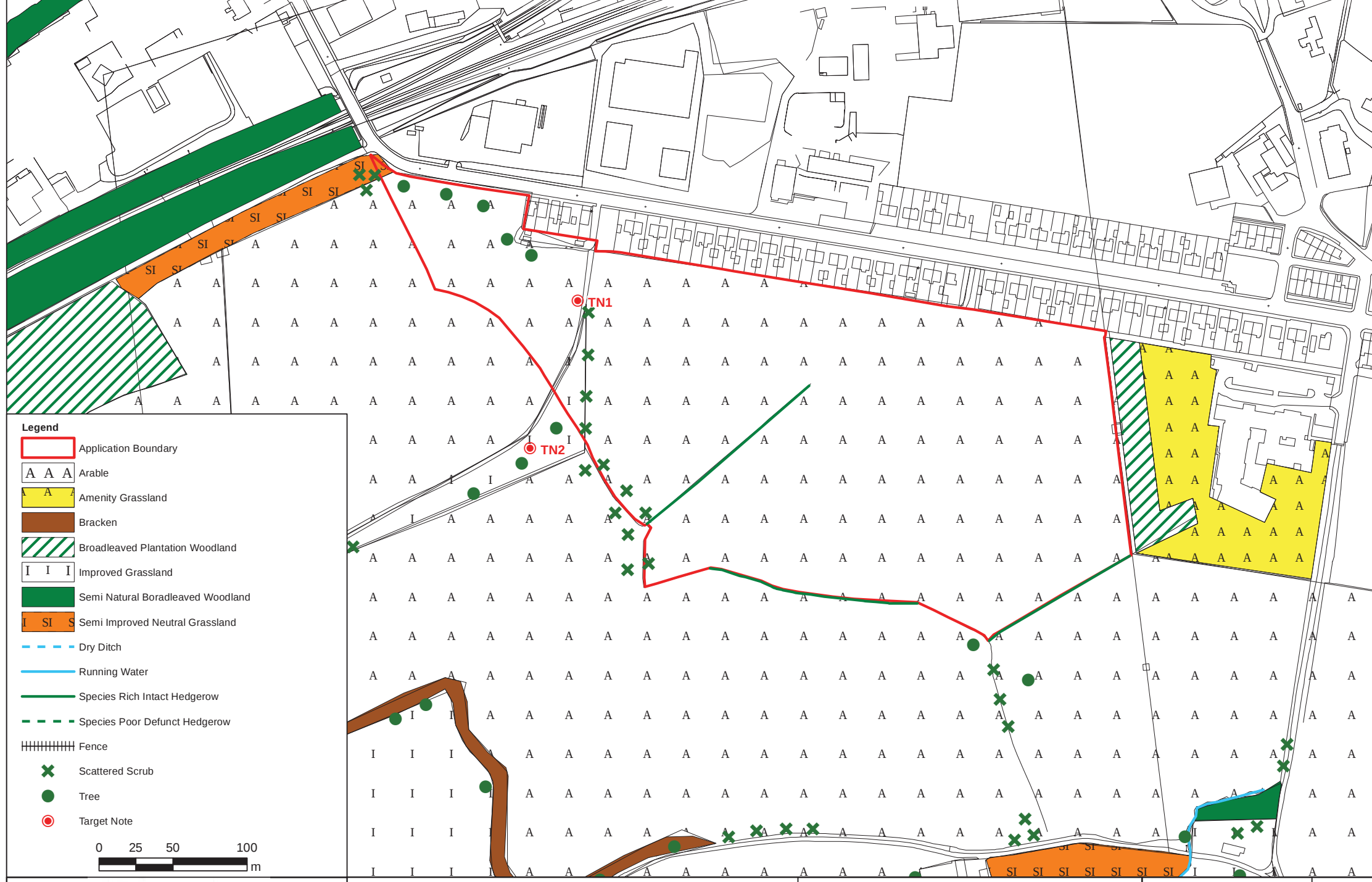
Topography

The wider area is sloping south to north with the steepest gradients towards Overthorpe in the south.

The gentlest slopes are on the eastern section of the POL site, to the south of Lees Hall Road.

Emerging Design Principles:

- Utilise existing topography to create SUDs attenuation ponds at low points close to the northern boundary, (dependant on outfalls)
- Reinforce footpath network on southern boundary to secure best views of surrounding landscape
- Exclude land from development parcels with gradients of 1:7 (on advice of GI consultant) , due to slope stability at higher gradients



Ecology: Land off Ravensthorpe Road

A Preliminary Ecological Appraisal (PEA) was undertaken on August 26th 2015, with subsequent updates to the baseline data made during the badger survey on 20th May 2016, and the hedgerow survey on 17th June 2016. The work was undertaken by AECOM who recorded and mapped all habitat types within the area along with any associated relevant ecological receptors observed. A note was made of visible instances of invasive non-native plant species including Japanese knotweed.

