

Planning and Building Regulations
Drawings to be used in conjunction with the building regulation notes pages 1 to 14
The structural engineer's drawings and calculations supersede information on the mfg and bc drawings.
Any alterations to the design or construction must be approved by the builder and / or the supervising officer.

Builders must accelerate the official, stamped approval points before commencing work and comply with all the rules therein.

These drawings have been prepared for planning and building regulation submission only and therefore all forms of construction and detailing are solely the responsibility of the builder.

The Contractor / Builder is responsible for checking site dimensions, materials etc., and all building work, such work being checked by Building Control on site, as may be appropriate.

mfg / bc decision may liability for work carried out.

All dimensions to be checked on site before work commences.

Check position and verify, flow direction and invert levels of all existing drainage before work commences on site.

Permission from adjoining neighbours
Where necessary client / owner is to obtain written permission from adjoining neighbours whose boundary or property may be affected upon dating or other construction.

In principle, when erecting a new building or extension to a building, you can construct it up to the boundary but must not encroach over the adjacent land without the express consent of the adjoining owner.
This means keeping all elements, including temporary scaffolding, the projection of foundations, walls, chimney stacks, opening windows, beams etc. within the confines of your own land.

Planning or Building Regulations approval does not constitute any modification of your neighbour's rights of light, rights of way or easements.

In the event of a dispute arising client should obtain legal advice immediately.

The Planning and Building Regulations system can do nothing to assist owners when boundary disputes arise.

Part 1 will not 1995

Locations of both adjoining properties must be in agreement of the construction work and the detail of the construction before work commences on site.

The builder to agree with and notify adjoining owners if work is to be carried out on adjoining property.

Planning conditions
There may be planning conditions to comply with in accordance with the planning approval notice.

CDM Regulations
The builder will need to comply and include for Health and Safety, Construction Design Management

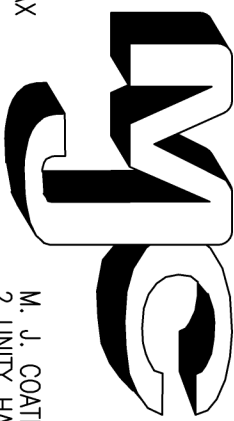
the relevant regulations and ensure that all work is carried out in accordance with the regulations. The builder can act as contractor or principal contractor.

<http://www.bes.gov.uk/construction/cdm/2015/democratic-claims.htm>

- ☐ ACCESS HATCH
- ☒ SMOKE DETECTOR
- ☒ HEAT DETECTOR

Drainage Key

- EXISTING UNDER GROUND SW DRAINAGE
- PROPOSED UNDER GROUND SW DRAINAGE
- PROPOSED ABOVE FW DRAINAGE



TELEPHONE / FAX
0113 2923625
DESIGN AND BUILDING
SERVICES
WAKEFIELD
WF3 1ED

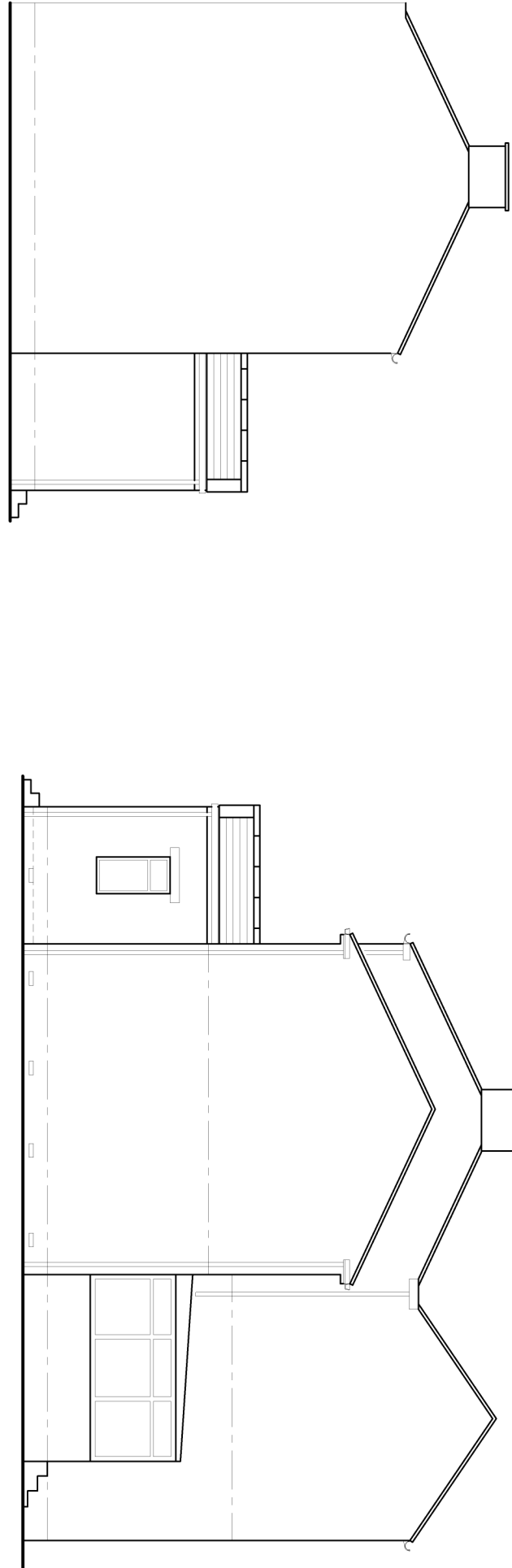
LAND SURVEYS - COMPUTER AIDED DESIGN - STRUCTURAL ENGINEERS - QUANTITY SURVEYORS
CDM PLANNING SUPERVISORS - BUILDING SERVICES