The report noted that all the habitats recorded are located in designated green belt and therefore are likely to contribute to wildlife corridors. No ponds are known to occur within the site. Six ponds within 500m of the site were identified by the desk study. These occur on third party land to the west of Sands Lane.

The survey was undertaken entirely from Public Rights of Way, roads and other areas with public access. This did not overly constrain the survey as the site is well served by public rights of way and all habitats were clearly visible, as the site is dominated by open fields of arable and pasture. The Aecom report notes that there are records of otters, badgers, newts and various bat species close to, but not recorded within the site.

Ecological Constraints

The main ecological constraints associated with the site and to be taken into account when developing the masterplan are:

- Hedgerows and mature trees; and
- Bats

Ecological Design, Mitigation and Enhancement Recommendations

The AECOM report notes that the following recommendations should be addressed as appropriate in the future development proposal, including the associated masterplan.

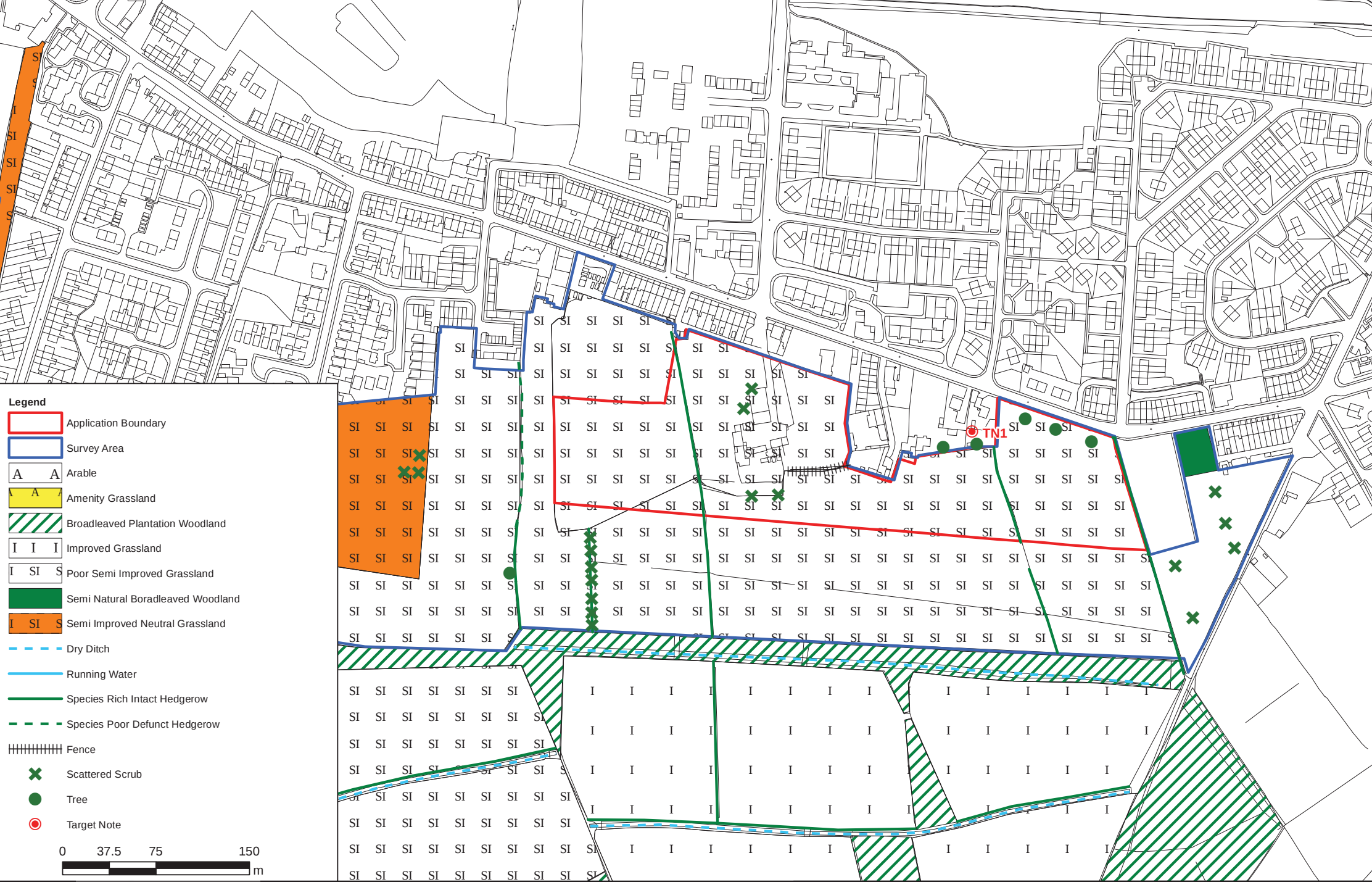
- Site masterplan to include proposals to maintain and where feasible enhance habitat connectivity across the site with reference to the retained habitat network along the southern site boundary.
- All new habitats to be of native composition.
- Biodiversity to be a design consideration when specifying SUDs
- Ensure that the tree of bat roost potential on the southern boundary is taken into account by the masterplan to demonstrate no risk of impact, including from lighting;
- Lighting scheme to be designed with reference to avoiding impacts on bats and
- Include provision for bird nesting and bat roosting habitat in the structure of new dwellings and provision for hedgehog access in gardens