CLIENT
25A FLASH LANE
WIREFIELD
WEST YORKSHIRE
WF14 0PJ

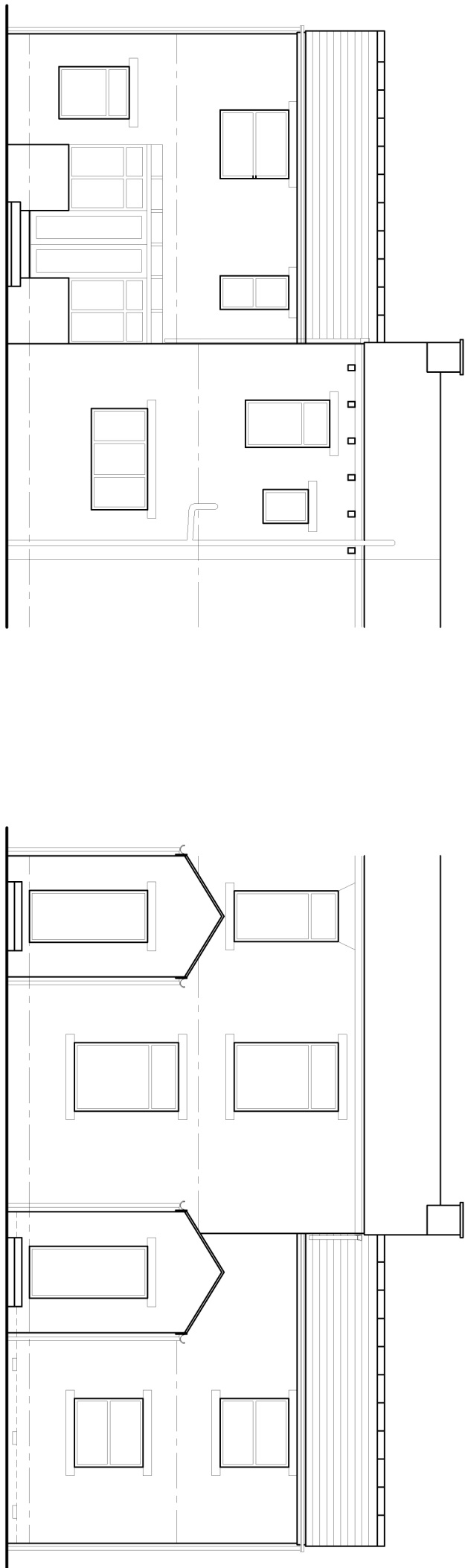
PROJECT
PROPOSED FIRST FLOOR EXTENSION AND PORCH

TITLE
PROPOSED PLANS, ELEVATIONS AND SECTIONS

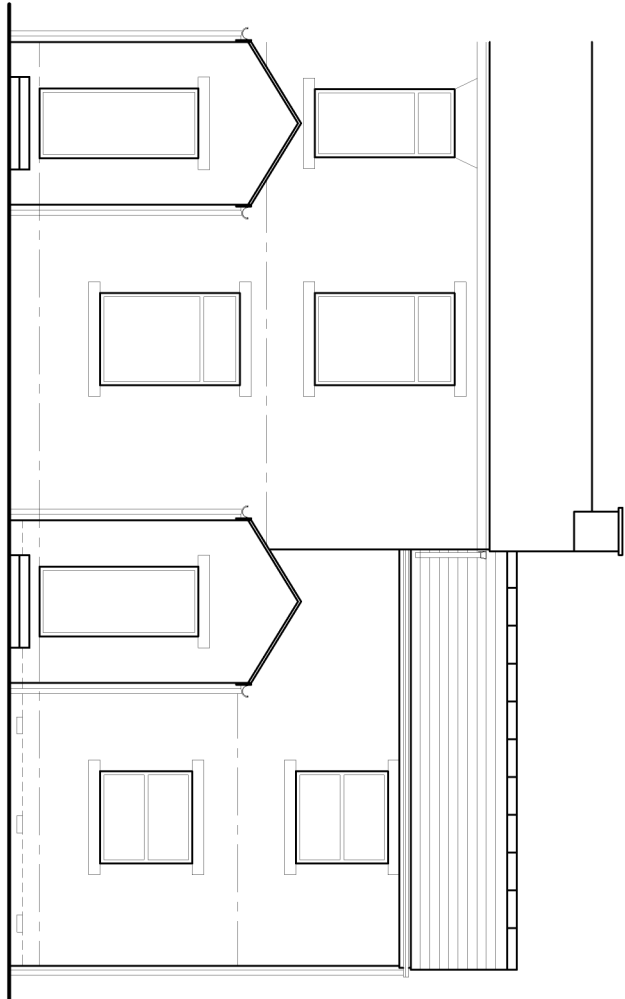
Page 139	DATE	JULY 2016
SCALE Elevations 1:100	CHECKED	MC
DRAWN BY MC	DESIGN	
DRAWING NO P02	REVISION	



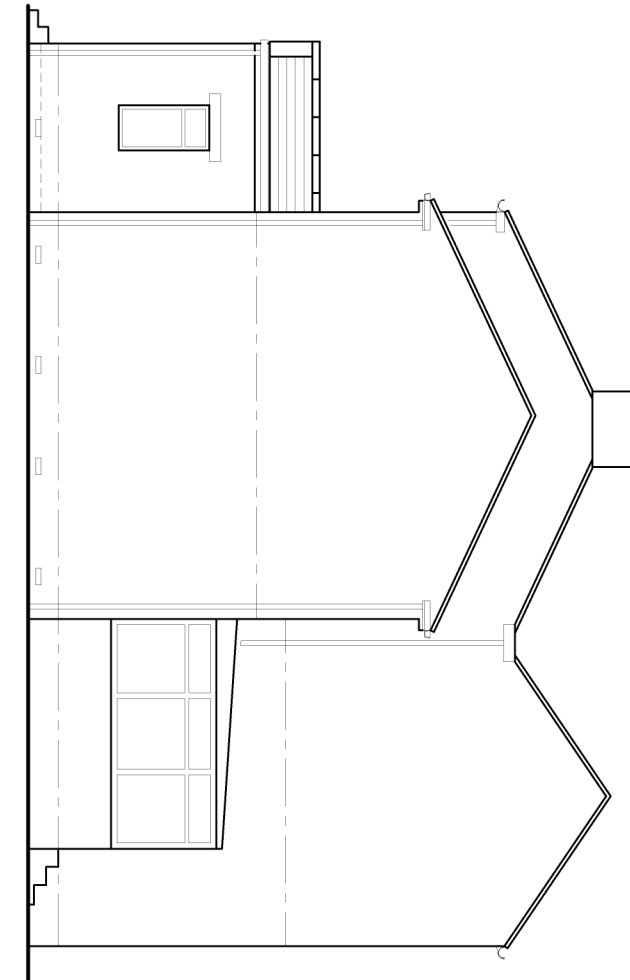
WEST ELEVATION



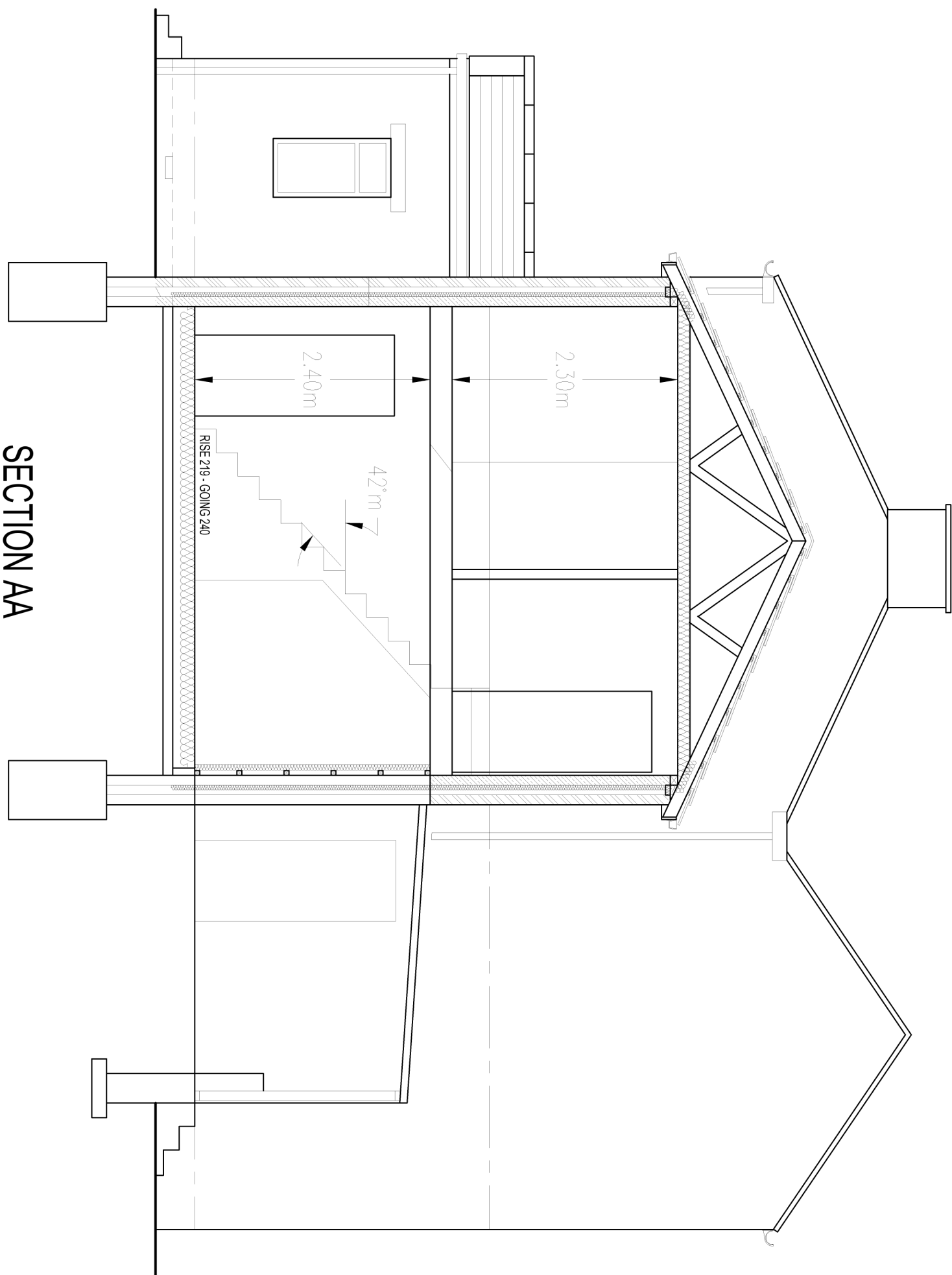