Mitigation Requirements

- Compensate for any local hedgerow loss (where unavoidable) through new plantings of native tree and shrub species and deliver species rich new habitat;
- Mitigation for breeding birds will need to be implemented at site clearance and construction and
- Re-check for badger periodically e.g. prior to submission of full application and prior to site clearance to confirm continued absence.

Emerging Design Principles:

- Maintain and enhance habitat connectivity across the site, with reference to the retained habitat network along the southern site boundary
- All new habitats to be of native composition
- Biodiversity to be a design consideration in SUDs scheme design
- Explore options for dark zone external lighting scheme at a more detailed planning stage to mitigate potential impact on bat roosts.
- Include provision for bird nesting bird and bat roosting habitat in the structure of new dwellings and provision for hedgehog access in garden boundaries.
- Compensate for any local hedgerow loss (where unavoidable) through new plantings of native tree and shrub species to deliver species rich new habitat.



Phase I Habitat Map: Drawing number 60473775 by AECOM

Birds

The site is predominantly managed pasture, and is located on the urban fringe where it backs onto existing residential properties and other potential sources of disturbance. The site is subdivided and enclosed by surrounding hedgerows plantations and dwellings which results in poor sight lines and such conditions are less attractive for flock forming bird species or wintering bird species.

There is poor connectivity to wetland habitats in the wider landscape, making it unlikely that the site would have a specific attractant value as foraging habitat for species of water birds.

Barn Owl

The outbuildings at Moor Farm were considered to have potential to be used by barn owl for either roosting or nesting. No barn owls were observed, so it was considered that the potential for barn owl to be using the outbuildings was low. There are no desk study records to indicate that barn owl is present in the local area.

Bats

The desk study identified a number of bat roosts in the surrounding area, with foraging bat activity across the site. No roosts were found at Moor Farm.

Badgers

No evidence of badger were found within the site or adjacent habitats and there are no desk study records for the area.

Other species

There is potential for hedgehogs to use the site as habitat

conditions are suitable for foraging.

The site has some suitability for brown hare, but proximity to habitation limits the likelihood of occurrence and no observations of brown hare were made.

Great Crested Newt

There are no watercourses within or adjacent to the site. The desk study identified no ponds within the site or within 500m of the site. Therefore the potential presence of protected species associated with pond habitats can be scoped out.

Habitat

None of the hedgerows in the site are species-rich. None of the hedgerows appear to be of ancient origin and none support assemblages of woodland ground flora.

Ecological Constraints

The main ecological constraints associated with the site when developing the masterplan are:

- Hedgerows and mature trees
- Bats ;and
- Hedgehog

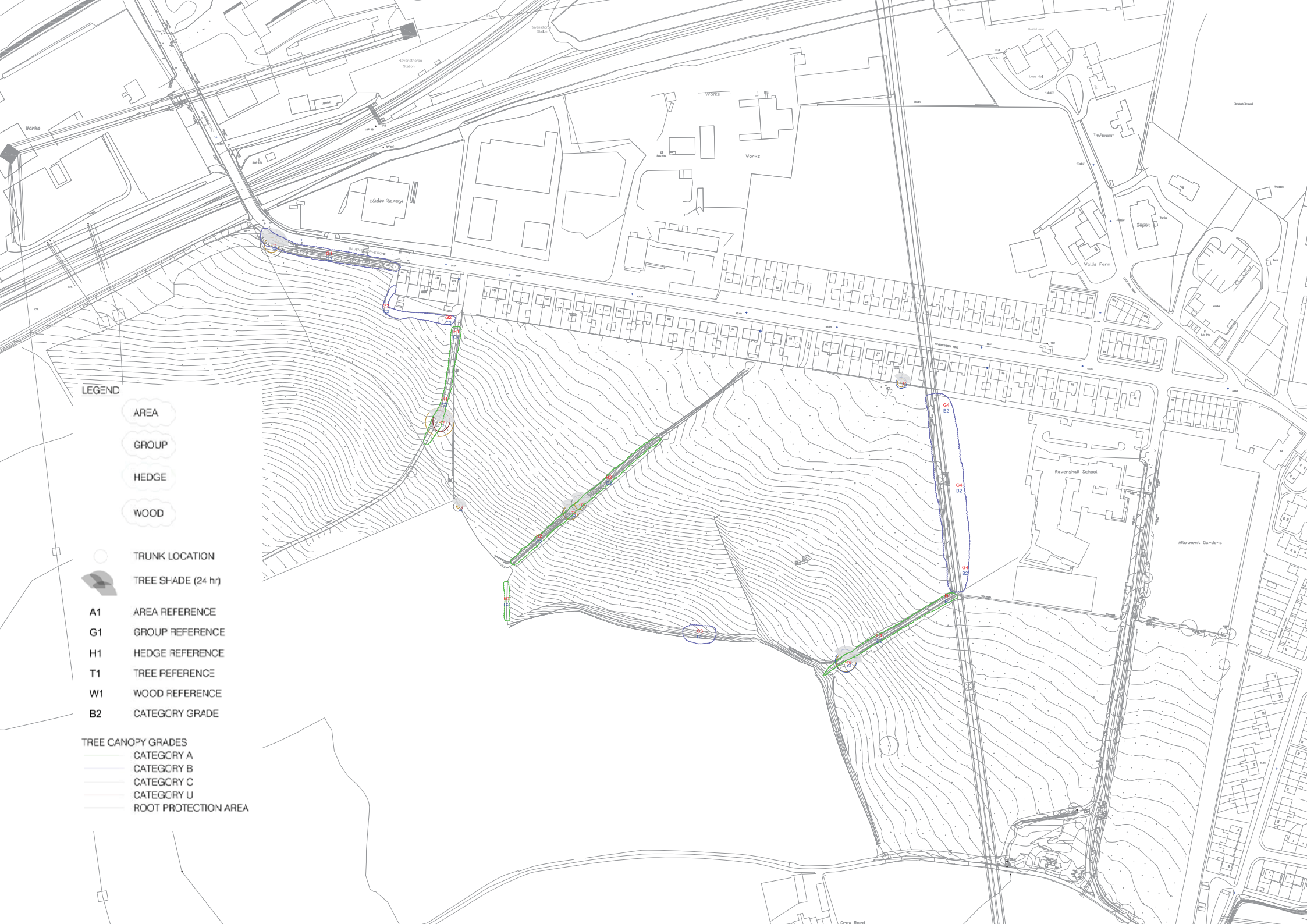
The recommendations for ecological risk avoidance and mitigation requirements follow the same principles as for the Ravensthorpe Road scheme:

- Site masterplan to include proposals to maintain and where feasible enhance habitat connectivity across the site with reference to the retained habitat network along the southern site boundary.
- All new habitats to be of native composition.
- Biodiversity to be a design consideration when specifying SUDs

- Ensure that the tree of bat roost potential on the southern boundary is taken into account by the masterplan to demonstrate no risk of impact, including from lighting;
- Lighting scheme to be designed with reference to avoiding impacts on bats and
- Include provision for bird nesting and bat roosting habitat in the structure of new dwellings and provision for hedgehog access in gardens

Mitigation Requirements

- Compensate for any local hedgerow loss (where unavoidable) through new plantings of native tree and shrub species and deliver species rich new habitat;
- Mitigation for breeding birds will need to be implemented at site clearance and construction and
- Re-check for badger periodically e.g. prior to submission of full application and prior to site clearance to confirm continued absence.