NORTH ELEVATION



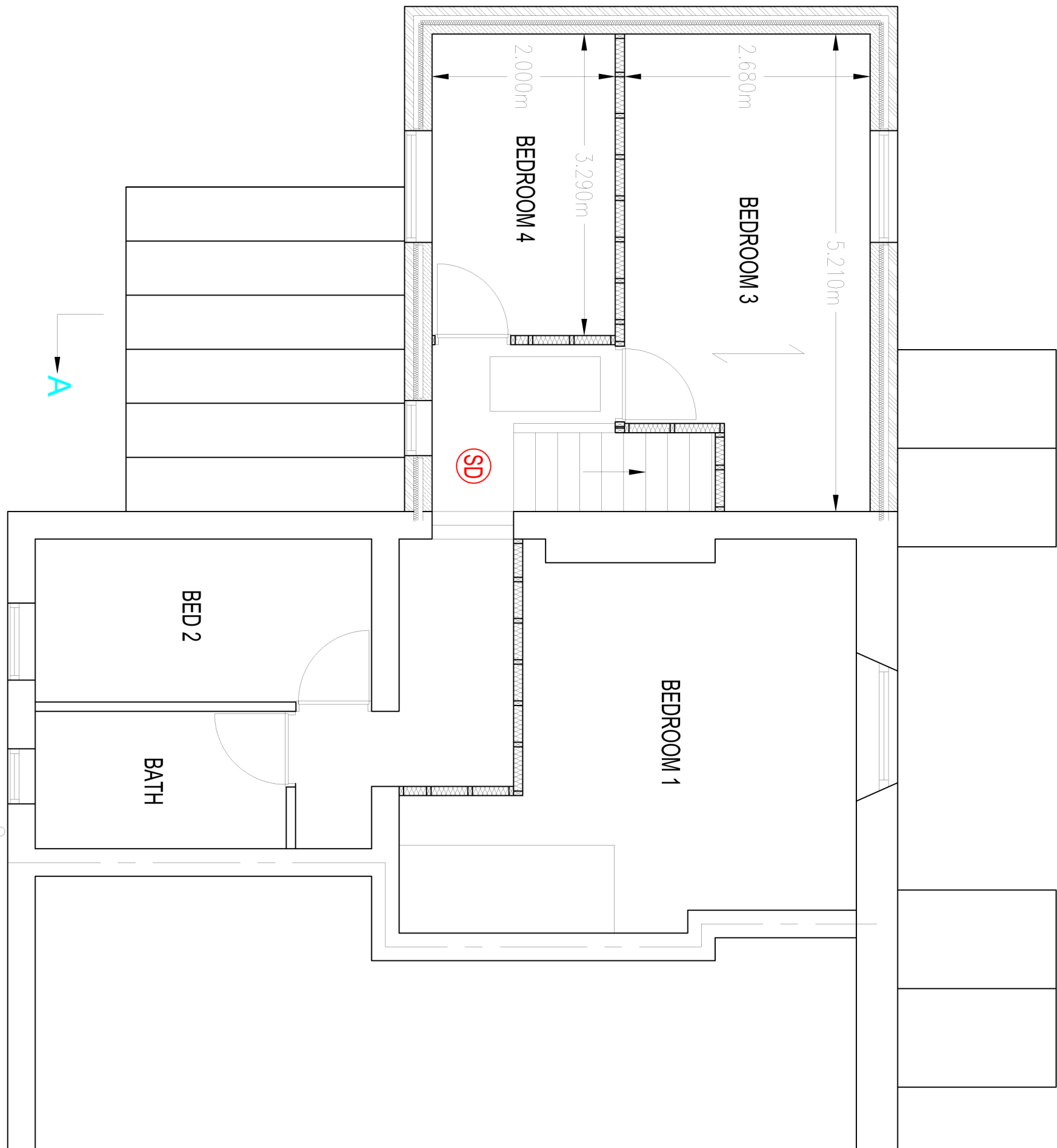
SOUTH ELEVATION