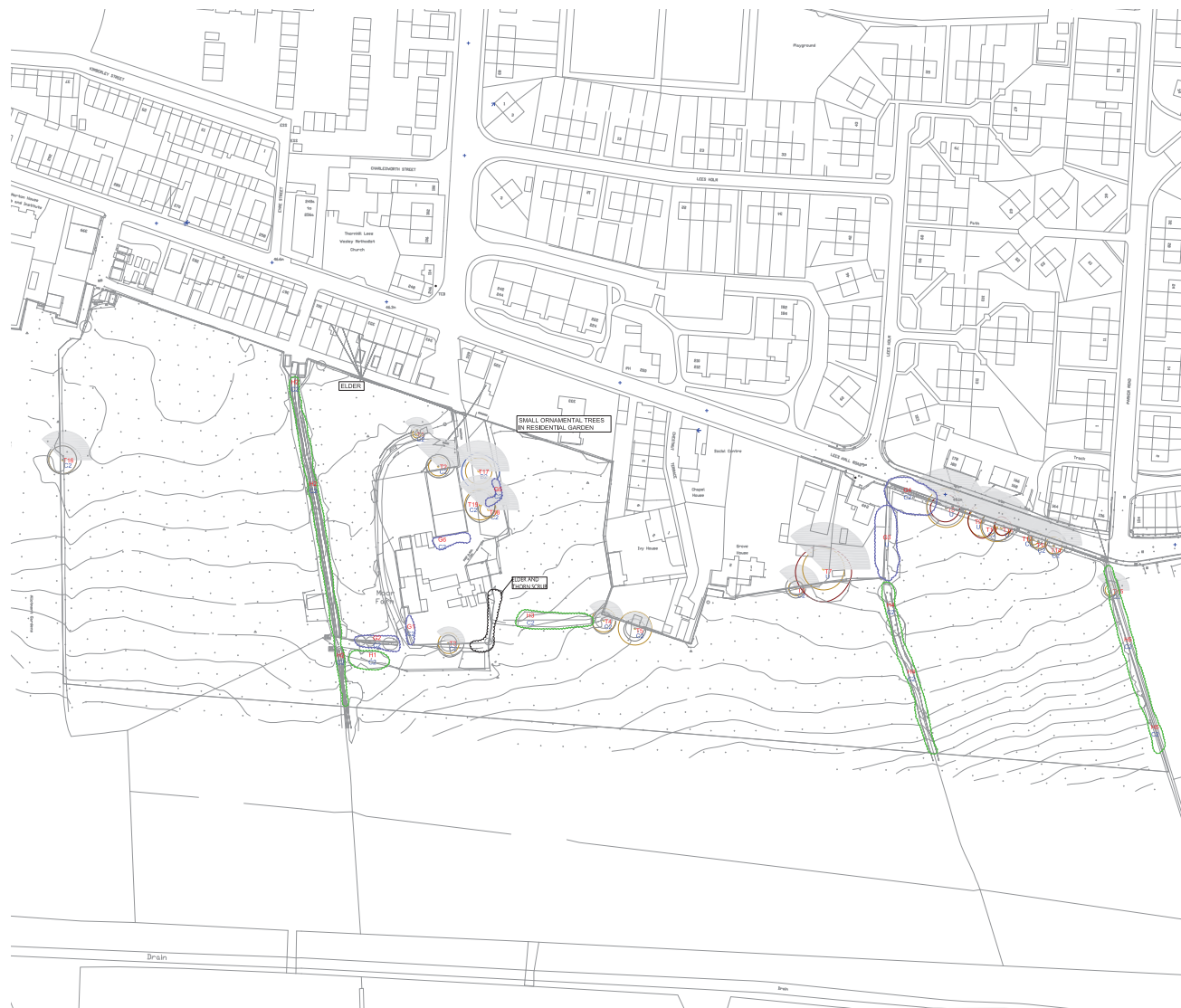
LEGEND

- AREA
- GROUP
- HEDGE
- WOOD

- TRUNK LOCATION
- TREE SHADE (24 hr)
- A1 AREA REFERENCE
- G1 GROUP REFERENCE
- H1 HEDGE REFERENCE
- T1 TREE REFERENCE
- W1 WOOD REFERENCE
- B2 CATEGORY GRADE

- TREE CANOPY GRADES
- CATEGORY A
- CATEGORY B
- CATEGORY C
- CATEGORY U
- ROOT PROTECTION AREA

Trees: Lees Hall



A tree report was produced on behalf of Miller Homes by Iain Tavendale in October 2016. Most of the trees surveyed fall within Category C of British Standard 5837 with a few in category B.

Category C trees are described as:

“Trees of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm”.

Category B trees are described as:

“Trees with moderate quality with an estimated remaining life expectancy of at least 20 years”.

The recommendation in relation to the category C trees is to remove or retain in accordance with the development proposals.