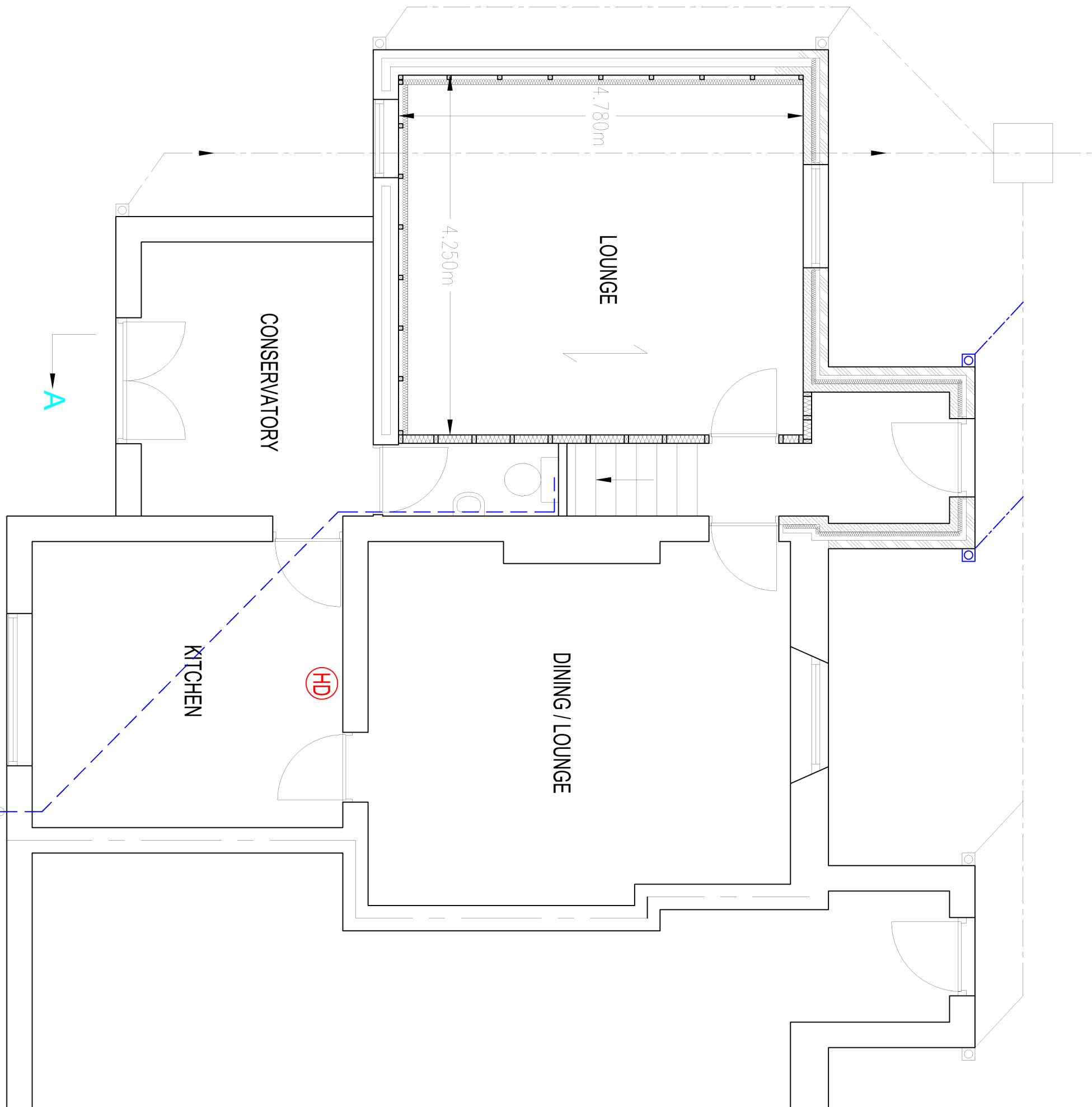
EAST ELEVATION



SECTION AA



FIRST FLOOR



GROUND FLOOR